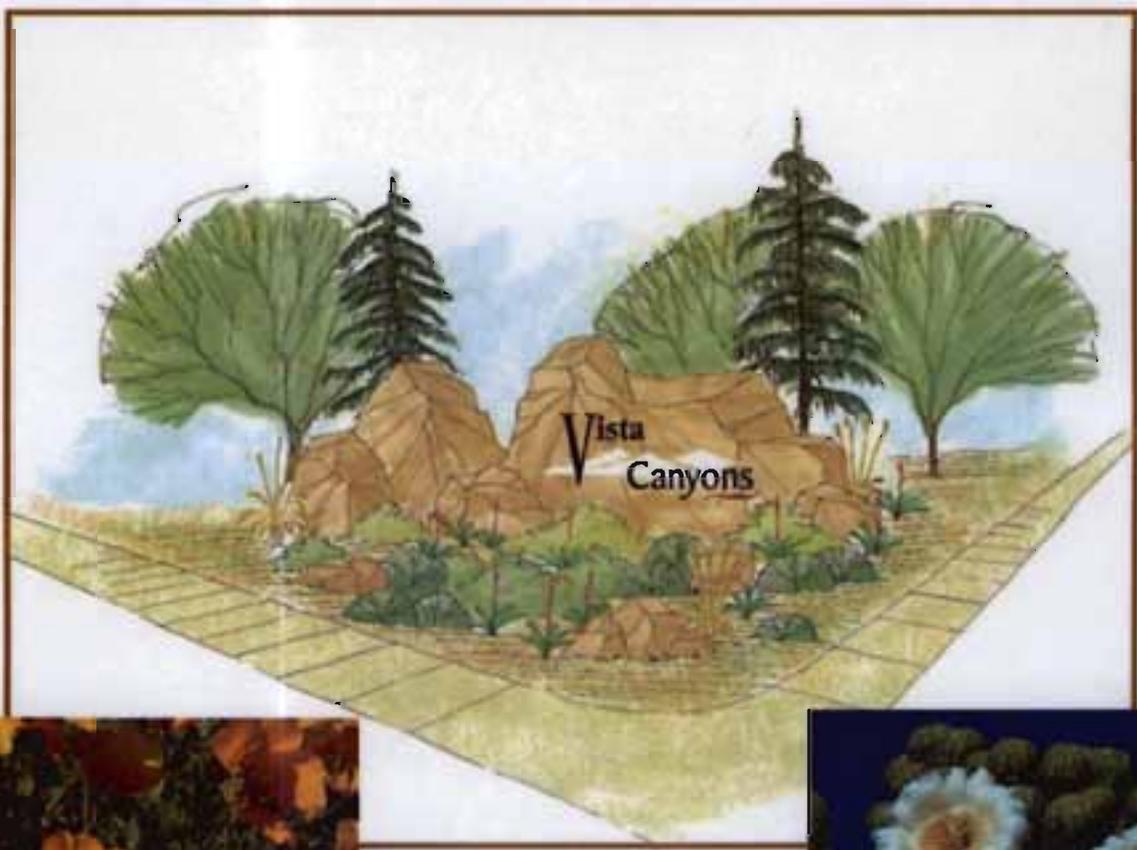


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Vista Canyons

A PLANNED AREA DEVELOPMENT



Vista Canyons

Planned Area Development (PAD) Preliminary Development Plan and Development Guide

DESCRIPTION:

Northwest and Southwest corner of Rodeo and Burris
in the City of Casa Grande,
Consisting of ±194 acres.

SUBMITTED TO:

City of Casa Grande, Planning Department
510 East Florence Boulevard
Casa Grande, Arizona 85222
520.421.8637

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Second Submittal: 5/16/2006

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JUN 14 2006

CASE #

116-00

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SECTION 1 - INTRODUCTION

A. SUMMARY

Matthew Werner and his company, Vista Land Ventures, LLC., have made a commitment to developing a number of superior quality projects in the City of Casa Grande. In a continuing effort to bring high quality development to the heart of the Casa Grande's growth area, Vista Land Ventures, LLC has created Vista Canyons, a unified and cohesive community incorporating innovative and sensible residential development. Mr. Werner and his company are excited to be part of this exciting project that continues to showcase Vista Land Ventures' commitment to active and interesting open space plans mixed with the highest quality of residential living. In order to implement this innovative development plan, the Owners are requesting that the property, located at the northwest and southwest corners of Rodeo and Burris Roads be rezoned to a Planned Area Development (PAD). The process of bringing this project forward began in 2005 when the City approved an Amendment to its General Plan to designate this area as Low Density Residential paving the way for a development of the kind proposed in this Application.

The proposed Vista Canyons PAD is intended to exceed the expectations of both the City of Casa Grande and its residents, and become a valued party of the community. The \pm 194 acre Vista Canyons subdivision is an ideal fit for this portion of the City's growth area, providing high quality residential development. See an aerial photo of Vista Canyons and its surrounding area attached as Exhibit "A".

This PAD Development Guide provides detailed provisions for the following sections:

- **Introduction.** This section includes historical uses and existing site conditions.
- **The Development Plan.** This section includes the proposed land uses, intensities, phasing, and information regarding service and infrastructure.
- **The Development Requirements.** This section specifically defines the different residential and recreational development standards. Zoning standards are also established in this section.
- **Architectural Standards.** This section defines the architectural diversity that is required within the development.

- **PAD Design Guidelines.** This section establishes the general desired character of future development within the PAD. They include Signage and Lighting design guidelines.

B. PROJECT LOCATION AND DESCRIPTION

1. Subject Property History

The Property is located in undisturbed desert. Both Rodeo Road and Burriss Road are currently unimproved dirt roads. A few washes cross the site from north to south and ultimately empty into the Santa Cruz Wash, which is within a quarter of a mile of the southern border of the project. The Army Corp of Engineers has designated several washes as jurisdictional 404 washes. Exhibit B shows the location of designated 404 washes and additional drainage associated with those washes.

2. Existing Uses/Zoning/General Plan Designations

Exhibit A shows the existing zoning and current land uses on the Property. The current zoning for the Property is UR (Urban Ranch) and the current land use is vacant.

The General Plan was amended in 2005 and designates this property as Low Density Residential (1-4 du/ac), (Exhibit C).

Exhibit D - Vicinity Map



3. Surrounding Property

The surrounding uses and zoning designations are generally as follows:

a. Surrounding General Plan Land Uses

North Existing: Vacant State Trust Land
Proposed: Low Density Residential (Casa Grande General Plan)

South Existing: Santa Cruz Wash
Proposed: Low Density Residential (Casa Grande General Plan)

West Existing: Vacant
Proposed: Low Density Residential (Casa Grande General Plan),

East Existing: North of Rodeo Road is State Trust Land; South of Rodeo Road is a Liberty Homes development
Proposed: Low Density Residential (Casa Grande General Plan)

b. Surrounding Zoning

North Existing: GR (General Rural)
Proposed: none

South Existing: GR (General Rural)
Proposed: none

West Existing: GR (General Rural)
Proposed: none

East Existing: North of Rodeo Road is State Trust Land; South of Rodeo Road is a Liberty Homes development UR (Urban Ranch)
Proposed: North – State Trust Land
South – Planned Area Development

Exhibit A – Surrounding Uses



Table 1 - Site Data

Area (Gross)	+194.4 ac.	
Assessor Parcel Numbers (Area)	503-26-002A4	(+76.55 ac.)
	503-26-003A3	(+76.27 ac.)
	503-32-00105	(+20.75 ac.)
	503-32-00709	(+20.81 ac.)
General Plan Designations	Low Density Residential (1-4 Du/Ac)	
Current Zoning Designation	UR – Urban Ranch Residential	
Proposed Zoning Designation	Planned Area Development (PAD)	
Maximum Allowed Number of Units	Low Density Res. 560 units	

SECTION 2 – DEVELOPMENT PLAN

A. PROPOSED LAND USE AND ZONING PLAN

1. Purpose and Objectives

Vista Land Ventures LLC., and its Manager, Matthew Werner are excited about developing in Casa Grande and are currently pursuing the development of multiple high quality projects within the City. Vista Land Ventures envisions Vista Canyons as an ideal residential development incorporating uniquely useable open space areas to create a sense of community within its boundaries. Vista Canyons has set its sites on being one of the top residential developments in Casa Grande and Vista Land Ventures will continue to strive to meet that goal.

Vista Canyons PAD follows the intent and requirements of the City of Casa Grande Residential Design Standards for Planned Area Developments. The PAD provides a cohesive and comprehensive document to describe the guidelines and standards for implementation of this development.

The purpose and objectives of this PAD are to:

- Create a subdivision that is of the highest quality that provides ample open space and a superior feeling of community.
- Promote quality development consistent with the goals and policies of the City’s General Plan.
- Develop a sustainable community plan based on existing and anticipated future economic conditions.
- Provide for comprehensive planning that ensures the orderly development of the property in relation to the surrounding community.
- Establish development standards that allow for diversity through a variety of residential housing types and densities.

- Implement the appropriate phasing for community facilities: including roadway improvements, storm water runoff and flood control, domestic water, sanitary sewage disposal, and parks.

2. Project Overview

The proposed land uses within Vista Canyons PAD consist of low density residential. The project has superior access and fronts onto 2 arterial roads, Rodeo Road and Burris Road. Rodeo Road is proposed to have a 55' dedicated half road right-of-way and Burris Road has a proposed 70' half road right-of-way. A conceptual site plan is provided in Exhibit E.

Just like other projects in the City that Vista Land Ventures is planning, Vista Canyons is going to place an emphasis on useable and exciting open space. Throughout the project, there are open space corridors that will provide pedestrian and other recreational trails connecting the various parcels within the overall project. The backbone of the open space corridors is the preservation of the beautiful natural washes traversing the site. It is the intent of the owner to disturb as little of the natural washes as possible and he will work closely with the Army Corp of Engineers to obtain the proper permits required prior to development. Other common area improvements are described in Section 2, under the Single-Family Residential Development portion.

Table 2 – PAD Development Site Data

Total Gross Area	+/- 194.4 Acres
Minimum Open Space Required	15% (29.2 Acres)
Maximum Number of Single Family Units	560 DU
Maximum Overall Density Allowable	4.0 DU/AC
Target Density	3.0 DU/AC

3. Phasing Program

The project is proposed to be developed from south to north. The phasing plan is preliminary at this time and is subject to modifications depending on market conditions and absorption rates. A more detailed phasing plan meeting the approval of the City of Casa Grande Engineer and Planning and Development Director will be established during the Final Plat review process. It is anticipated that Vista Canyons PAD will be developed in multiple phases.

4. Benefits and Advantages for Casa Grande

Vista Canyons will help the City of Casa Grande meet its quickly growing need for quality communities to serve the demands of the growing population. Vista Canyons will not just be another place to live in the growing City but a quality development in which the City can take pride.

The Casa Grande General Plan indicates that the site is appropriate for Low-Density Residential (1-4 DU/AC) uses. In addition to the General Plan's requirements, the development's allowed density of 4.0 du/ac will fit into the overall Casa Grande vision for this area. The Casa Grande General Plan 2010 designates the property as Low Density Residential. As required by Growing Smarter, compact development will promote efficient land uses and lower cost of municipal services. Vista Canyons PAD meets this planning initiatives intent.

The extensive active open space system proposed for Vista Canyons development is a significant component in the creation of a successful and attractive community. As such, this PAD proposes a network of open space corridors, which are referred to as trails, greenbelts, open space, and pocket parks. The greenbelt and open space system will link City planned regional trails to the project and in return provide pedestrian links to the other parts of Casa Grande. Land set aside as open space will account for a minimum of 15% of the entire Vista Canyons PAD. The land use concept of Vista Canyons PAD presents a balanced community.

5. City of Casa Grande General Plan Conformance

In 2005 the City Council approved a major General Plan amendment for this entire area to allow for this application to be made. Vista Canyons PAD is in conformance with the City of Casa Grande General Plan as amended. The project is utilizing the "Low-Density" designation, which allows a gross target density on a project wide basis. Vista Canyons PAD has been drafted to meet those requirements.

The Casa Grande General Plan indicates that the site is appropriate for Low-Density Residential (1-4 DU/AC) uses. Vista Canyons conforms to the land uses and land use policies of the Casa Grande General Plan as follows:

- As a master planned project, Vista Canyons will deliver a diverse housing product within 1 community.
- Paths, family parks, nature areas and greenbelt open space will be an integral part of Vista Canyons.
- Multi-modal transit facilities will be provided as needed to allow inter and intra-transit for Vista Canyons and the City of Casa Grande.
- The path and trail system within Vista Canyons will provide local and regional connections.
- Vista Canyons has 2 arterial roads on 2 sides, which will be improved to city standards, Rodeo Road (55' half-street) to the south and Burris Road (70' half-street) to the east. A preliminary traffic study illustrates that said roads are sufficient to serve the project while continuing to serve the community at large and at an acceptable level.

- The water and wastewater solutions for Vista Canyons and the City assure that the proposed uses will not diminish the assured water supply nor will it diminish the ability to convey and treat wastewater.
- An integral landscape theme will be developed throughout the project. The quality and consistency of the landscape will be assured through maintenance by the HOA.
- Vista Canyons has standards that meet the intent of the PAD Residential Design Standards of the City.
- Though not required by the General Plan, Vista Canyons will provide a major linear park trail system with regional open space links.

B. SERVICE AND INFRASTRUCTURE

1. Domestic Water

The domestic water supply for Vista Canyons will be provided by Arizona Water Company. The Applicant is working with Arizona Water Company to secure service to this site.

The probable point of connection is at the eastern side of Rodeo Road. Residential units will be designed with 1000 gpm fire flow and the commercial with 1500 gpm fire flow per National Fire Code standards.

2. Sanitary Sewer

Wastewater treatment will be provided by the City of Casa Grande. The City warrants that the property is located within its sewer district and will have capacity during and after completion of development.

Design wastewater flows will be based on an average household size of 3.3 persons per household and an average unit flow of 100 gallons per day per person. Vista Canyons wastewater facilities will be designed and constructed in accordance with Arizona Administrative Code Title 18, Chapter 5 and with approval of the City of Casa Grande. Sanitary sewer service for Vista Canyons will be provided by an on site collection system.

3. Other Utilities and Services

All utilities, including electricity (except lines exceeding thirteen KV capacity) and telephone, which are on the site of the development property, including those on land which will be dedicated to the public use as part of the development; and those utilities lines which must be extended to provide such utility services to the development property from an end point outside the development property lines except those lines along arterial or collector streets; shall be installed underground except as approved by City Council (City of Casa Grande 17.40.020.P). The utilities that will serve the properties are as follows:

Electric:	Electrical District #2
Gas:	Southwest Gas Company
Telephone:	Qwest Communications
Police:	City of Casa Grande
Fire/Emergency:	City of Casa Grande
Sanitation Collection:	City of Casa Grande

4. El Paso Natural Gas Facilities

There are existing gas lines located in Burriss Road alignment. The Applicant has already been working with the City and El Paso to determine the location of these facilities and deal with them appropriately and safely.

5. Grading and Drainage

According to the Federal Emergency Management Agency Insurance Rate Map, Community Panel Number 1170E, the Property is classified as Flood Zone C, which is defined as "Areas of minimal flooding. (No shading)" (Exhibit F).

The grading and drainage concept for Vista Canyons consist of providing retention basins as required. The property will be graded to drain toward the retention basins. The streets will be designed per the City of Casa Grande criteria to convey all onsite storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements.

Offsite storm drainage will be accommodated through adequately designed water conveyance systems. Final drainage and retention reports and plans, meeting the approval of the City Engineer, are required with Improvement Plans and Final Plat for this project.

The retention basins will be designed as multi-use facilities, combining retention facilities with playground equipment and recreational opportunities. To minimize the disruption of use during and after storms, all playground equipment will be elevated out of the 25-year storm event. Drywells may be used as recommended by the City Engineer.

6. Maintenance of Streets and Common Areas

The streets within the Property will be public. Public streets will be constructed in accordance with the City of Casa Grande minimum standards for public right-of-way. If accepted by the City, the City of Casa Grande will be responsible for maintenance of public streets.

7. Schools

Vista Canyons PAD is within the Casa Grande Elementary School District and the Casa Grande Union High School District. The owner will work with both the Casa Grande Elementary School District and the Casa Grande Union High School District to ensure that impacts to the Schools are addressed; a donation based on the total number of dwelling units will be coordinated with both school districts. Agreements memorializing these terms will be drafted and will go to the District Boards for approval prior to Final Plat approval.

8. Parks and Open Space

A minimum of 15% of open space is proposed within Vista Canyons PAD to be utilized as family parks, nature viewing areas, and other pedestrian corridors. This open space equates to +29.2 acres within the overall project.

Vista Canyons PAD will exceed the required open space standards concerning total open space acreage and percent of common areas providing the described amenities in the design standards. See Exhibit G for an open space showing the trail and park system and other amenities provided within the common areas.

The open space amenities are also depicted in the open space character exhibit (Exhibit H & I) and are dispersed throughout the project site. There are a total of 3 family parks featuring children's play areas provided with easy access. Other amenities include natural wildlife habitat, nature viewing areas, pathways, hiking trails, ramadas, turf areas that can be used for group play, benches, and landscaping that helps to provide shade and contributes to the overall aesthetic quality of the project.

The open space designated on Vista Canyons will provide linkages to the adjacent neighborhoods as well as pedestrian trails. Exhibit G. These areas will provide shade, seating areas, and potentially, drinking fountains. These paths through Vista Canyons will also access larger open space areas found within the various subdivisions where recreational facilities are proposed. The natural washes through the site are an open space corridor that will allow residents both recreational and social opportunities.

SECTION 3 - DEVELOPMENT REQUIREMENTS

A. PURPOSE AND INTENT

Vista Canyons development has been designed to incorporate the City of Casa Grande's Residential Design Standards for Planned Area Developments. The following outlines how the design of Vista Canyons development has met and exceeded the City's Residential Design Standards for Planned Area Developments.

B. GENERAL PROVISIONS

1. Applicable Building Code

All construction and development within the PAD area shall comply with the applicable provisions of the Casa Grande Building Code and the various related mechanical, electrical, plumbing, fire, grading, excavation, and subdivision codes.

2. Homeowners Association

A Homeowner's Association (HOA) will be created for Vista Canyons Development to manage all common landscaping, open space areas, and facilities.

The developer will create a homeowners association (HOA) and develop Covenants, Conditions, and Restrictions (CC&R's) to incorporate the design principles as outlined in this document and will promote diversity in home plans, elevations, the use of color, home amenities, and the subdivision's streetscapes and maintenance. The CC&R's will incorporate the architectural design standards as outlined in Section 3 of this PAD.

C. MANDATORY PAD RESIDENTIAL DEVELOPMENT STANDARDS

The following development standards have been created to provide a flexible framework for Vista Canyons development. The standards assure that a level of quality is established throughout the project. They have been designed to address the low-density residential use that occurs within a master planned development, the market realities of development, and timeless elements of design.

The following development descriptions and standards are intended to direct the nature of residential uses and open space at Vista Canyons development. The single-family zone is intended for residential use.

1. Open Space

Open space areas have been designed to tie into future regional links though the site. The natural washes will provide opportunities to make a strong linear open space system for the residents of Vista Canyons development. In addition to the linear greenbelt corridor system, multiple trails, family parks and nature viewing areas will be developed as community amenities within the various subdivisions (Exhibits G thru I). Some of the amenities include, tot lots, basketball courts and a volleyball court. The community will be linked with trails to provide a friendly non-vehicular network. Open space and recreation is a major organizing principle at Vista Canyons' family-friendly development.

Project-wide open space will be landscaped to provide intimate inviting recreational areas and on-site greenbelt corridors. These green belt corridors include natural wash areas, the intent of these areas are to create

natural spaces. These areas are to be left as undisturbed desert and will provide the opportunity for natural habitat and environmental education areas. These washes will create a sense of place for the entire community because of their natural character, the preservation of these washes will enhance the pedestrian experience throughout the development. Neighborhood entries, as well as many of the local roads will terminate with views into open space and natural wash areas where appropriate. The greenbelts will serve as non-vehicular connections through the site, in which meandering, desert landscaped trails will bring residents to grassy open respite areas along the corridor. These trails will serve to physically and visually tie the various neighborhoods and their pocket parks together while also providing regional open space and connections.

Along the greenways there will be informational nodes that will provide an educational opportunity. As pedestrians walk along the desert washes they will be able to be informed about their surroundings. These node areas will include benches, trash receptacles, and informational signage to enhance the pedestrian experience. These areas will also be lighted with low-level lighting, bollards or accent lighting. All walkways and paths will be constructed of approved materials and designed to the City of Casa Grande's Standards.

The following are open space requirements for Vista Canyons development:

- A minimum of 15% open space shall be provided within the single-family residential portions of Vista Canyons PAD. Clubhouses, indoor recreation areas, parking lots, street rights-of-way, and non-landscaped or cement built retention areas and drainage channels shall not count towards the open space requirement at The Vista Canyons.
- When retention areas are designed for recreational usage at Vista Canyons, at least 15% of the basin shall be elevated above a 25-year floodwater surface elevation. Where possible, drywells shall be used for all retention basin areas.
- All plants specified within Vista Canyons will be from the City of Casa Grande Low Water Use Plant List, found in Table 4 at the end of this document.
- Parks. The Property shall be developed to provide a number of neighborhood family parks. The family parks may include amenities such as; playground equipment, benches or picnic tables, ramadas, areas for active games and sports and enhanced natural landscaping. The Master HOA or sub-association shall maintain the pocket parks.
- Open space corridors and landscape. All open space areas shall be landscaped according to an approved water-conserving final landscape plan. Landscape, landscape lighting, and open space

amenity plans shall be submitted to the Casa Grande Planning and Development Department for review and approval.

- The internal path system shall be designed to provide safe and accessible links to all open space and recreation amenities. All walkways and paths will be constructed with approved material(s) and designed to the standards and the recommendations of the Casa Grande City Engineer and Planning and Development Director.
 - Multi-Use Path. The development will be connected by a 10' wide multi-use path that will pass through the development starting at the northeast corner of the property and running south to the main collector road, it will then follow the collector road through the site, it will then travel south crossing Rodeo Road and ending at the southwest corner of the property. The purpose of this walk is to provide linkage between Vista Canyons and adjacent developments this walk will begin to create a community wide network of multi-use pedestrian paths that can be enjoyed by the entire City of Casa Grande
 - Pedestrian Path/Trail: In addition to the 10' multi-use path there will be pedestrian routes throughout the development. These include 4' decomposed granite (DG) trails and 4' sidewalks. The DG trails will meander through the delicate wash areas. These trails will provide access to the desert open space with as little disturbance as possible. The 4' sidewalks will be located in the amenity areas, they will provide access to the family recreation areas including the tot lots, play fields, and non-residential uses as seen fit by the future developer, and with the approval of the Planning and Development Director.
 - Street Sidewalks:
 - Arterial streets will have 6-foot wide detached sidewalks these will meander adjacent to the street and will be utilized to connect neighborhoods.
 - The collector streets will have a 5' detached meandering sidewalk.
 - The local streets will have a 4' attached sidewalks.
- a. Paths shall connect to other pedestrian connections, parks, open spaces, or sidewalks.
 - b. Paths shall not dead-end except at parks, open space, and parking lots unless they are less than 120 feet in length and are necessary to-provide trail access to homes that are isolated or on cul-de-sacs or if other special design circumstances exist.
 - c. Public greenbelt corridors with paths within them shall be an average width of not less than 20 feet and a minimum width of not less than 10 feet.

2. Single-Family Lot Sizes

All single-family lots in Vista Canyons will contain a minimum of 6,000 square feet. For every single-family lot less than 7,000 square feet in area, an equal number of lots that are at least 8,000 square feet in area shall be provided. In order to encourage diversity in housing product types and neighborhoods, typical lot sizes will range from 55'X113' and 55'X130' to 60'X120 and 70'X120'.

3. Setbacks

Table 3 below lists the minimum residential setback requirements per the City of Casa Grande General Plan 2010, and these minimum building setbacks for the single-family residential portion are provided to promote a consistent and quality development. (All setbacks shall be measured from the property line.)

Table 3 – Single Family Residential Setbacks and Building Heights

Front Yard Setback –	20' ⁽¹⁾
Rear Yard Setback –	20' ⁽²⁾
Side Yard Setback –	5'/10' ⁽³⁾
Corner Yard Setback –	15' ⁽⁴⁾
Single-Family Building Height –	28'

⁽¹⁾ Homes with garages facing the street shall maintain a minimum 20' setback, and stagger up to 23' every 4th home with a front loaded garage. Homes with side entry garages shall maintain a minimum 15' setback, and stagger up to 18' every 4th home with a side entry garage. Homes with livable areas in front of garages shall maintain a minimum 15' setback.

⁽²⁾ Porches or patio covers that are open on at least three sides shall be allowed up to a 5' encroachment into the minimum rear yard setback. A 2' maximum setback encroachment shall be allowed for building eaves, roof gutters, chimneys, bay windows, and ornamental features such as architectural pop-outs.

⁽³⁾ A minimum 10' side yard setback shall be provided for every lot to allow for adequate access to the rear yard. On side yards setbacks of 5', a 2' maximum setback encroachment shall be allowed for building eaves and roof gutters, chimneys, bay windows, and ornamental features such as architectural pop-outs.

⁽⁴⁾ On corner lots, a 15' minimum side yard setback will be required which can include up to 10' of an adjacent landscape tract.

4. Multi-Story Homes

No multi-story homes shall be located immediately adjacent to, and sharing a property line with established one-story single-family home subdivisions.

5. Streetscapes and Entrances

Perimeter walls and walls adjacent to roadways shall be decorative and

constructed of split-face block, scored block, or similar materials (Exhibits J & K). View fencing along collector and arterial roadways may be utilized under appropriate circumstances. Prominent walls shall include staggers, breaks, and/or columns for vertical and horizontal relief. Stone veneers and steel may be utilized to accentuate the walls. Wall details are subject to the approval of the Planning and Development Director.

- A minimum 15-foot wide landscape tract shall be provided between every residential portion of the project and an adjacent arterial or collector right-of-way.
- The main entrances into the development shall be designed to create a sense of arrival. Monument signage, increased vegetation and larger plant sizes shall be utilized to enhance the project's entrances. (Exhibit L & M)

The roadway improvements will be dedicated to the City of Casa Grande and will meet the approved Design Standards for Streets within Title 16 – Subdivisions of the City Code. Local road right-of-way widths will be 44'; which includes a 4 foot attached sidewalk on both sides of the road. Collector road right-of-way will be 60' or 80', as shown on the site plan. Rodeo Road has been classified by the City as a minor arterial road and a Burris Road as a principal arterial. The right-of-way that will be dedicated for Rodeo Road will be a 55' half-road right-of-way, and Burris Road will require a 70' half-road right-of-way. See Exhibit N for a Roadway Cross-Section.

Per the Residential Design Standards, Vista Canyons PAD will provide a minimum 15-foot landscape tract between every residential portion of the PAD and an adjacent collector right-of-way. As one of the additional requirements for PAD layout and design, the width of the required landscape tract provided between every residential portion of the PAD and an adjacent arterial right-of-way has been increased to a minimum of 25'.

The roadway design provides a mix of cul-de-sac designs and a curvilinear street system. These additional design elements are used to break the monotony of a conventional straight street system and enhance the character of the subdivisions.

The design and character of Vista Canyons PAD provides a unique and cohesive theme as demonstrated in the perimeter and interior project theme walls, signage, and landscape designs. In Exhibit K, the project theme wall exhibit illustrates the decorative nature and quality materials as part of the conceptual wall plan. The project theme walls will be constructed using a standard smooth-face CMU and split-face block. Also, prominent walls will include decorative project theme columns with stone veneers this will provide vertical and horizontal relief. Wall details are subject to the approval of the Planning and Development Director.

As an additional design element to the project theme walls, view fencing will be provided in certain areas where homes are backing up to large open space tracts. This will create more visibility and improved pedestrian connectivity within and around the community.

Per the Residential Design Standards, side yard fence returns for all interior lot walls shall extend to within ten feet of the front corner of the home. In addition, all walls exposed to the public, e.g., streets and open areas, shall be stained or painted the color of the primary decorative theme or perimeter walls, except walls for individual home lots may be the color of the residence.

The main entrances and secondary entrances into the project have been designed to create a sense of arrival. Monument signage, increased vegetation, and larger plant sizes have been provided to enhance subdivision entrances. Examples of the project monumentation and signage are provided in Exhibit L & M.

6. Front Yard Landscaping

The homebuilder will offer the homebuyer a selection of front yard landscape packages. The front yard landscaping will be installed by the builder within 30 days of home occupancy and will be maintained by the individual homeowner. Standard and upgraded front yard landscape packages will include a variety of water conserving plants. A minimum of 2-fifteen gallon trees, 8-five gallon shrubs or accent plants, and 6-one gallon cover plants, plus an automated irrigation system and rock topping is required for each lot. The homebuilder as a front yard option may offer turf. The turf shall not exceed 20% of the yard area and shall be separated from rock dressing by a concrete, brick, or metal header. Decomposed granite or river rock will cover all exposed areas. A minimum of 4 standard landscape plans shall be offered. All landscape plans will be submitted to the Planning and Development Director for approval.

Front yard landscape packages offered by builders shall be subject to the review and approval of the Planning and Development Director and must meet the following requirements: Front yard landscaping provided by the builder or their representative must be installed within 30 days of closing. The Planning and Development Director may extend installation times for homeowner installed or custom landscaping improvements for individual lots. A variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided; front yard landscaping designs with berming, river run features, courtyards, lighting, or other creative features shall be offered for standard landscape designs; and if turf/lawn is provided for front yards, it shall be kept to a minimal (no more than 20%) portion of the front yard and include a concrete header or similar border.

7. Miscellaneous

Side yard fence return for all interior lot walls shall extend to within 10 feet of the front corner of the home. All walls exposed to the public, e.g., streets and open areas, shall be stained or painted the color of the primary decorative theme or perimeter walls, except walls for individual home lots may be the color of the residence.

D. ADDITIONAL REQUIREMENTS FOR PAD RESIDENTIAL LAYOUT AND DESIGN

The following additional residential development standards have been utilized at Vista Canyons development.

1. Cul-de-Sac / Curvilinear Street Design

A mix of cul-de-sac designs, including eyebrows, short courts, cul-de-sacs with open space ends, and a curvilinear street system have been incorporated into the design of the subdivisions. A curvilinear street system is one that utilizes curved streets to follow the natural lay of the land or to break the monotony of a conventional straight street system.

2. View Fences

Use wrought iron or similar view fencing along portions of collector and/or arterial roadways where homes are not backing/siding these portions of roadways.

3. Staggered Front Yard Setbacks

Stagger front setbacks by at least 3 feet. Every third or fourth setback must be staggered. The homebuilder must predetermine setback staggers.

4. Landscape Tract

The required landscape tract provided between every residential portion of a PAD and an adjacent arterial right-of-way has been increased to at least 25 feet. All plants in Vista Canyons shall be from the City of Casa Grande "Low Water Use Plant List", (Table 4). This table is found at the end of this PAD narrative.

SECTION 4 – ARCHITECTURE STANDARDS

A. MANDATORY PAD RESIDENTIAL ARCHITECTURE STANDARDS

A homebuilder has not been selected at the time of preparing this PAD therefore home floor plans and elevations are not available at this time. All floor plans and elevations are to be presented to the Planning Department for review and approval by the Planning and Zoning Commission at a later date prior to obtaining permits for the homes.

In order to avoid repetition and encourage architectural diversity, the following mandatory standards are provided:

1. Floor Plans and Elevations

- A minimum of 5 home floor plans, each with 3 distinct elevations, is required per project and within each definitive housing price range or product type.
- A minimum of 3 distinct home color schemes are required per project and within each definitive housing price range or product type.
- Diversity and uniqueness in elevations and color schemes shall be demonstrated within each PAD.
- Homes with the same front elevation or color schemes shall not be located adjacent to (side by side) or across from each other.
- There shall not be any more than three consecutive similar rear home elevations for homes backing an arterial or collector roadway.
- Emphasis (e.g., covered front entries, covered front porches, bay windows, etc.) must be placed on the front elevations of homes. Main entries must face the street.
- Window pop-outs, windowsills, recessed windows and/or similar architectural embellishments are required on all windows, except as approved by the Planning and Zoning Commission.

2. Roofs

- A variety of home roofing colors, shapes, and/or textures is required per project. Typically, concrete tile shall be required for all sloped roofs; however, consideration shall be given to alternative durable materials upon review of the housing product.
- Variation in roof ridgelines and designs is required.
- Unique roof colors shall be matched to each home color scheme.
- No buildings within a PAD shall have roof-mounted or wall-mounted mechanical equipment (e.g., HVAC, evaporative coolers). All such equipment must be ground-mounted.

3. Garages

- On lots where side-entry garages can be accommodated (typically 65 feet wide and wider lots), at least one floor plan per parcel or product type must be designed with a standard side entrance garage.
- No front-loaded garage shall extend forward of a home's livable area or covered front porch by more than ten feet.
- At least one floor plan per parcel or product type shall have the livable area of the home forward of the garage.
- Front-loaded garage doors shall not exceed fifty percent of the house width (frontage). Where more than a standard two car front-entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

4. Patio Covers

- Rear or side yard covered patios or covered courtyards are required on every home.
- Where possible, covered patio areas should be incorporated into the architecture of the homes.
- Patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Zoning Commission.

5. Additions and Modifications

- All additions to homes shall be constructed of the same building materials as the principal residence and painted to complement the home.
- Garages shall not be converted or enclosed for other uses.
- Accessory buildings shall only be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence.

B. ADDITIONAL PAD RESIDENTIAL ARCHITECTURE STANDARDS

In addition to the previously stated mandatory requirements, four of the standards listed below must be selected. The selected requirements shall apply to the entire development. Once again, it is recommended that home floor plans and elevations be presented to the Planning and Zoning Commission and Council at the time of PAD or Plat approval. If this is not possible (e.g., a builder has not been selected), the home floor plans and elevations shall be presented to the Planning and Zoning Commission at a later date for their review and approval prior to obtaining permits for the homes.

1. Exterior Finishes

Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.

2. Architectural Styles

Provide unique architectural styles for all homes within a parcel or parcels of a PAD. Depart from currently popular architectural styles to use other unique house styles, such as Craftsman, Prairie, Territorial, Ranch, Tudor, Mission, and Pueblo.

3. Architectural Features

Provide significant architectural features, such as dramatic covered front

entries, large covered front porches, bay windows, and /or dormers as standard features on all homes.

4. Front-loaded vs. Side-loaded Garages

Reduce the number of standard front-loaded garages. At least 1 floor plan per project or product type shall have the garage oriented towards the rear of the home as a standard feature. In addition, the number of floor plans using side-loaded garages as standard features shall be increased from the minimum required.

5. Two-Story Homes

Reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, providing multiple roof changes, and/or other effective means.

6. Windows

Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.

7. House Elevations

Provide one elevation per project or product type that uses flat roof, e.g., Santa Fe or Pueblo architectural style, and elements.

8. Applicant's choice

An opportunity for creativity and design innovation is provided here.

SECTION 5 – PAD DESIGN GUIDELINES

A. SIGNAGE GUIDELINES

All residential signage is to follow Vista Canyons Homeowner Association Signage Guidelines, the "Sign Code for the City of Casa Grande" (adopted by Ordinance No. 583 as amended), and meet the approval of the City of Casa Grande Planning and Development Director and the Planning and Zoning Commission.

B. LIGHTING GUIDELINES

Per 16.16.200 (Design Standards, Street Light Requirements Section) of the City of Casa Grande's Zoning Ordinance, installation of streetlights shall be required in accordance with design and specification standards approved by the City Engineer. Lighting on local and collector streets shall maintain a minimum of 0.4 lumens at any given point along the street right-of-way while 0.7 lumens shall be maintained along arterial streets. In addition, light standards shall be spaced such that each intersection is provided at least one light standard.

C. CONCLUSION

It is Vista Land Ventures goal to create Vista Canyons as a high quality, family-friendly, and environmentally sensitive development that will become a source of pride for the City of Casa Grande and the community residents. The vision is to take raw desert terrain and through thoughtful and careful planning, incorporate natural features, creating a unique community, which will set the standard for development in the northwestern portion of Casa Grande. The Vista Canyons development team would like to thank the City of Casa Grande and its staff in advance for their outstanding effort and care in helping our unique vision become a reality.

Table 4 - City of Casa Grande Low Water Use Plant List

In order to promote water conservation, all plant material installed due to the landscaping requirements of Chapter 17, Article VI (TABLE 17.52.410) of the Municipal Code must be used from the list below. This list was developed by the Arizona Department of Water Resources — Pinal Active Management Area.

A. TREES

<u>Botanical Name</u>	<u>Common Name</u>
Acacia spp.	Acacia/Wattle
Agonis flexuosa	West Australia Peppermint
Brachychiton populneus	Bottle Tree
Brahea spp.	
Bursera spp.	
Caesalpinia spp.	
Callistemon viminalis	Weeping Bottle Brush
Casuarina spp.	
Celtis reticulata	Western Hackberry
Ceratonia siliqua	St. John's Bread Tree/Carob Tree
Cercidium spp.	
Chamaerops humilis	Mediterranean Fan Palm
Chilopsis linearis	Desert Willow
Cupressus arizonica	Arizona Cypress
Cupressus sempervirens	Italian Cypress
Dahlbergia sissoo	Sissoo Tree
Dalea spp.	
Eucalyptus spp.	
Forchammeria watsonii	
Geijera parviflora	Australian Willow
Gleditsia triacanthos	Honey Locust
Leucaena retusa	Golden Ball Lead Tree
Lysiloma spp.	
Olea Europaea "Swan Hill"	Swan Hill Olive (or other non-pollen producing olive trees)
Olneya tesota	Ironwood
Parkinsonia aculeata	Mexican Palo Verde
Phoenix canariensis	Canary Island Date Palm
Phoenix dactylifera	Date Palm
Pinus canariensis	Canary Island Pine
Pinus eldarica	Afghan Pine
Pinus halepensis	Aleppo Pine
Pinus pinea	Italian Stone Pine
Pinus roxburghii	Chir Pine
Pistacia spp.	Pistachio
Pithecellobium spp.	
Pittosporum phillyraeoides	Willow Pittosporum

Prosopis spp.
 Quercus spp.
 Rhus lancea
 Schinus terebinthifoliosus
 Sophora secundiflora
 Tamarix aphylla
 Ulmus parvifolia "sempervirens"
 Vitex agnus-castus
 Washingtonia spp.
 Ziziphus jujuba

Mesquite
 Oak
 African Sumac
 Brazilian Pepper
 Texas Mountain Laurel
 Athel Tree
 Evergreen Elm
 Chaste Tree
 Fan Palm
 Chinese Jujube

B. SHRUBS

Botanical Name

Acacia spp.
 Alousia spp.
 Ambrosia deltoidea
 Ambrosia dumosa
 Atriplex spp.
 Baccharis spp.
 Berberis haematocarpa
 Bougainvillea spp.
 Buddleia marrubifolia
 Caesalpinia spp.
 Calliandra californica
 Calliandra eriophylla
 Calliandra peninsularis
 Callistemon citrinus
 Callistemon viminalis "Captain Cook"
 Calothamnus spp.
 Cassia
 Celtis pallida
 Chrysothamnus nauseosus
 Cistus spp.
 Convolvulus cneorum
 Cordia boissieri
 Cordia parvifolia
 Dalea spp.
 Dodonaea spp.
 Encelia spp.
 Ephedra spp.
 Eremaea beaufortioides
 Eremaea pauciflora
 Eremaea violacea
 Eriogonum spp.
 Eucalyptus spp.
 Forestiera neomexicana

Common Name

Acacia/Wattle

 Triangleleaf Bursage
 White Bursage
 Saltbush

 Red Barberry
 Bougainvillea
 Summer Lilac

 Fairy Duster
 Fairy Duster
 Fairy Duster
 Lemon Bottle Brush
 Dwarf Bottle Brush
 Cassia spp.

 Desert Hackberry
 Rabbit Brush

 Bush Morning Glory

 Little Leaf Cordia

 Hopbush
 Brittlebush
 Mormon Tea
 Eremaea
 Snow Gum
 Violet Eremaea
 Buckwheat

 Desert Olive

Genista hispanica	Spanish Broom
Grevillea rosmarinifolia varieties	
Hakea spp.	
Haplopappus Laricifolia	Turpentine Bush
Hyptis emoryi	Desert Lavender
Jatropha spp.	
Juniperus chinensis varieties	Juniper
Justicia spp.	
Kunzea spp.	
Lantana camara	Bush Lantana
Leucophyllum spp.	Creosote Bush
Lycium spp.	
Melaleuca spp.	
Mimosa biuncifera	Wait-a-Minute Bush
Mimosa dysocarpa	Velvet Pod Mimosa
Nerium oleander varieties	Oleander
Plumbago scandens	Cape Plumbago
Punica granatum varieties	Pomegranate
Pyra cantha spp.	Pyracantha
Quercus spp.	Oak
Rhus ovata	Mountain Laurel
Rhus trilobata	Skunkbush
Rhus virens	Evergreen Sumac
Ruellia californica	Ruellia
Ruellia peninsularis	
Salvia spp. (shrub only)	Sage
Sececio cineraria	Dusty Miller
Simmondsia chinensis	Jojoba
Sophora arizonica	
Sophora formosa	
Tecoma stans	Yellow Bells
Teucrium fruticans	Bush Germander
Vauquelinia spp.	Rosewood
Viguiera tomentosa	Golden Eye
Ziziphus obtusifolia	Greythorn

C. GROUNDCOVERS/HERBACEOUS PLANTS

<u>Botanical Name</u>	<u>Common Name</u>
Acaia spp.	
Anigozanthos spp.	Kangaroo Paw
Artemisia spp.	
Asclepias subulata	Desert Milkweed
Asparagus densiflorus cv. Sprengeri	Sprenger Asparagus
Atriplex spp.	
Baccharis spp.	
Carpobrotus edulis	Ice Plant

Centaurea cineraria
Cephalophyllum spp.
Clianthus formosus
Convolvulus mauritanicus
Dalea spp.
Gazania spp.
Grevillea crithmifolia
Kennedia coccinea
Kennedia prostrata
Lantana montevidensis
Malephora crocea
Myoporum parvifolium
Oenothera berlandieri
Oenothera drummondii
Pentzia incana
Romneya coulteri
Rosmarinus officinalis
Salvia chamaedryoides
Salvia farinacea
Santolina chamaecyparissus
Santolina virens
Sesuvium verrucosum
Sphaeralcea spp.
Verbena bipinnatifida
Verbena peruviana
Verbena pulchella
Verbena rigida

Dusty Miller
 Red Spike Ice Plant
 Sturt's Desert Pea
 Ground Morning Glory

Gazania
 Spider Flower
 Coral Vine
 Scarlet Runner
 Trailing Lantana
 Ice Plant
 Sandalwood
 Mexican Evening Primrose
 Baja Primrose
 Karoo Groundcover
 Matilija Poppy
 Prostrate Rosemary
 Blue Sage
 Mealy Cup Sage
 Lavender Cotton
 Green Santolina
 Sea Purslane
 Globe-Mallow
Verbena
 Peruvian *Verbena*
 False sand *Verbena*
Verbena

D. SUCCULENTS

Botanical Name

Agave spp.
Aloe spp.
 Cacti (all)
Dasyilirion spp.
Fouquieria spp.
Hesperaloe spp.
Nolina spp.
Yucca spp.

Common Name

Century Plant/Agave
 Aloe

 Desert Spoon

 Bear Grass
 Yucca

E. ANNUALS/PERENNIALS

Botanical Name

Abronia villosa
Arctotis spp.
Argemone pleicantha
Baeria chrysostoma
Bahia absinthifolia

Common Name

Sand *Verbena*
 African Daisy
 Prickly Poppy
 Goldfield
 Bahia

Baileya multiradiata
 Cassia covesii
 Catharanthus roseus cultivars
 Celosia spp.
 Cosmos spp.
 Dimorphotheca spp.
 Dyssodia pentachaeta
 Eschscholzia californica
 Eschscholzia mexicana
 Gilia leptantha
 Gomphrena globosa
 Helichrysum bracteatum
 Helipterum spp.
 Kallstroemia grandiflora
 Layia platyglossa
 Lesquerella gordonii
 Linaria spp.
 Lupinus densiflorus
 Lupinus sparsiflorus
 Matricaria grandiflora
 Melampodium leucanthum
 Mentzelia spp.
 Orthocarpus purpurascens
 Pectis papposa
 Penstemon spp.
 Phacelia spp.
 Tagetes spp.
 Ursinia spp.

Desert Marigold
 Madagascar Periwinkle
 Cockscomb
 Cosmos
 African Daisy
 Dyssodia
 California Poppy
 Mexican Gold Poppy
 Showy Blue Gilia
 Globe Amaranth
 Everlasting Daisy

Arizona Poppy
 Tidy Tips
 Gold Crucifer
 Toadflax
 Lupine

Pineapple Weed
 Blackfoot Daisy
 Blazing Star
 Owl's Clover
 Chinch Weed

Marigold
 Ursinia

F. GRASSES

Botanical Name

Aristida purpurea
 Bromus rubens
 Eragrostis atherstone
 Eragrostis lehmanniana
 Muhlenbergia dumosa
 Pennisetum setaceum
 Schismus barbatus

Common Name

Red Three Awn
 Red Brome
 Cochise Lovegrass
 Lehmann Lovegrass
 Giant Muhley
 Fountain Grass
 Schismus

G. VINES

Botanical Name

Antigonon leptopus
 Bougainvillea spp.
 Billardiera ringens
 Campsis radicans
 Cissus Trifoliata

Common Name

Mountain Rose/Queens Wreath
 Bougainvillea
 Riverbell Flower
 Common Trumpet Creeper
 Arizona Grape Ivy

Clematis drummondii
Hardenbergia comptoniana
Kennedia nigricans
Macfadyena unguis - cati
Mascagnia lilacaena
Mascagnia macroptera
Merremia aurea
Solanum jasminoides

Virgin's Bower
Wild Wisteria
Black Yellow Vine
Cat Claw
Lilac Orchid Vine
Yellow Orchid Vine
Yuca
Potato Vine

EXHIBITS

- Exhibit A – Aerial Photo – Surrounding Uses
- Exhibit B – 404 Wash Delineation and Drainage
- Exhibit C – City of Casa Grande General Plan (Amended 2005)
- Exhibit D – Vicinity Map
- Exhibit E – Conceptual Site Plan
- Exhibit F – FIRM Map
- Exhibit G – Conceptual Trails and Pedestrian Corridors
- Exhibit H – Conceptual Open Space Character Exhibit (1 of 2)
- Exhibit I – Conceptual Open Space Character Exhibit (2 of 2)
- Exhibit J – Project Wall Location Plan Exhibit
- Exhibit K – Project Wall Types and Elevations
- Exhibit L – Primary Entry Monumentation Character
- Exhibit M – Secondary Entry Monumentation Character
- Exhibit N – Roadway Cross-Sections

VISTA CANYONS

A PLANNED AREA DEVELOPMENT

Vista Land Ventures LLC

Manhard Consulting, Ltd.



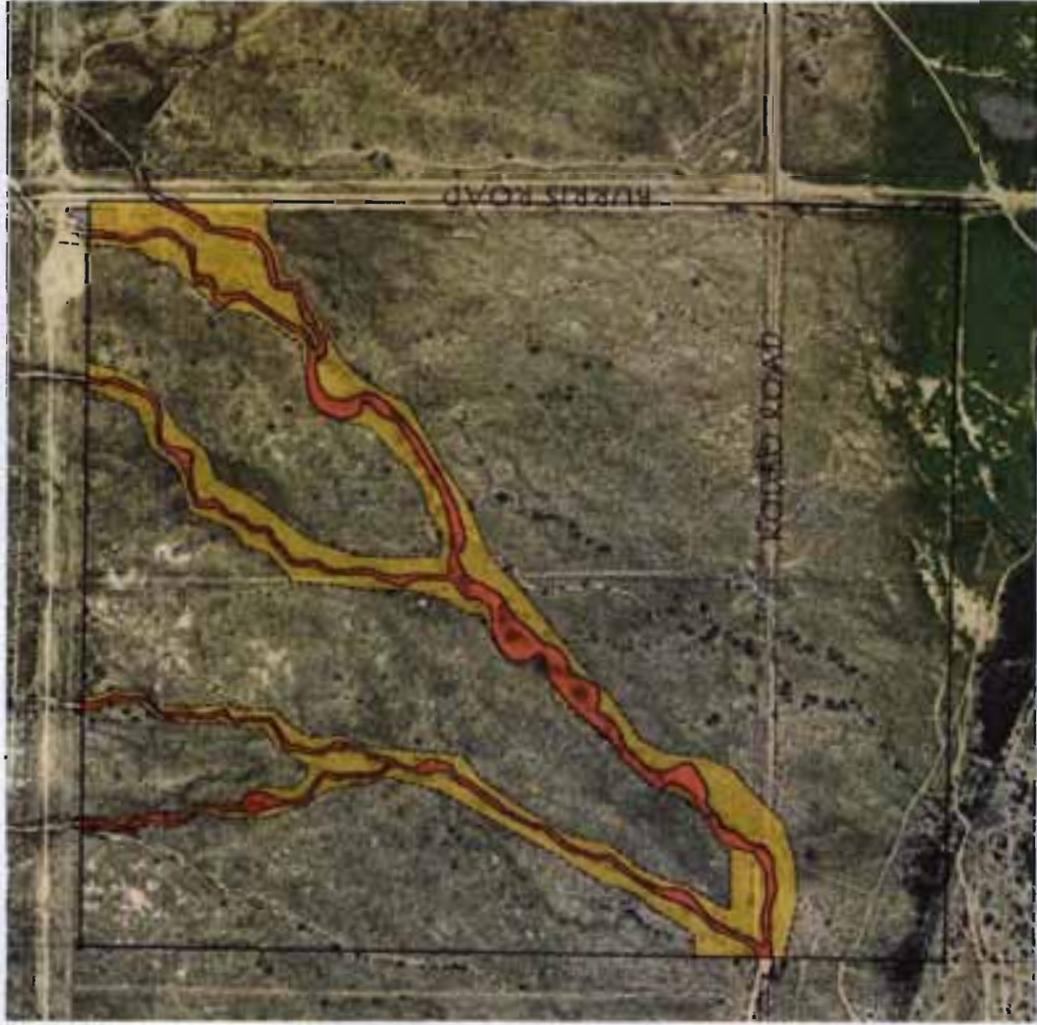
1:50,000 METRIC SCALE

VISTA CANYONS

A PLANNED AREA DEVELOPMENT



Manhard Consulting, Ltd.



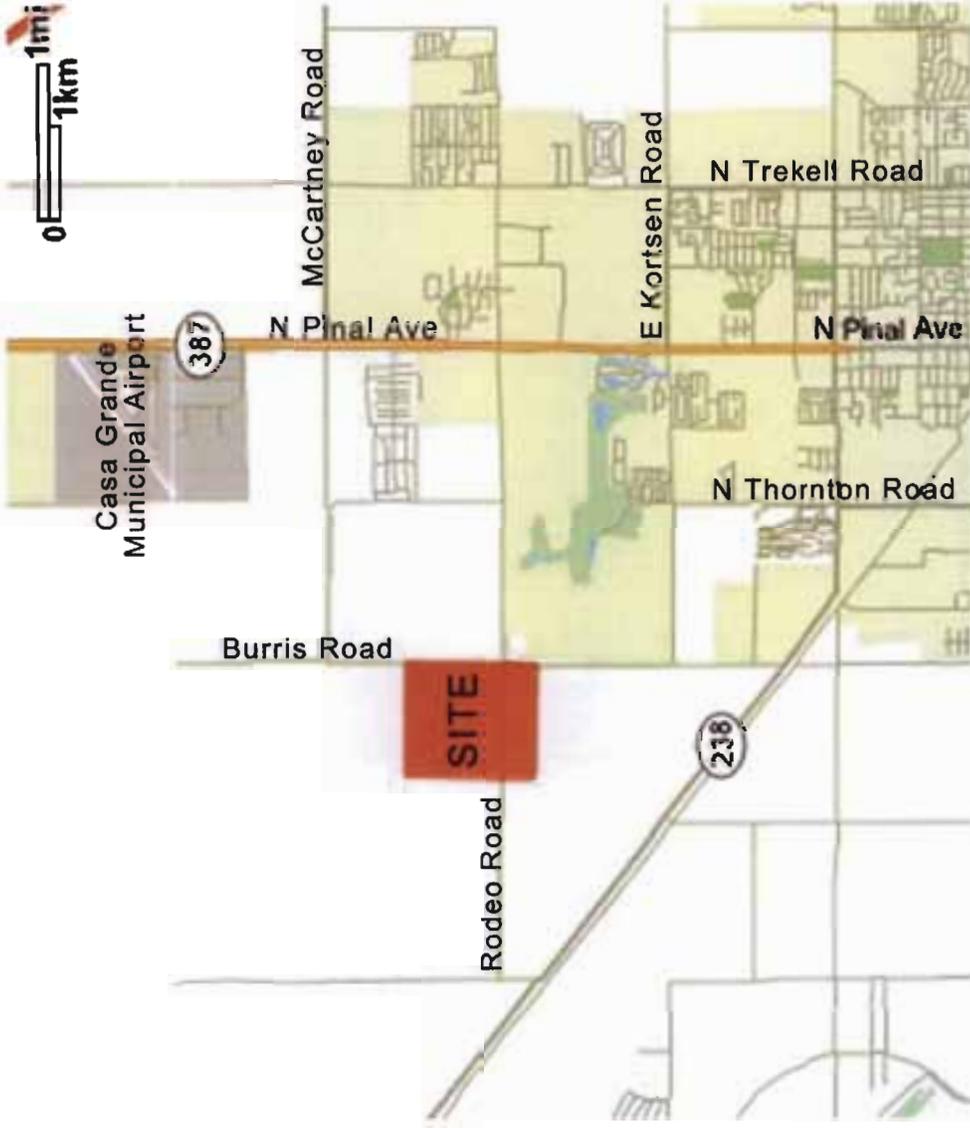
404 WASH LOCATION

ADDITIONAL DRAINAGE AREA



VISTA CANYONS

A PLANNED AREA DEVELOPMENT



VISTA CANYONS

A PLANNED AREA DEVELOPMENT

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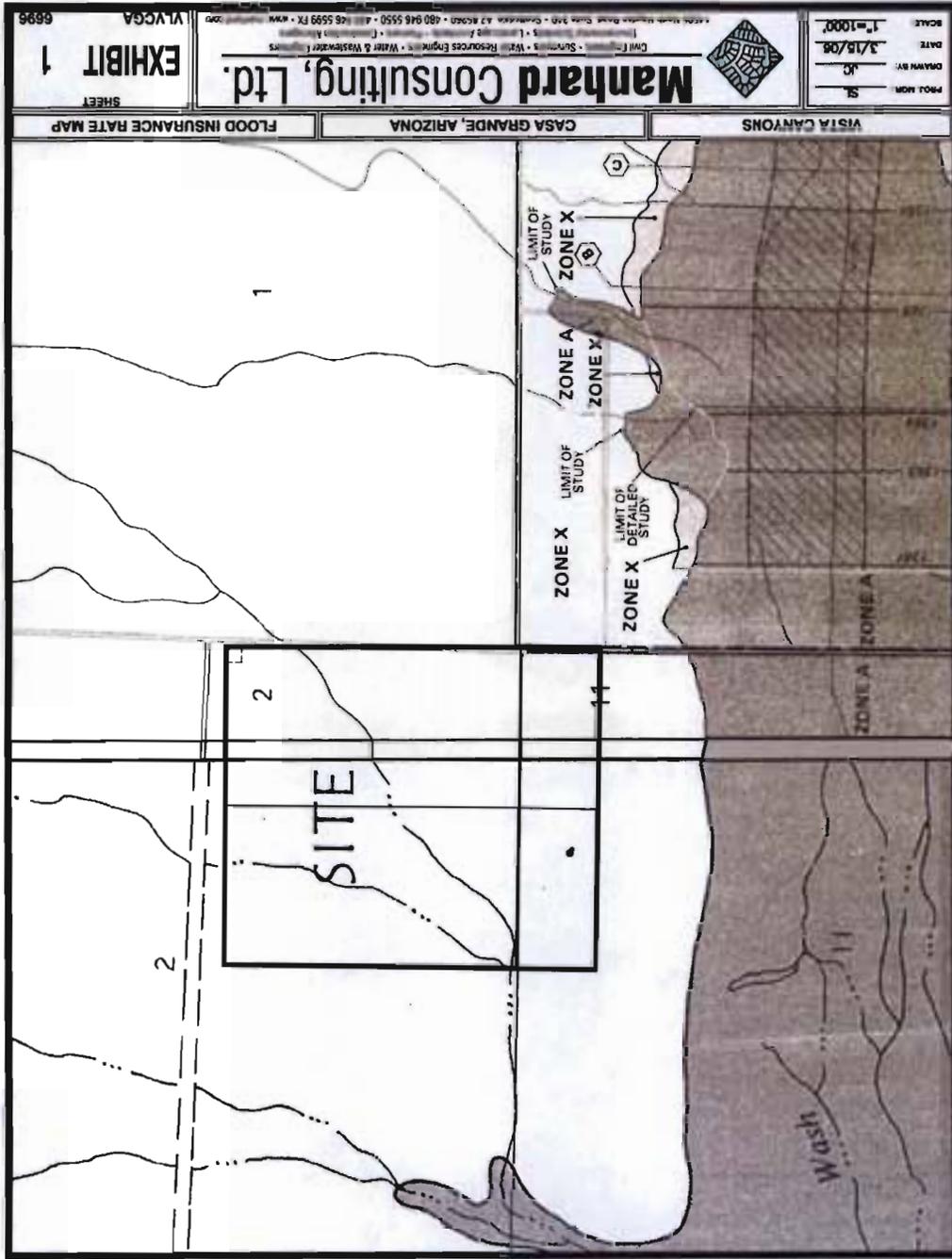


EXHIBIT E

CONCEPTUAL LANDSCAPE PLAN

VISTA CANYONS

A PLANNED AREA DEVELOPMENT



LEGEND	
	SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD
	ZONE A No base flood elevation determination
	ZONE AE Base flood elevation determination
	ZONE AH Flood depths of 1 to 3 feet (average annual precipitation), base flood elevation determination
	ZONE AO Flood depths of 1 to 3 feet (average annual precipitation), base flood elevation determination. For areas of concern, the base flood elevation shall be determined.
	ZONE A99 To be protected from 100-year flood, Federal flood protection shall be constructed on base elevation determination.
	ZONE V Coastal flood with velocity hazard (wave action), base flood elevation determination.
	ZONE VE Coastal flood with velocity hazard (wave action), base flood elevation determination.
	FLOODWAY AREAS IN ZONE AE
	OTHER FLOOD AREAS
	ZONE X
	OTHER AREAS
	ZONE X
	ZONE D
	Flood Boundary
	Floodway Boundary
	Zone D Boundary
	Boundary Dividing Special Flood Hazard Zones, and Boundary Dividing Areas of Different Coastal Base Flood Elevations within Coastal Flood Hazard Zones.
	Base Flood Elevation Line; Elevation in Feet
	Cross Section Line
	Base Flood Elevation in Feet Where Unknown Within Zone



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EXHIBIT G

CONCEPTUAL TRAILS AND PEDESTRIAN CORRIDORS

VISTA CANYONS

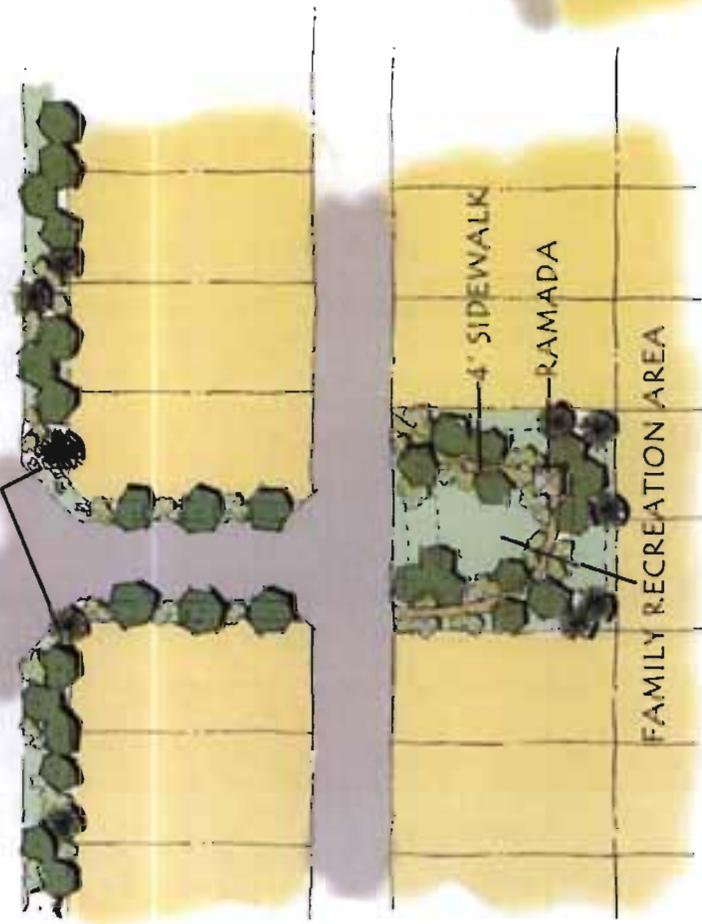
A PLANNED AREA DEVELOPMENT

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BUILDER SUBDIVISION ENTRANCE

TYPICAL FAMILY PARK



TYPICAL POCKET PARK
OPEN SPACE AREA



VISTA CANYONS

A PLANNED AREA DEVELOPMENT

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TYPICAL NATURAL WASH CHARACTER SKETCH



TYPICAL NODE

TYPICAL WASH AND RETENTION AREA SECTION



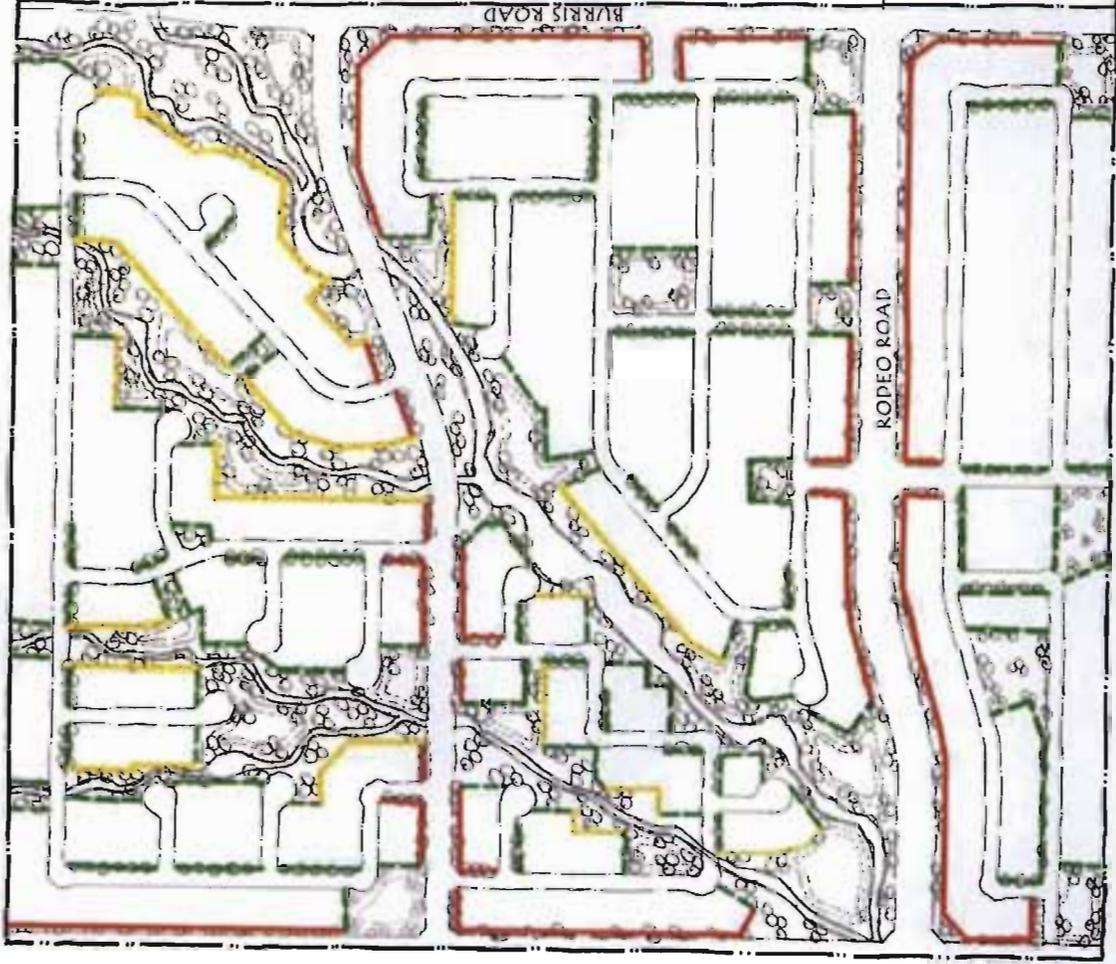
NOT TO SCALE

VISTA CANYONS

A PLANNED AREA DEVELOPMENT

Vista Land Ventures LLC

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PRIMARY WALL
SECONDARY WALL
NEW WALL



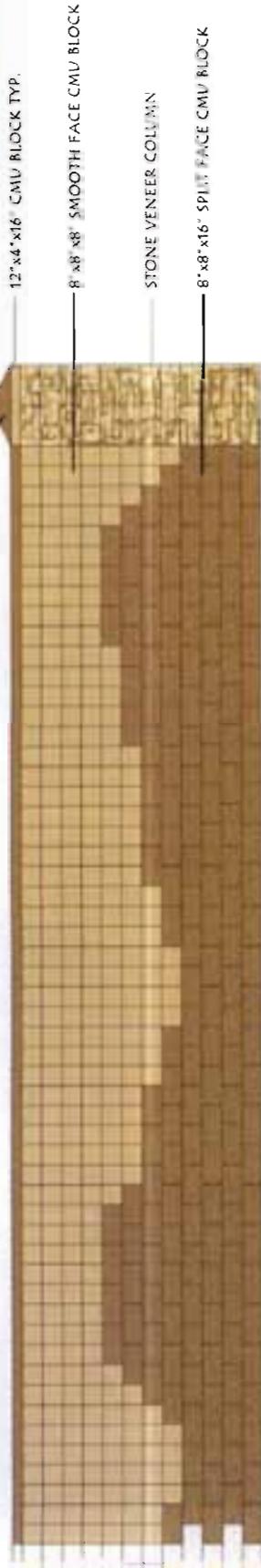
VISTA CANYONS

A PLANNED AREA DEVELOPMENT



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SPLIT FACED CMU BLOCK CAP TYP.



12' x 4' x 16' CMU BLOCK TYP.

8' x 8' x 8' SMOOTH FACE CMU BLOCK

STONE VENEER COLUMN

8' x 8' x 16' SPLIT FACE CMU BLOCK

THEME WALL



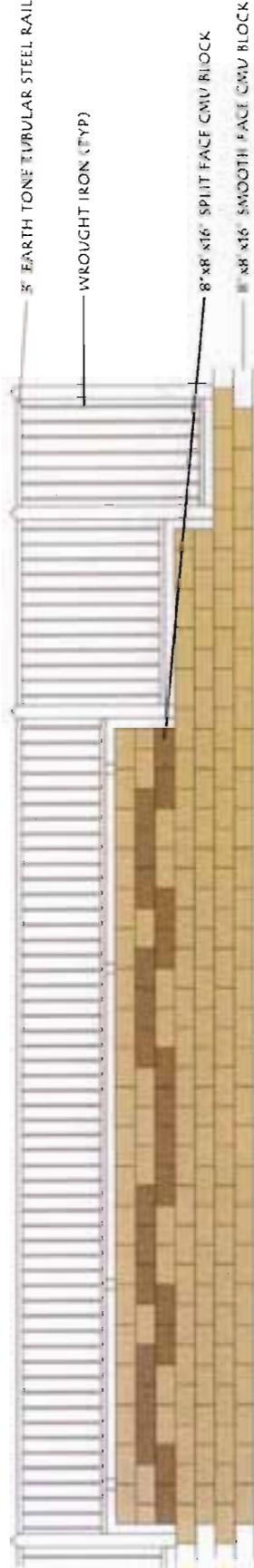
12' x 4' x 16' CMU BLOCK TYP.

8' x 8' x 16' SMOOTH FACE CMU BLOCK

8' x 8' x 16' SPLIT FACE CMU BLOCK

8' x 8' x 16' SMOOTH FACE CMU BLOCK

SECONDARY WALL



5' EARTH TONE TUBULAR STEEL RAIL

WROUGHT IRON (TYP)

8' x 8' x 16' SPLIT FACE CMU BLOCK

8' x 8' x 16' SMOOTH FACE CMU BLOCK

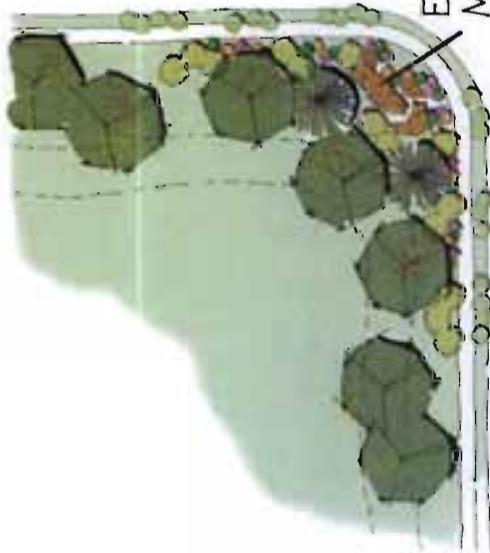
VIEW WALL

NOT TO SCALE

VISTA CANYONS

A PLANNED AREA DEVELOPMENT

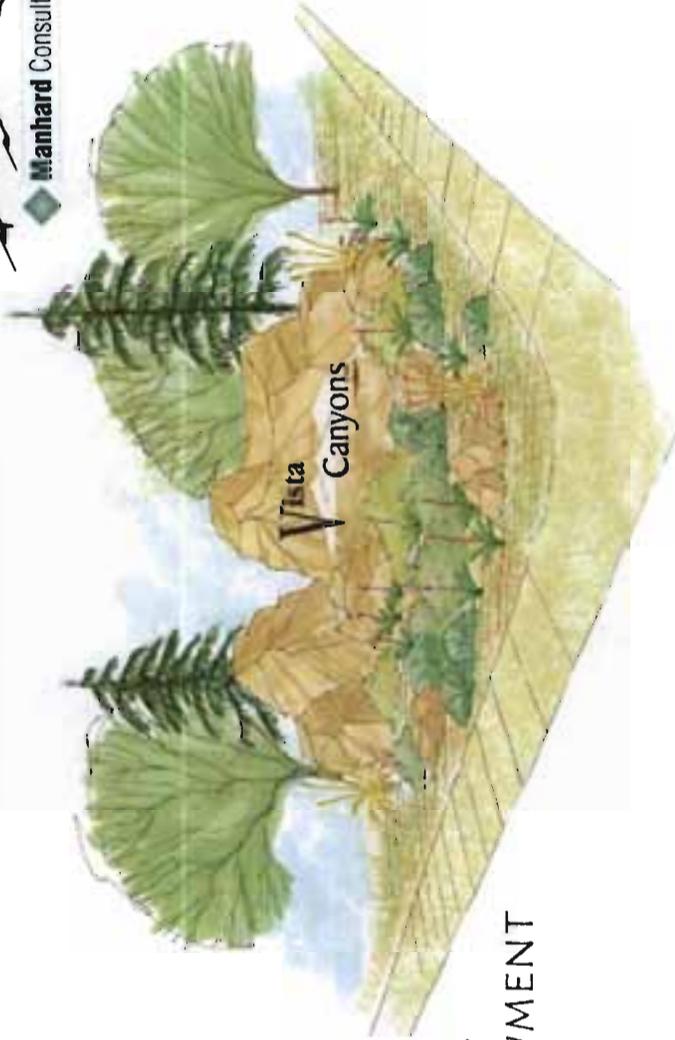
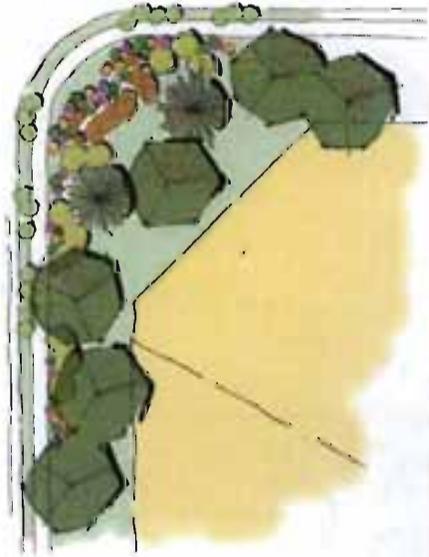
Vista Land Ventures LLC.
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RODEO ROAD

ENTRY MONUMENT

BURRIS ROAD

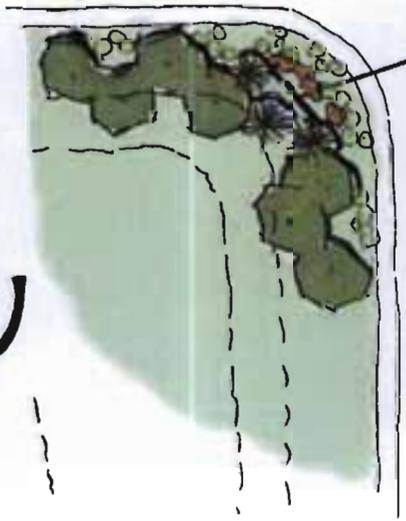


VISTA CANYONS

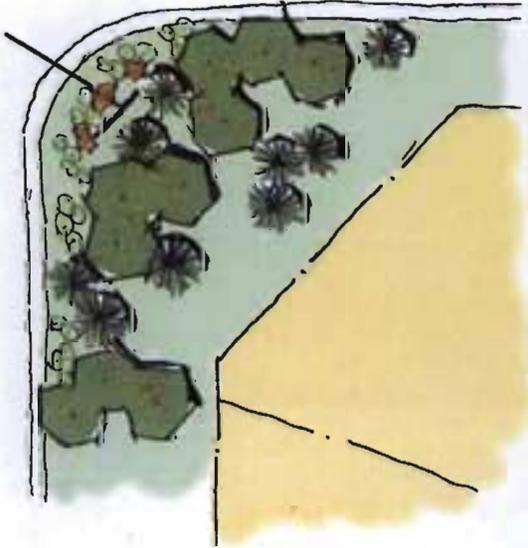
A PLANNED AREA DEVELOPMENT

Vista Land Ventures LLC

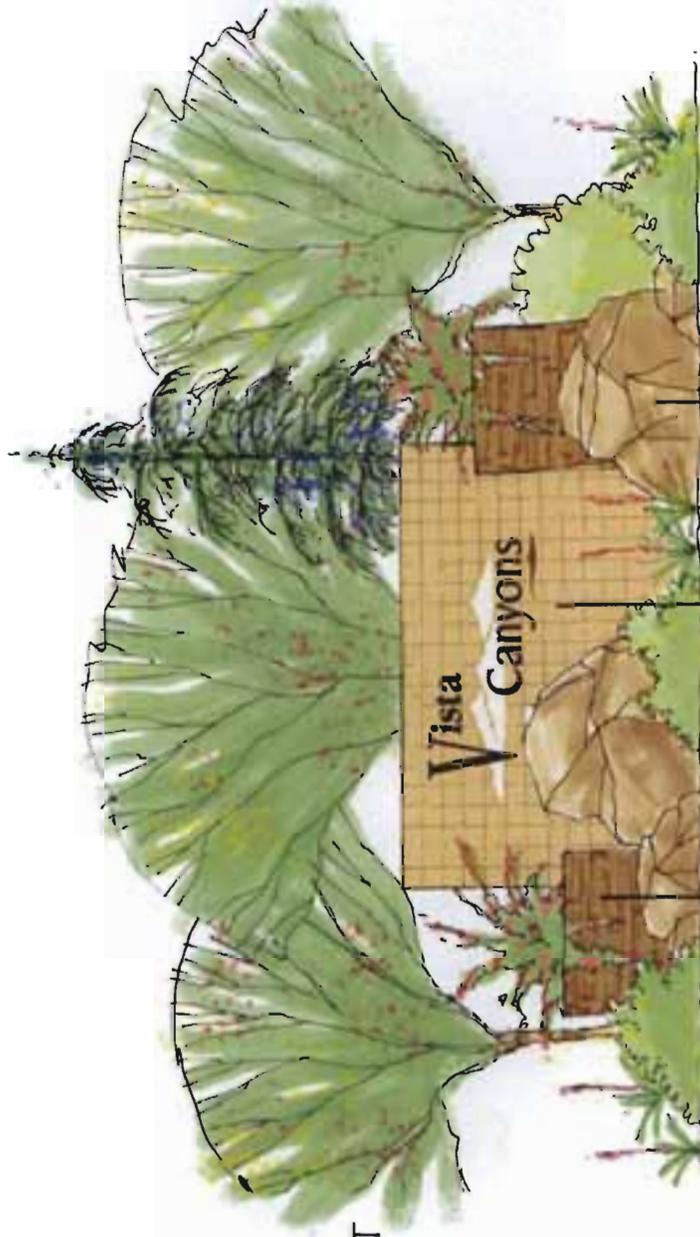
Manhard Consulting, Ltd.



ENTRY MONUMENT



BURRIS ROAD



STONE VENEER PLANTER

8"X8"X8" SMOOTH FACE CMU BLOCK

BOULDERS

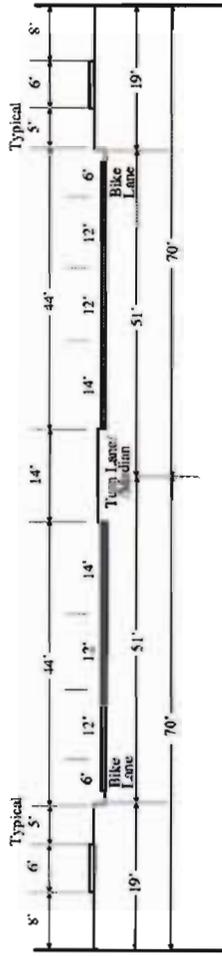
VISTA CANYONS A PLANNED AREA DEVELOPMENT

Vista Land Ventures LLC

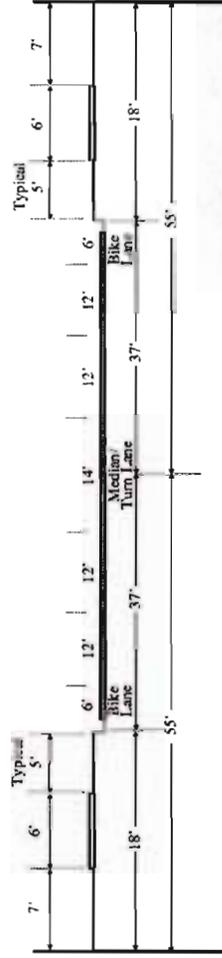


Manhard Consulting, Ltd.

PRINCIPAL ARTERIAL
(BURRIS ROAD)



MINOR ARTERIAL
(RODEO ROAD)



PROJECT COLLECTORS
(Not to Scale)



(Not to Scale)
LOCAL



PROJECT COLLECTORS
(ALTERNATE)
(Not to Scale)

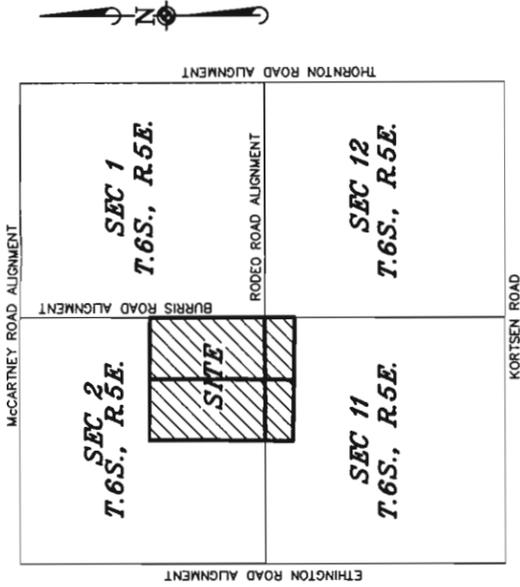


APPENDIX

Appendix 1 – Alta Survey

Appendix 2 – Surrounding Ownership Titles Results

ALTA/ACSM LAND TITLE SURVEY
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 2, AND NORTHEAST QUARTER OF SECTION 11,
TOWNSHIP 6 SOUTH, RANGE 5 EAST, GILA AND SALT RIVER MERIDIAN,
PINAL COUNTY, ARIZONA



VICINITY MAP

NTS

PROPERTY AREA

- PARCEL 1 = 3,322,217 SQUARE FEET (76,2676 ACRES)
- PARCEL 2 = 906,490 SQUARE FEET (20,8101 ACRES)
- PARCEL 3 = 3,334,725 SQUARE FEET (76,5547 ACRES)
- PARCEL 4 = 904,058 SQUARE FEET (20,7543 ACRES)
- TOTAL = 8,467,490 SQUARE FEET (194,3868 ACRES)

LEGAL DESCRIPTION

- PARCEL NO. 1:
THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;
EXCEPT THE NORTH 200 FEET THEREOF.
- PARCEL NO. 2:
THE WEST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 6 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.
- PARCEL NO. 3:
THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;
EXCEPT THE NORTH 200 FEET THEREOF.
- PARCEL NO. 4:
THE EAST HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 6 SOUTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.

SCHEDULE B ITEMS

1. This item has been intentionally deleted.
2. Any charge upon said land by reason of its inclusion in Central Arizona Water Conservation District. (All assessments due and payable are paid.)
3. Reservations contained in the Patent recorded in book 42 of deeds, page 352 and recorded in Book 72 of Deeds, page 534 from the United States of America (Affects Parcel No. 3 And 4)
4. All matters contained in that certain Cable Television Service Agreement and Easement for the purpose of constructing, operating and maintaining cable television services, recorded June 14, 2000 in 2000-024966 of Official Records.
5. (Affects Parcel No. 1 and 2)
6. Certification by the Board of Supervisors of Pinal County, Arizona recorded February 21, 1964 as Docket 375, Page 572, purporting to establish a county roadway. (No width specified)
7. An easement for gas pipeline and incidental purposes in the document recorded as 2001-21613 of Official Records.
8. (Affects Parcel No. 3)
9. An easement for gas pipeline and meter site and incidental purposes in the document recorded as 2001-21616 of Official Records and amended as document recorded as 2001-038274 of Official Records.
10. (Affects Parcel No. 4)
11. An easement for gas pipeline and incidental purposes in the document recorded as 2001-26690 of Official Records and amended as document recorded as 2001-38275 of Official Records.
12. (Affects Parcel No. 4)
13. The terms and provisions contained in the document entitled "Ordinance No. 271-1" recorded February 3, 2003 as 2003-007184 of Official Records.
14. (Affects Parcel No. 1 and 2)
15. The terms and provisions contained in the document entitled "Assignment" regarding easelines by and between Southwest Gas Corporation, a California Corporation (Assignor) and El Paso Natural Gas Company, a Delaware corporation (Assignee), recorded August 2, 2002 as 2002-063462 of Official Records and recorded August 8, 2003 as 2003-054920 of Official Records.
16. The terms and provisions contained in the document entitled "License and Encroachment Agreement" recorded June 17, 2004 as 2004-045353 of Official Records.
17. Any facts, rights, interests or claims that may exist or arise by reason of the following matters disclosed by an ALTA/ACSM survey made by _____ on _____ designated Job Number _____.
18. This item has been intentionally deleted.
19. Taxes for the full year of 2006.
(The first half is due October 1, 2006 and is delinquent November 1, 2006. The second half is due March 1, 2007 and is delinquent May 1, 2007.)
20. Water rights, claims or title to water, whether or not shown by the public records.
21. The terms and provisions contained in the document entitled "Donation Agreement" recorded February 23, 2006 as 2006-025808 of Official Records.

BENCHMARK

NGS BRASS CAP IN CONCRETE, ID # C20986, STAMPED "T 363 1967" ABOUT 2.9 MILES NORTHWEST ALONG THE SOUTHERN PACIFIC RAILROAD FROM THE STATION AT CASA GRANDE, IN SEC 14, T. 6 S., R. 5 E., 7 POLES NORTHWEST OF THE CROSSING OF THE RAILROAD AND AN ABANDONED ROAD, 42 FEET NORTHWEST OF THE NORTHEAST RAIL OF THE NORTHEAST SET OF TRACKS, 3 1/2 FEET SOUTHWEST OF LEGOS NUMBER 16, 1.3 FEET SOUTHWEST OF A METAL WITNESS POST, ABOUT 1 FOOT BELOW THE LEVEL OF THE TRACKS.
 ELEVATION= 1363.02 (NAVD 88 DATUM)

BASIS OF BEARING

THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 5 EAST, NORTH 001512° EAST

SURVEYOR'S NOTES

1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON. DISTANCES AND/OR BEARINGS SHOWN IN PARENTHESES (466.67) ARE RECORD OR DEED VALUES, NOT FIELD MEASUREMENTS.
2. MANHOLES, INLETS AND OTHER UTILITY RIMS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY, THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE. THE LABELING OF THESE MANHOLES (SANITARY, WATER, ETC.) IS BASED SOLELY ON THE "STAMPED" MARKINGS OF THE RIM, NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES.
3. ONLY THE IMPROVEMENTS WHICH WERE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY AND THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE ARE SHOWN ON THE FACE OF THIS PLAT. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.
4. THIS SURVEY MAY NOT REFLECT ALL UTILITIES, OR IMPROVEMENTS, IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING, OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS OR TRAILERS.
5. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE OR UTILITY LINE.
6. THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED ON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT, TOGETHER WITH THE TITLE COMMITMENT, THE PARCELS, WHICH WERE DEFINED AND RECORDED IN YOUR TITLE COMPANY.
7. COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY MONUMENTS BEFORE BUILDING, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.
8. RESTRICTIONS THAT MAY BE FOUND IN LOCAL BUILDING AND/OR ZONING CODES HAVE NOT BEEN SHOWN. HEIGHT AND BULK RESTRICTIONS (IF ANY) HAVE NOT BEEN SHOWN. ONLY THOSE SETBACK RESTRICTIONS SHOWN ON THE RECORDED SUBDIVISION PLAT OR IN THE TITLE COMMITMENT HAVE BEEN SHOWN.
9. SURFACE INDICATIONS OF UTILITIES ON THE SURVEYED PARCEL HAVE BEEN SHOWN. UNDERGROUND AND OFFSITE OBSERVATIONS HAVE NOT BEEN MADE TO DETERMINE THE EXTENT OF UTILITIES SERVING OR EXISTING ON THE PROPERTY. PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION. OVERHEAD WIRES AND POLES (IF ANY) HAVE BEEN SHOWN, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.
10. FIRST AMERICAN TITLE INSURANCE COMPANY FILE NO. NCS-192439-PHX1, WITH AN EFFECTIVE DATE OF APRIL 10, 2006, HAS BEEN REVIEWED IN CONJUNCTION WITH THE PREPARATION OF THIS SURVEY.
11. THE FOLLOWING DOCUMENTS WERE USED IN PREPARATION OF THIS ALTA/ACSM LAND TITLE SURVEY:
 A: ALTA/ACSM LAND TITLE SURVEY BY SUPERIOR SURVEYING SERVICES, INC. DATED NOVEMBER 11, 2002
 B: ALTA/ACSM LAND TITLE SURVEY BY SOUTHWESTERN STATES SURVEYING, INC. DATED JUNE 03, 2003
 C: DEPENDENT RESURVEY OF TOWNSHIP 6 SOUTH, RANGE 5 EAST, G.&S.R.M., ARIZONA BY DUPREE R. AVERILL AND OTIS O. GOULD OFFICIALLY FILED MAY 15, 1930

FLOOD HAZARD NOTE:

THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM COMMUNITY PANEL NUMBER 040080 0010 C, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 1989, INDICATES THAT PARCELS NO. 1, 2, 3 AND ALL OUTSIDE OF THE FLOOD HAZARD STUDY LIMITS AND CLASSIFIED AS UNDESIRABLE TO BE SUBJECT TO FLOODING IN THE COMMUNITY OR ALL PLANNING FEATURES OUTSIDE SPECIAL FLOOD HAZARD AREAS. THIS DOES NOT GUARANTEE THAT THE SURVEYED PROPERTY WILL OR WILL NOT FLOOD.

CERTIFICATION

TO: RODEO BURRIS 185 L.L.C., A NEVADA LIMITED LIABILITY COMPANY
 RODEO 131 RODEO/BURRIS LIMITED PARTNERSHIP, L.L.P., AN ARIZONA LIMITED LIABILITY LIMITED PARTNERSHIP.
 FIRST AMERICAN TITLE INSURANCE COMPANY

WE, MANHARD CONSULTING, LTD. DO HEREBY DECLARE THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1998, AND INCLUDES ITEMS 1 THROUGH 5, 8, 9, 10, 11 AND 13 OF TABLE A THEREOF, AND PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT THE POSITIONAL UNCERTAINTIES RESULTING FROM THE SURVEY MEASUREMENTS MADE ON THE SURVEY DO NOT EXCEED THE ALLOWABLE POSITIONAL TOLERANCE.

DATED THIS _____ DAY OF _____ 20____

ARIZONA REGISTERED LAND SURVEYOR No. 35832

DATE OF FIELD SURVEY: JANUARY 2006

DATE	
REVISIONS	
CHANGED BY	CHECK BY

Manhard Consulting, Ltd.
 Civil Engineers - Surveyors - Water Resources Engineers - Water & Wastewater Engineers
 Environmental Scientists - Planners - Construction Managers
 1405 North Higley Road, Suite 300 - Scottsdale, AZ 85260 - 480.346.5550 - 480.346.5599 FX - www.manhard.com



ALTA/ACSM LAND TITLE SURVEY
CASA GRANDE, ARIZONA
RODEO AND BURRIS 225 - PARCELS 1-4

REGISTERED LAND SURVEYOR
 NO. 35832
 NAME: MANHARD CONSULTING, LTD.
 TITLE: SURVEYOR

DATE: _____
 TIME: _____

SHEET
1 OF **2**

NISHIDA, YUTAKA TR
10582 E KAREN DR
SCOTTSDALE AZ, 85255

NKS GROUP VIII LTD PSHIP
8501 N SCOTTSDALE RD 255
SCOTTSDALE AZ, 85253

ROOT, JACQUELYN & ROGER
TRUST
1907 E JACARANDA CIR
MESA AZ, 85203

SCOTT & TRAILERS
PO BOX 10515
CASA GRANDE AZ, 85230

EL PASO GAS COMPANY
8901 W. HWY 287
CASA GRANDE, AZ 85222

PHIL & CATERINA CORTESE
7909 E. WILSHIRE DR.
SCOTTSDALE, AZ 85257

CASA GRANDE MONTGOMERY
240 LTD. PARTNERSHIP
5040 E. SHEA #254
SCOTTSDALE, AZ 85254

SCOTT & SCOTT TRAILERS
PO BOX 10515
CASA GRANDE, AZ 85230

ROCHELLE MAGIC
9075 S. 1330 EAST
SANDY, UTAH 84094