

TAMARON

A residential PLANNED AREA DEVELOPMENT

Located on 121 acres at the northwest corner of
Cottonwood Lane and Arizola Road



PAD Development Guide
for a PAD Rezoning
and
Minor General Plan Amendment
request
submitted to the
CITY OF CASA GRANDE

Submitted June 6, 2003; Updated June 27, 2003 and August 13, 2003

TAMARON

**PRELIMINARY DEVELOPMENT PLAN AND DEVELOPMENT GUIDE
FOR A PLANNED AREA DEVELOPMENT (PAD); AND A
MINOR GENERAL PLAN AMENDMENT FOR A PROPERTY
LOCATED ON 121 ACRES AT THE NORTHWEST CORNER
OF COTTONWOOD LANE AND ARIZOLA ROAD**

APPLICATION CGPZ -67-03; 68-03

Submitted June 6, 2003; Updated June 27, 2003 and August 13, 2003

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TAMARON, A PROPOSED P.A.D. MASTER PLANNED COMMUNITY

TAMARON is a proposed single-family detached residential development to be built on 120.7 gross acres located at the northwest corner of Cottonwood Lane and Arizola Road ("Site"). The Site is in the eastern portion of the City of Casa Grande ("City"). The Site is currently zoned Urban Ranch Residential ("UR"). This proposal is to develop the Site under the Planned Area Development ("PAD") zoning classification. The land uses and proposed zoning are in compliance with General Plan 2010. A Vicinity Map showing the Site and its location in the City is attached as Exhibit 1.

The Development Plan for **TAMARON** has been prepared to create a sense of community with a neighborhood living environment in an up-scale development. This project has been planned with the potential of five separate, but integrated subdivisions that are all characteristic of the single-family residential uses the City is striving to achieve for this area. The overall residential community will consist of a unique blend of three different lot configurations creating a potential range of 422 to 425 single-family detached homes to be developed along a centralized open space. The open space is accessible from any part of the community using a combination of detached sidewalks and neighborhood trails.

The proposed **TAMARON** Master Planned Community will include:

- A Low Density Residential single-family development with the potential for five subdivisions or development phases with an overall density range of 3.50 to 3.52 residential dwelling units per acre;
- The blending of three lot sizes within each proposed neighborhood offering a visually pleasing streetscape with the variety of potential elevations to be offered;
- Centralized, usable open space that encompasses a minimum of 15% of the community;
- Eight separate, but linked recreation areas containing tot lots, turfed field sport areas, ramadas, barbeques, park benches, picnic tables, and numerous turfed open space areas;
- Pedestrian access from each residential subdivision connecting all parts of the development to the centralized open space and to each of the recreation areas;
- A unique collector road system in compliance with the General Plan 2010 that offers safe, limited access from each of the subdivisions to all parts of the City; and
- An entry water feature that gives a sense of destination and identity to the community.

This Development Guide has been created to present how this master planned community has been planned to be in compliance with the land use and development guidelines of the City and General Plan 2010 as well as the City PAD Zoning requirements.

Part I of this Development Guide.....	Project Overview
Part II of this Development Guide.....	Applicable Residential Design Standards and City P.A.D. Zoning Requirements

COMMUNITY DEVELOPER

The Owner of the Site, Brentwood Investments, Inc. is proposing the development of TAMARON. The President of Brentwood Investments, Inc. is John Berglund ("Community Developer").

PROJECT DEVELOPMENT TEAM

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PART I – PROJECT OVERVIEW

1.0 GENERAL PLAN COMPLIANCE AND MINOR AMENDMENT REQUEST

TAMARON has been diligently planned and engineered to be in compliance with the City of Casa Grande General Plan 2010 ("General Plan"). The Land Use Plan Element designates the Site in an area planned for Low Density Residential ("LDR") that allows a density range of 1-4 dwelling units per acre (du/ac). This Plan Element places the target density for LDR at 2.5 du/ac, with a maximum density not to exceed 4.0. A second Plan Element of the General Plan, the Growth Area Element, places the Site in the Urban Core Growth Area of the City. This Urban Core Area has been designated to allow for proposed development to take advantage of the existing infrastructure and plan for additional density. The LDR portions of this Growth Area allows for a target density of 4.0 du/ac. TAMARON has been planned to meet the criteria of both Elements of the General Plan. The proposed net acre residential density range of TAMARON is 3.53 to 3.56 du/ac. This proposed density is well within the allowed target density for this Urban Core Growth Area, and the LDR designation of the Land Use Plan.

TAMARON also complies with the Community Character Element, a subsection of the Land Use Plan Element, by incorporating a variety of materials and landscaping in the treatment of the perimeter walls, and by staggering front yard setbacks. Likewise, TAMARON is in compliance with the School Planning Element subsection by coordinating with the School District to minimize the impact of additional student load by providing a monetary donation per lot.

The Transportation/Circulation Element of the General Plan has designated the particular placement of the collector roadways to be developed in the area containing the Site. The TAMARON Development Plan has been designed using the collector roadway configuration designated by the General Plan in Figure 5.1, the Roadway Circulation Plan.

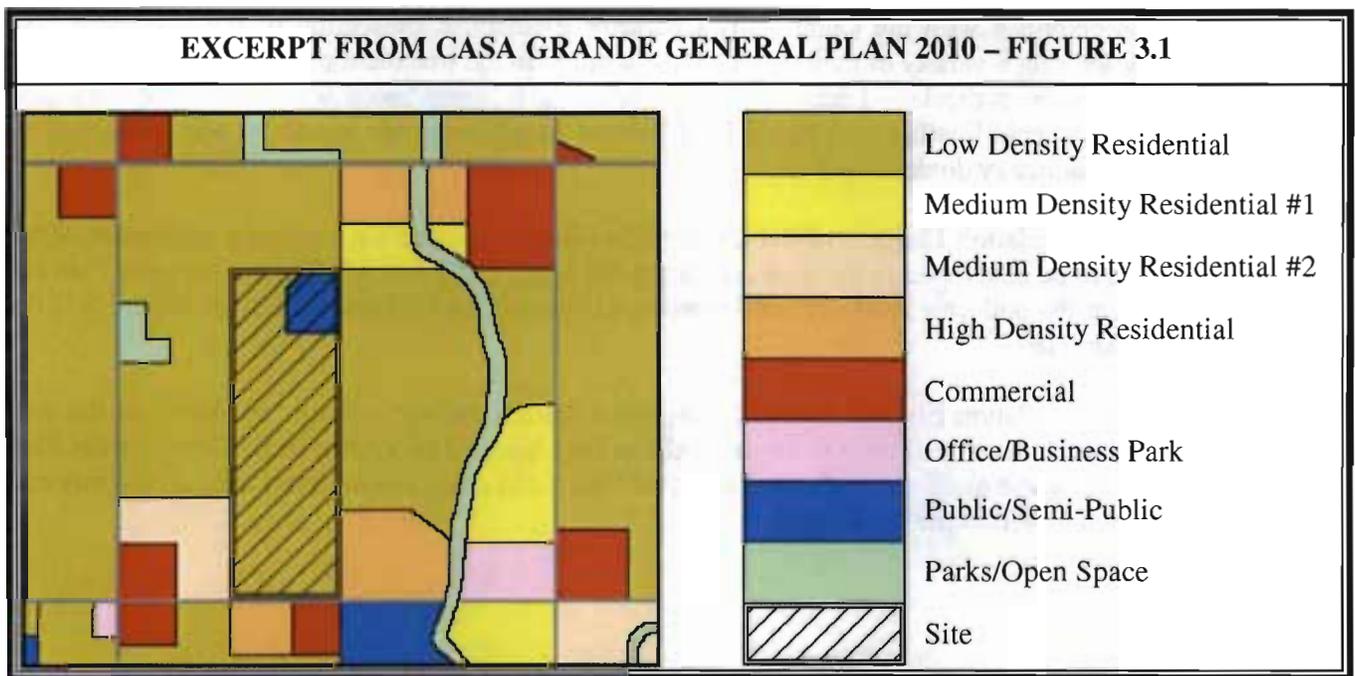
The Transportation/Circulation Element has also designated the arterial and collector roadways in the area containing the Site to be developed with multi-use paths or bike lanes. The TAMARON Development Plan has been designed using the multi-use paths or designated bike paths along the southern arterial roadway and both collector roadways within the development.

KEY GENERAL PLAN ELEMENTS – TAMARON COMPLIANCE		
✓	Land Use Element	LDR Designation/Density Range
✓	Community Character	Wall Variety; Streetscape Diversity And Staggered Front Setbacks
✓	School Planning	School Location & Assistance
✓	Growth Area Element	Target Density
✓	Traffic/Circulation Element	Roadways & Multi-use Paths

1.1 MINOR GENERAL PLAN AMENDMENT REQUEST

While **TAMARON** does comply with the General Plan’s goals and objectives, a Minor General Plan Amendment is being requested for this project. The majority of the Site is designated LDR. However, there is a small area of land within the boundaries of the Site that has been designated Public/Semi-Public on the Future Land Use Map of the General Plan (see Excerpt Exhibit below). This designated land parcel of approximately 12 acres was potentially to be a future school site. However, the School District, in a review of the proposed **TAMARON** development, has declared that it does not want or need this land parcel for a future school site within this property. The preference of the School District was to request a cash per lot donation from the developer of **TAMARON**. The Donation Agreement was prepared and was agreed to and signed by the Community Developer and the School District. A copy of the signed Donation Agreement is attached as Appendix A.

Since the School District does not want a school site on the land parcel within the Site that is currently designated Public/Semi-public, and in light of the signed Donation Agreement with the School District, the Community Developer is requesting a minor amendment to the General Plan changing the land use designation of this parcel of land on the Site from Public/Semi-Public to LDR.



An exhibit showing the Existing and Proposed Land Use Designations is attached as Exhibit 2a. A second exhibit showing the proposed LDR land uses on a Conceptual Land Use Plan for the **TAMARON** development is attached as Exhibit 2b.

2.0 PLANNED AREA DEVELOPMENT ZONING REQUEST

TAMARON is a well-conceived, master planned residential development that has been designed to invite its residents to walk, ride, play and mingle in a diverse, open community. The open space areas are advantageously placed to lend an open, engaging atmosphere to the project. The development has been designed to be in compliance with the General Plan and to meet the LDR density requirements. In order to offer the type of development proposed for this master planned community, the design flexibility of the Planned Area Development ("PAD") zoning designation is best suited for this community.

This request seeks to change the Site's UR zoning designation to PAD. The land use proposed for **TAMARON** is entirely residential in character. No commercial or industrial uses are proposed. This master planned community has been carefully designed to meet and/or exceed the PAD zoning requirements and design standards. Part II of this Development Guide addresses in detail the compliance of **TAMARON** to City Residential Design Requirements for PAD zoning.

The proposed Preliminary Development Plan ("Development Plan") is attached as Exhibit 3.

3.0 EXISTING SITE AND AREA CONDITIONS

The following sections review the current conditions of the Site and the surrounding area.

3.1 EXISTING SITE CONDITIONS

The Site is a long, narrow parcel of featureless, flat land. The southern portion of the Site is vacant, open graded land. The northern portion is currently leased for agriculture.

A concrete-lined irrigation water delivery ditch runs the length of the Site just inside the eastern boundary. The ditch jogs around a private irrigation water well located 16 feet inside the eastern boundary approximately ¼ mile north of Cottonwood Lane. The concrete delivery ditch terminates just south of the irrigation well, approximately 175 feet north of the intersection of Cottonwood Lane and Arizola Road.

The southern boundary of the Site has a 100-foot x 100-foot exception parcel. This square parcel of land is a well site owned by the Arizona Water Company and it surrounded by a chain link fence.

The southeast corner of the Site has on it two concrete slabs and three clusters of trees. In addition, power lines run overhead along the north side of Cottonwood Lane and the west side of Arizola Road.

The trees are the only significant native vegetation on the Site. The wildlife species most likely to be found on the Site include jackrabbits, skunks, coyotes, mourning doves, quail and songbirds.

A copy of a 2003 Phase I Environmental Site Assessment covering the Site will be provided to the City.

3.2 TOPOGRAPHY AND DRAINAGE

A majority of the Site has been graded to accommodate the irrigation of crops. The Site slopes very gently to the north, northwest. The high point of the Site is at the southeast corner that is approximately 1,405 feet above mean sea level ("MSL"). The low point of the Site, at the northwest corner, is approximately 1,396 feet above MSL. Elevation and topographic information was derived from the U.S. Geological Survey Waddell, Arizona, 7.5-Minute Series quadrangle map, 1957, photo revised 1971. A Topographic Map is attached as Exhibit 4.

The Pinal County, Arizona and Incorporated Areas Flood Insurance Rate Map (FIRM) Panel Number 0400770695 D, Panel Number 0400770700 and Panel Number 0400770925 D, all dated March 5, 1990, indicate that the project falls predominantly within Zone C. Zone C is defined by the Federal Emergency Management Agency (FEMA) as: Areas of minimal flooding.

Zone C is outside the delineated 100-year floodplain. Flood insurance is available, but not required by the Federal Insurance Administration, for buildings concerned with a federally insured loan. Flood insurance is optional at the discretion of the owner or lending institution. A Floodplain Map is attached as Exhibit 5.

3.3 RELATIONSHIP TO SURROUNDING PROPERTIES

The existing land use within a one-quarter mile radius of the Site may be characterized as a mixture of agricultural, residential and commercial uses.

North: Abutting the north side of the Site is an 80-acre parcel of undeveloped land presently zoned R-1. The north property line of this parcel fronts on Kortsen Road.

East: The Site is bound on the east by an undeveloped large parcel of land owned by the State of Arizona. A city approved land use plan with a recorded plat was created for this property called the "Kortsen-Heness State Plan." The portion of the Kortsen-Heness State Plan north of Cottonwood Lane is still zoned UR. The portion south of Cottonwood Lane has been rezoned to PAD.

South: The Site fronts on Cottonwood Lane, a two-lane paved road. Arizola Road intersects with Cottonwood Lane at the southeast corner of the Site, presently forming a "T" intersection. At the southeast corner of this intersection is the PAD portion of the aforementioned Kortsen-Heness State Plan. At the southwest corner of this same intersection is the Monument Village PAD. The frontage along Cottonwood Lane of this PAD presently contains an undeveloped commercial corner at the intersection and, west of this commercial parcel, is an existing apartment complex named "Cottonwood Crossings". To the west of the Monument Village PAD is a second approved PAD, named Wildwood.

West: At the southwest corner of the Site is The Villas by Mary T. This is an existing multi-family project containing senior living. To the north of this development and west of the Site are Phases 1 and 2 of the Highland Manor PAD. Phase 1 is presently under construction and Phase 2 is approved for development.

Airport: The Site is approximately 3½ miles southeast of the Casa Grande Municipal Airport.

3.4 ACCESSIBILITY

TAMARON is easily accessible from Interstate 10 to the east via SR 287 (Florence Boulevard) and from the downtown area to the west via Florence Boulevard and Peart Road or Arizola Road. Peart Road intersects Cottonwood Lane just ¼ mile west of the Site, and Arizola Road will enter the Site at its southeast corner.

3.5 LEGAL DESCRIPTION

This proposed residential PAD is comprised of a single parcel of land in the west half (1/2) of Section 15 Township 6 South, Range 6 East; G&SRB&M; Pinal County, Arizona. A copy of the current ALTA Survey for the Site is attached as Appendix B.



4.0 PROJECT LAND USE

The proposed **TAMARON** master planned community is a unique combination of three different lot sizes blended throughout the development in a configuration that offers the opportunity to develop five separate, but integrated neighborhoods of single-family homes under the PAD zoning classification.

4.1 GENERAL SITE DESCRIPTION

TAMARON has been planned with the design flexibility of being developed with a range of 422 to 425 single-family detached homes, along a centralized open space with additional pocket parks throughout the development. A minimum of 15% of the project has been set aside for master, useable open space and is accessible from any part of the community by using a combination of detached sidewalks and neighborhood trails within the development.

4.2 LOT SIZING AND PLACEMENT

TAMARON has been designed with a residential mix throughout the development of three (3) lot sizes. A combination of 6,000, 7,000 and 8,000 square foot lots meets the single-family lot size requirements for a PAD development. The 7,000 square foot or greater lots will vary in lot width and depth, but the average lot will be designed based on an average size of approximately 60' x 117'. The 8,000 square foot or greater lots will again vary in lot width and depth, but the average lot will be designed based on an average size of approximately 65' x 125'. The predominate lot size that will be interspersed throughout the project will be 7,000 square feet in size. The minimum lot width for this development will be 55 feet and the minimum lot depth will be 110 feet, which equates to a lot size of 6,050 square feet.

Using a lotting concept of 422 proposed lots, there are 178 proposed lots with a minimum lot area of 7,000 square feet, or 42.2% of the development. Of the proposed 422 lots in this development, approximately 121 lots will be less than 7,000 square feet. This accounts for only 28.7% of the proposed lots in this development and these lots again have been dispersed throughout the five (5) potential subdivision areas within the project. The balance of the lots, 122 lots, are 8,000 square feet or greater, and this is 29.1 % of the project. This ratio of lots provides a true blending of the three lots sizes while clearly meeting the lot size requirements of the PAD zoning. Table 4.2.1 below illustrates the percentage of the project's yield by lot size.

Table 4.2.1

PROPOSED ZONING	TYPE OF LOT	LOTS PER RESIDENTIAL SUBDIVISION AREA					TOTAL NO. OF LOTS	LOT PERCENTAGE
		A	B	C	D	E		
P.A.D.	6,000-6,999 s.f.	38	27	29	0	27	121	28.7 %
P.A.D.	7,000-7,999 s.f.	21	49	35	33	40	178	42.2 %
P.A.D.	8,000+ s.f.	32	13	9	44	25	123	29.1 %
TOTALS		91	89	73	77	92	422	100 %

In order to show the design flexibility of the project, a second lotting projection has been prepared to show an alternative proposed range of lot sizes for a development containing 425 lots. Using the lotting concept of 425 proposed lots and still meeting the minimum open space criteria of 15%, there would potentially be 180 proposed lots with a minimum lot area of 7,000 square feet, or 42.3% of the development. Of the proposed 425 lots in this development, approximately 121 lots will be less than 7,000 square feet. This accounts for only 28.5% of the proposed lots in this development and these lots again have been dispersed throughout the five (5) potential subdivision areas within the project. The balance of the lots, 124 lots, are 8,000 square feet or greater, and this is 29.2 % of the project. This ratio of lots again provides a blending of the three lots sizes while clearly meeting the lot size requirements of the PAD zoning. Table 4.2.2 below illustrates the percentage of the project's yield by lot size for this lotting alternative.

Table 4.2.2

PROPOSED ZONING	TYPE OF LOT	LOTS PER RESIDENTIAL SUBDIVISION AREA					TOTAL NO. OF LOTS	LOT PERCENTAGE
		A	B	C	D	E		
P.A.D.	6,000-6,999 s.f.	38	27	29	0	27	121	28.5 %
P.A.D.	7,000-7,999 s.f.	21	49	35	33	42	180	42.3 %
P.A.D.	8,000+ s.f.	32	14	9	44	25	124	29.2 %
TOTALS		91	88	73	77	92	425	100 %

4.3 COMMUNITY OPEN SPACE AND RECREATION AMENITIES

TAMARON has been designed with distinctive, but fully integrated, open space areas. This Master Open Space encompasses a minimum of 15% of the project and has been designed to be part of each of the proposed residential subdivisions with this development.

The Master Open Space is a combination of centralized common open space areas linked to numerous neighborhood "pocket park" landscaped areas. A centralized water feature presents a unique sense of community arrival at the focal point of the community. The Site also contains designated active recreation areas, all of which are linked within the development by a neighborhood trail and public sidewalk system. In addition, all proposed subdivisions within the community include bicycle lanes along the interior collector roads linking the overall development.

To insure that the Master Open Space plan is incorporated into each subdivision, the Community Developer will create and record a set of Covenant, Conditions, and Restrictions ("C,C&Rs") establishing a master homeowner's association ("Master HOA") for the **TAMARON** project. The Master HOA will be responsible for maintaining the landscaping and designated recreation areas for the Master Open Space. The following sections are a brief outline the various features of the Master Open Space.

A. Active Recreation Open Space

There are nine common area open space tracts that have been proposed to provide various active recreational uses for the residents of **TAMARON**. The proposed Active Recreation Areas ("ARA") are:

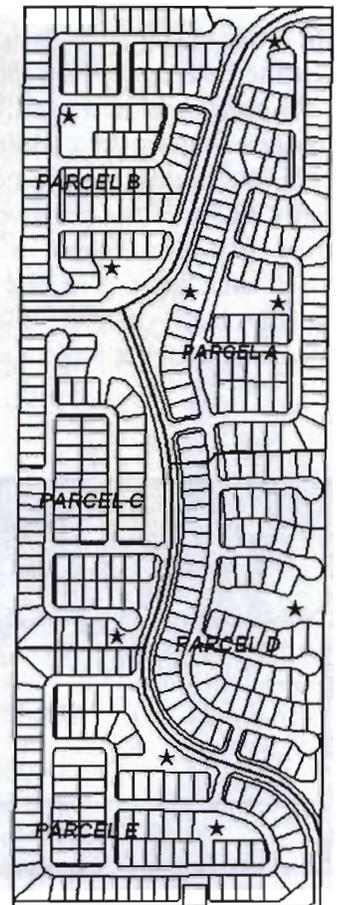
Northeast: There are three ARA proposed within Parcel A. Two areas are side by side and create a large, predominately turf and retention area that has been designed to promote field sports and recreational activities. It will have park benches, picnic tables, a ramada with barbeque, a large tot-lot with play equipment for younger children and a half-court basketball area. The third ARA is a neighborhood pocket park, is a turfed area with a proposed park bench and picnic table. These three common areas contain approximately 3.74 acres.

Northwest: This ARA is divided between two areas in Parcel B totaling approximately 2.2 acres. One area is adjacent to the theme water feature and proposes park benches, picnic tables and a ramada. The second area is a centrally located neighborhood "pocket park". This will be a turfed retention area with a proposed park bench, a picnic table, and a small tot-lot.

Central/West: This ARA in Parcel C is a 0.7-acre pocket park with proposed park benches, picnic table, and small tot-lot play area.

Central/East: This ARA is a large turf and retention area in Parcel D containing approximately 1.82 acres. This open space proposes park benches, picnic tables, a ramada with barbeque, and a turf area promoting field sports and recreational activities.

South: There are also two proposed ARA within Parcel E. One is a centralized turf and retention area for field sports and recreational activities. The second ARA is a pocket park with turf and will have a ramada with barbeque and a small tot-lot. These two common areas contain approximately 2.0 acres.



B. Entry Water Feature

Unique development monumentation in the form of two strategically positioned water features will be placed with the primary entry signage for the Site. These twin entry features will be located on the north and south sides of the internal collector entering the northwest portion of the Site from a connection with Peart Road to the west. This entry water feature is intended to provide the development with a theme or identity for the community and it's residents.

The location, design and uses of the proposed active recreation areas and this entry water feature are shown on the Conceptual Landscaping Plan presented in Exhibit 6.

C. Neighborhood Trail and Sidewalk System

A designated trail and sidewalk system is proposed throughout TAMARON. A 5-foot wide concrete trail or pathway will provide direct access to the various active recreation areas. The trail will be linked to the 5-foot detached sidewalks along the internal collector streets and the 4-foot wide detached sidewalks in the individual subdivisions (the "Neighborhood Trail System"). The Neighborhood Trail System will provide pedestrian and bicycle access from all residential areas within the development to the internal active recreation areas and to the designated bike lanes in the internal collector streets.

D. Internal Collectors - Intersection Roundabout

A second unique development feature will be a traffic-calming roundabout designed into the intersection of the two internal collectors for the development. The roundabout is proposed to be combination of a raised stamped concrete and a landscaped planter. The roundabout is located in an area of the Site containing an expansive centralized open space area. This overall presentation again provides the development with a continuous view corridor as you initially enter the community. The final placement of the roundabout and it's design and sizing is being reviewed by the City Engineering Department.

The proposed location and design of the trail system and the roundabout feature are shown on the Conceptual Landscaping Plan presented in Exhibit 6.

E. Surface Water Retention Areas

All open space areas that serve as retention basins will be designed to handle the surface water retention for the proposed development. This retention basin system will be sized for a 100-year, 1-hour storm.

4.4 CONCEPTUAL LANDSCAPING, WALL AND MONUMENTATION

TAMARON will have extensive landscaping throughout the development. Besides the open space and active recreation areas and the Entry Water Feature, the development will have right-of-way landscaping, theme and subdivision walls, and entry feature monumentation. A summary of these development features is presented in the following sections.

A. Walls/Fences

Subdivision Theme and Perimeter Walls: The Site will have a perimeter theme wall along the northern frontage of Cottonwood Lane and along both sides of the interior collector streets. This wall will be decoratively designed and built to meet City fencing requirements and standards. The theme wall will follow the proposed rear or side lot lines of the adjacent subdivisions in the development to create a visually pleasing streetscape along both the collector roads and the arterial road.

A standard, maximum 6-foot tall subdivision perimeter wall or builder wall will be in place along the full western boundary of the Site at the time of initial development of the project. This western wall is part of the existing Villas by Mary T development and the new Highland Manor subdivisions. The northern and eastern property lines of the Site will also have the standard, maximum 6-foot tall subdivision perimeter wall.

The location and design criteria of each of these walls are presented on the Conceptual Landscape Plan, which is presented in Exhibit 6.

View Fence along Open Spaces: A modified 6-foot tall subdivision view fence is proposed along the rear lot lines of the interior lots that back onto common open space of the two larger ARAs within Parcels A and D. Both theme wall options are shown on the Conceptual Landscape Plan.

The view fence will be a 4-foot block wall with a 2-foot wrought iron top. The location and design criteria for this view fence are presented on the Conceptual Landscape Plan.

Internal Lot Line Walls: A standard 6-foot tall subdivision or site wall will be provided for the side and rear lot lines within each subdivision of this development. The individual property owners, not the Master HOA, will maintain the common lot line walls within these subdivisions.

B. Right-Of-Way And Open Space Landscaping

Landscaping will be provided along the frontage of Cottonwood Lane, the southern arterial of this project. The landscaping of the two interior collector roads will be located in portions of the rights-of-way and additional adjacent open space tracts of TAMARON. Landscaping will also be provided in the open space/retention basin tracts within the Site.

The landscaping will, at a minimum, fulfill the requirements identified in the provisions of the Municipal Code of the City. Plant information and pictorial renderings of the conceptual landscaping in the open space areas will be presented in the Construction Drawings to be submitted to the City for final approval.

C. Signage And Entry Monumentation

Primary development signage with accent water features will be placed at the northwest entrance into the Site, along both sides of O'Neil Drive, the 80-foot collector street. Additional secondary signage will be placed at the two other entries at the northeast and southeast corners of the development. The three locations of the entry monumentation are noted on the Preliminary Development Plan presented in Exhibit 3.

D. Wall; Landscape; and Signage & Monumentation Maintenance

The Master HOA will be responsible for the maintenance of all the walls except the internal lot-line walls. The individual homeowner will be responsible for the maintenance of the internal lot-line walls.

Likewise, the Master HOA will maintain the landscaping, the signage at the entries, and the proposed Entry Water Features.

5.0 TRAFFIC CIRCULATION AND STREET DESIGN

Cottonwood Lane and Arizola Road provide primary access to TAMARON. Within the development, two collector streets are curvilinear in design as set forth in the General Plan. Residential streets are also designed for the benefit of the community atmosphere by providing two access points into each potential subdivision, but still limiting the flow-thru traffic. Many residential streets terminate in cul-de-sacs, and/or knuckles, thereby grouping homes into mini-neighborhoods within the individual subdivisions.

A traffic analysis report and the plans of all proposed streets will be submitted to the City for review with the initial submittal of the Preliminary Plat for the Site. City acceptance of this report is required prior to the approval of any Final Plat for this project. The Traffic report will address the traffic impact of this project and determine any additional traffic and/or roadway improvements the developer will be required to provide, or be partially financially responsible for, based on the amount of traffic generated by this project.

A Street Cross-Section Plan for the project is presented in Exhibit 7.

5.1 COTTONWOOD LANE

Cottonwood Lane is a minor arterial with a designated right-of-way of 110 feet. A 33-foot half right-of-way presently exists for the northern frontage of the Site and an additional 22 feet will be dedicated to the City by this development. Cottonwood Lane is currently a two-lane paved roadway. There is currently no curb and gutter, bike lane, sidewalk or landscaping along Cottonwood Lane adjacent to the Site. There is a median west of the intersection with Arizola Road at the southeast corner of the Site. This median is part of the design criteria for the future development of the full right-of-way for Cottonwood Lane.

The Community Developer will install paving, curb, gutter, striped bike lane, 6-foot wide attached sidewalk, and landscaping within the right-of-way along the north side of Cottonwood Lane. The Community Developer will also participate in the funding or construction and landscaping of their portion of the center median for Cottonwood Lane. Also, because of a required drainage way along the north side of the arterial, the sidewalk will be attached at the north side of Cottonwood Lane.

5.2 PROPOSED COLLECTORS

There are two proposed collectors to be designed within the Site. The east/west collector is a major collector and has a designated right-of-way of 80-feet. This road is a continuation of O'Neil Drive from the existing Highland Manor subdivision to the west of the Site. The second internal collector, which is the off-set extension of Arizola Road, is also designated as a major collector. Both of these two collector streets are curvilinear in design to slow traffic and enhanced the safety and community feel of the development. The two internal collectors have been designed to be in compliance with a unique off-set collector roadway system designated for the area containing this development and presented in the approved Roadway Circulation Plan (Figure 5.1) from the City of Casa Grande General Plan 2010.

Because of the required offset for the newly aligned northern extension of Arizola Road, and its termination with O'Neil Drive within TAMARON, this north/south collector that has been designed with an alternative 80-foot pavement cross-section within a designated 60-foot right-of-way. This proposed cross-section for this collector allows for two travel lanes, a center turn lane, a bike lane, and a detached sidewalk to be placed in a sidewalk easement within the common area of the development. Designed with limited access points within the development, this modified collector blends well with the centralized open space to provide well planned and safe residential access to this development from the north and south.

The cross-section for both collectors are being reviewed by the City Engineering Department for final acceptance. In addition, striped bike lanes that meet the Arizona Department of Transportation ("ADOT") standards and the recommendations of the City will be provided along all collector streets and along Cottonwood Lane.

5.3 PROPOSED ROUNDABOUT

A unique, city requested development feature for TAMARON will be a traffic-calming roundabout planned for the intersection of the two internal collectors. The intent of this roundabout is to assist in the controlled flow of vehicular traffic moving east and west in this portion of the City. This is potentially the first of a series of roundabouts to be placed along O'Neil Drive. The roundabout is proposed to be combination of a raised stamped concrete with a landscaped planter designed to meet City and Federal traffic flow requirements. The final design of the lane configuration and sizing of the roundabout is being reviewed by the City Engineering Department.

5.4 RESIDENTIAL STREETS AND ROADWAYS

The Community Developer will be responsible for the engineering and construction of local residential streets within TAMARON. A 44-foot right-of-way will be dedicated to the City. Local street improvements will include paving, curb and gutter, a detached 4-foot wide sidewalk and a 5-foot wide landscape strip between the sidewalk and the curb on both sides of the rights-of-way.

5.5 RESPONSIBILITY FOR DEVELOPMENT AND MAINTENANCE

The Street cross-sections for Cottonwood Lane, the two collector roadways, and the striping plans will be subject to the review and approval of the City prior to the approval of the Preliminary Plat.

The City will be responsible for the maintenance of improvements within the rights-of-way, with the exception of the landscaping. The Master HOA will be responsible for said landscaping.

6.0 UTILITY SERVICE AND PUBLIC FACILITIES

Private utility companies will provide water, gas and electric service. The City will provide the sewer, police, fire protection, and refuse collection.

6.1 UTILITIES

All utilities will be placed underground. Streetlights and fire hydrants will be provided according to City code and in accordance with the recommendations of the City Engineering and Fire Departments.

Water: The Site is located in the water service area of American Water Company.

Electric: The Site is located in an area serviced by Arizona Public Service Company ("APS") and by Electric District #2 ("ED-2"). APS presently has overhead electric lines located in public utility easements along the south side of Cottonwood Lane. APS also has recently installed underground electric service at the west edge of the Site in O'Neil Drive. ED-2 presently provides overhead electric service on the north side of Cottonwood Lane to the existing Arizona Water Company well site located within the southern end of the Site. They also provide overhead electric service to an existing private irrigation well on the eastern edge of the Site. Both of these well sites will be provided underground electric service from within the development. APS will provide underground residential electric service to the Site.

Gas: The Site is located in an area serviced by Southwest Gas Company.

Telephone: Site is located in an area that is serviced by Qwest Communications.

Cable: Site located in an area that is serviced by Cox Communications.

Irrigation Water: The Site has an existing private irrigation well near the southeast corner of the property. The Community Developer owns the well and intends to utilize this well to provide irrigation water to the proposed water feature and the open space landscaping for this development.

6.2 SCHOOL DISTRICT

TAMARON is in the Casa Grande Elementary and Union High School Districts. The elementary and middle schools are located within a 2-mile radius of the Site. Ironwood Elementary School is located approximately one mile to the west of the Site on Colorado Street just south of Cottonwood Lane. Cactus Middle School is located to the north on Kortsens Road, just west of Peart Road. The high school serving the Site is Casa Grande High School, which is located approximately 3½ miles to the northwest near the intersection of McCartney and Trekkell Roads.

A Donation Agreement has been signed between Casa Grande Elementary School District No. 4 of Pinal County ("School District") and Brentwood Investments, Inc. A copy of the agreement will be provided to the City and is included here in Appendix A. The agreement says, in essence, that due to the size of this project and the guidelines of the School District Governing Board, Brentwood Investments will donate a certain amount of money per dwelling unit to the School District to offset the impact of the increase in student population from the area of the Site.

6.3 PUBLIC FACILITIES NEARBY

The Casa Grande Regional Medical Center is just three miles away from the Site at Florence Boulevard and Henness Road.

The closest major City Park is Ivy Park located south of Cottonwood Lane and west of Arizola Road in Monument Village.

7.0 GRADING AND DRAINAGE CONCEPT

The grading and drainage concept for TAMARON consists of providing retention basins within the proposed open space areas. The streets will be designed according to City criteria to convey all on-site storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with City requirements. Off-site storm drainage will be accommodated through adequately designed water conveyance systems.

Final drainage reports and improvement plans that meet the approval of the City Engineer are required prior to the recording of the PAD Plat or the approval of any Final Subdivision Plats for this project. A Conceptual Grading and Drainage Design Report will be submitted to and approved by the City Engineer prior to approval of the Preliminary Plat for the Site.

Some of the retention basins will be designed as multi-use facilities, combining retention facilities with active recreational opportunities, field sport usage and/or tot lots. To minimize the disruption of use during and after storms, all equipment in the tot lots will be elevated out the 25-year storm event. Drywells will be used as recommended by the City Engineer.

8.0 PHASING PLAN

The project has been designed to allow for the development of the Site in up to five phases, depending upon market conditions and absorption rates. Therefore, the phasing plan is preliminary at this time. The Preliminary Phasing Plan is presented in Exhibit 8. A more detailed phasing plan that meets the approval of the City Engineer, Planning Director and the Planning and Zoning Commission will be established during the Preliminary Plat review process.

9.0 RESIDENTIAL COVENANTS, CONDITIONS AND RESTRICTIONS

TAMARON has been designed with a significant portion of the development planned with landscaping, monumentation, and usable open space with active recreation areas. In order for the residents to insure that their investment in this planned community and their homes will endure and appreciate in value, TAMARON will be controlled by a set of C,C&Rs. The C,C&Rs will incorporate the design principals as outlined in this document and will promote diversity in home plans and elevations, use of color, home amenities, and subdivision streetscapes and maintenance.

The aforementioned Master HOA will be formed with the development of TAMARON and will maintain all landscaped tracts, perimeter walls, monumentation and open space areas, including drainage ways, retention areas and the landscaping within rights-of-way.

PART II – PAD RESIDENTIAL DESIGN STANDARDS

1.0 PAD PROJECT LAYOUT AND DESIGN

TAMARON has been designed to incorporate and meet the City's Residential Design Standards for PAD zoned developments ("RDS/PAD"), adopted January/February of 2003. The following sections outline how the subdivision design of TAMARON will meet or exceed these PAD residential design standards for the development.

1.1 MANDATORY PAD LAYOUT AND DESIGN STANDARDS

There are ten (10) concepts within the design standards of the RDS/PAD that must be followed. The following sub-sections provide information on how TAMARON will comply with those mandatory layout and design standards.

A. Open Space

Approximately 18 acres of open space will be landscaped as expansive corridors and inviting pocket parks that offer recreational areas that are pedestrian friendly and can be used for surface water retention. The open space will meet the 15% minimum requirement for the Site.

The internal open space areas are centralized as much as possible to maximize use by all of the community. The open spaces are strategically located to be highly visible and part of each phase of the development. All subdivision entries and numerous interior roads terminate with views into open space areas. Parks and cul-de-sacs will be used to access the open space. The open spaces are also connected by a series of sidewalks and neighborhood pathways, which serve to physically and visually tie the neighborhood together. Every home within TAMARON will be within 1,000 feet of a usable open space area. Safety lighting that meets the open space lighting requirements of the City will be provided within each subdivision. The HOA will maintain all landscape tracts.

The overall development will offer active recreation areas, including armadas with barbeques, and tot lots, trails and usable turf retention areas. The acreage for these amenities will be at least 50% of the total open space provided in the project.

Many of the proposed open space areas on the Site have been designed to retain storm water and still be aesthetically pleasing to the eye. Creatively designed, these retention basins will utilize varied side slopes, varied plant massing, and curvilinear pedestrian pathways to make the basins pleasant, appealing open spaces that are also useable recreational areas. At least 15% of the retention basins that are designed for recreational usage will be elevated above the 25-year floodwater surface elevation. Drywells will be utilized where necessary in retention basins as recommended by the City Engineer.

A final landscape and open space amenity plan that meets the approval of the City will be submitted prior to the approval of any Final Plat for any subdivision proposed for the Site.

B. Single-Family Lot Sizes

All lots in this development will be 6,050 square feet or more. The minimum lot size in this project will be 55 feet wide by 110 feet deep. The lot sizing will be varied in width and in depth in each proposed subdivision within the development. There will be a greater number of lots larger than 8,000 square feet in this community than lots less than 7,000 square feet. The project will be very diverse in its lot sizing.

C. Setbacks

The conventional single-family residential zoning district setbacks were used as a basis for establishing the setbacks for this development. The setbacks and development guidelines are listed in the table below:

Table 1.1 C

SETBACK AND RESIDENTIAL DEVELOPMENT GUIDELINES							
Proposed Zoning	Minimum Lot Area	Minimum Yard Setbacks				Maximum Bldg Height	Min Distance Between Bldg
		Front	Rear	Side (Int)	Side (Cor)		
P.A.D.	6,000 s.f.	15'-23'	20'	5'&10'	15'	28' – 2 story	10'
P.A.D.	7,000 s.f.	15'-23'	20'	5'&10'	15'	28' – 2 story	10'
P.A.D.	8,000 s.f.	15'-23'	20'	5'&10'	15'	28' – 2 story	10'

TABLE NOTES:

1. The minimum lot width for this development is 55'. The minimum lot depth is 110'.
2. Front setbacks for elevations with a House Forward (Livable Area) or a Side Entry Garage are a minimum of 15'. A minimum front setback of 20' to 23' is required for a Garage Forward (Front Loaded). The front setbacks are measured from the front lot line.
3. A 3' front setback stagger will be placed on every 3rd or 4th home in the proposed subdivisions.
4. Street side yard setbacks on corner lots shall include any adjacent landscape tracts. In addition to any landscape tract, a 5' wide side yard setback will still be designed on the lot.
5. Non-foundation home features will be allowed to encroach 2' into the setbacks on all sides of a lot. An encroachment of 3' into the side yard setback on the 10' side yard of a lot can take place for bay windows, entertainment niches, fireplaces and other similar home features.
6. No walls will be allowed to be built within the 10' Public Utility Easements adjacent to corner lots.
7. No additional perimeter setback requirements apply.
8. A Lot Matrix will be provided with each Final Plat describing exact square footage of each lot.

D. Multi-Family and Single-Family Attached Development

No Multi-family homes or Single-family attached homes will be built in this development.

E. Manufactured Homes

No Manufactured homes will be built in this development.

F. Multi-Story Homes

No multi-story homes will be built on corner or end lots of this development.

G. Streetscapes and Entrances

A Theme Wall, distinctive to this proposed development will be placed along the frontage of Cottonwood Lane. This same Theme Wall will be placed along the transportation corridors of both interior collector streets for this project. This includes the entrances at the three perimeter points of access to the Site.

The Conceptual Landscape Plan, presented in Exhibit 6, illustrates the use of varied materials, including block and cultured stone, in the design of the perimeter theme wall and the interior, collector street theme walls. The theme wall will consist of smooth, painted CMU block with an accent split-face block course set at an angle and a split-face block band along the top of the wall. Split-face block columns will be located approximately 120 to 180 feet apart in order to create visual “stagers” in the wall. Wall details and colors will be submitted to the City for review and approval.

O’Neil Drive, the western entry into this community, has been designated as the primary entrance in the overall project. Distinctive, lighted entry monumentation will be installed by the Developer and will promote the sense of arrival and of a high-quality residential community. In addition, a unique water feature monumentation is proposed just east of this primary entrance within a large open space created at the convergence of the two internal collector streets.

Further in to the development, additional lighted entry monumentation will be installed by the Developer to continue the sense of arrival within this planned residential community.

A minimum 15-foot wide landscape tract will be provided adjacent to arterial and collector roadways, although majority of the Site is designed with significantly more width due to drainage conveyance and linear open space corridors. All proposed landscaping would be designed to meet any sight distant triangle requirements. The Conceptual Landscape Plan provides the location and detail of the materials to be used in development of this project.

H. Front Yard Landscaping

The homebuilders in this development will offer to the homebuyer a selection of front yard landscape packages. The front yard landscaping will be installed by the homebuilder within 30 days of home occupancy, and will be maintained by the individual homebuyer. The homebuilder will offer a minimum of three (3) front yard landscape packages that will include a variety of water-conserving plants, a set minimum of 15-gallon trees, 5-gallon shrubs or accent plants, 1-gallon ground cover plants, granite rock topping or turf; and an automatic irrigation system. The turf area is not to exceed 20% of the yard area and will be separated from the granite areas by a concrete or brick header. Granite or river rock will cover all exposed areas to reduce dust in the air. The landscape packages are subject to review and approval of the City Planning and Development Director.

I. School Site

The School District does not require the donation of a school site from the developer and has entered into a Donation Agreement with the Community Developer to accept a per-unit cash donation. See Section 1.1 in Part 1 of this Development Guide for further details.

J. Miscellaneous

Side yard fence returns for all interior lot walls will extend to within 10 feet of the front corner of the homes. All walls exposed to the public in either the open space areas or the streets will be painted the color of the primary decorative theme or perimeter walls, except walls for each individual home/lot that may be the color of the residence.

1.2 ADDITIONAL REQUIREMENTS FOR PAD LAYOUT AND DESIGN

In addition to the mandatory requirements of the RDS/PAD, at least four (4) of seven (7) proposed standards must also be selected to apply to the entire development. The following six (6) additional development standards will be used in TAMARON.

A. Cul-de-sac Mix and Curvilinear Street System

The project has been designed with a mixture of standard and offset cul-de-sacs, many of which end in open space. In addition, the development has been designed with a mixture of curvilinear streets and knuckles. The streets have been designed with staggered, limited access to the collectors and in a discontinuous manner so as to discourage cut-through traffic and to serve as a traffic slowing measure.

B. Landscaped Buffer

A landscape buffer of a minimum of 5 feet in depth will be designed between the detached sidewalk and the back of curb along both interior collector streets. In addition, a detached sidewalk with 5-foot landscape buffer will also be placed on each local 44-foot residential street. The detached sidewalks will transition to attached sidewalks at each intersection to allow for ADA ramp design requirements, but will detach after the ramped intersections to provide the landscape buffer requirement. The HOA will maintain these landscaped buffers.

C. Staggered Front Setbacks

The front setbacks for each subdivision within this development will be established to allow a stagger of at least 3 feet. These front setback staggers will occur on every third or fourth home and will be determined by the Homebuilder.

D. Arterial Road Landscape Tract

The required open space landscape tract provided adjacent to the right-of-way for the arterial roadway, Cottonwood Lane will be increased from the minimum of 15 feet to a minimum of 22 feet in width. This expanded open space landscape tract will be adjacent to a landscaped drainage basin that will provide a buffer of 40 feet from the southern property line of the development to Cottonwood Lane.

E. Enhanced Subdivision Entries

The three entrances to TAMARON will be designed to create a sense of arrival. The primary entry on O'Neil Drive, will contain not only a lighted entry monumentation, but will open up to an extensive landscaped area containing over 3 acres of open space and a destination water feature.

F. Enhanced Theme Wall Design

The Wall Detail Sheet of the Conceptual Landscape Plan illustrates the placement and use of varied material, including block and cultured stone, in the design of the theme wall. The theme wall will be placed not only along Cottonwood Lane, but will be placed along both sides of the two interior collector streets.

2.0 RESIDENTIAL PAD ARCHITECTURAL STANDARDS

The residential product for the three (3) lot sizes in TAMARON has not been determined at this time. However, the homes will have architectural diversity while maintaining a cohesive architectural theme and character. The varying use of house forward, side entry garages, as well as staggered garage forward elevations will help create a diverse and visually pleasing street scene. Product elevations and floor plans will be presented to the City staff and the Planning and Zoning Commission for review and approval prior to issuance of any building permits for homes in any proposed subdivisions within TAMARON.

In order to provide architectural diversity, the following standards will be provided in the housing products offered in the project to meet the City's PAD Residential Architecture Standards. The following sections outline the housing design standards for the development.

2.1 MANDATORY RESIDENTIAL ARCHITECTURAL STANDARDS

There are five (5) housing concepts within the architectural standards for a proposed PAD development that must be followed. The following sub-sections provide information on how TAMARON will comply with those mandatory residential architectural standards.

A. Floor Plans and Elevations

1. A minimum of five (5) home floor plans, each with three (3) distinct elevations, will be offered within each definitive housing price range or product type.
2. A minimum of five (5) distinct home color schemes will be offered within each definitive housing price range or product type.
3. The Homebuilders for each subdivision within TAMARON will strive to offer diversity and uniqueness in the elevations and the color schemes.
4. The Homebuilder will not allow two (2) homes with the same front elevation or color scheme to be located on adjacent lots or across from each other. A variety of architectural design features will be incorporated into each home elevation to promote diversity from home to home.
5. There will not be any more than three (3) consecutive similar rear elevations for homes backing on Cottonwood Lane or the two interior collector streets.
6. The Homebuilder will place emphasis on designing covered front porches, bay windows, etc. into the front elevations of homes. Front entries will be visible from the street.
7. Window pop-outs, windowsills, recessed windows and/or similar architectural embellishments will be provided on windows.

B. Roofs

1. A variety of home roofing colors, shapes and/or textures will be offered. Concrete tile roofs will be required for all sloped roofs; however, the City may give consideration to alternative durable roofing materials that are consistent with the proposed housing theme.
2. A variation of ridgelines and designs will be provided.
3. Unique roof colors will be matched to each home color scheme.
4. Residential dwelling units and accessory buildings/structures will have no roof-mounted or wall-mounted mechanical equipment including HVAC or evaporative coolers. This type of mechanical equipment will be ground-mounted.

C. Garages

1. In subdivisions where side-entry garages can be accommodated, at least one elevation per floor plan per parcel or product type will be designed with a standard side entrance garage.
2. No garage will extend forward of a home's livable area or covered front porch by more than 10 feet.
3. At least one elevation per floor plan per parcel or product type will have the livable area of the home forward of the garage.
4. Front-loaded garage doors shall not exceed fifty percent (50%) of the house width (frontage). In a home where more than a standard two-car front-entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

D. Patio Covers

1. Rear or side yard covered patios or covered courtyards will be standard on every home.
2. Where possible, covered patio areas will be incorporated into the architecture of the home.
3. The patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns will be subject to the review and approval of the Planning and Zoning Commission.

E. Additions and Modifications

1. All additions to homes will be constructed of the same building materials as the principal residence and painted to complement the home.
2. Garages will not be converted or enclosed for other uses.
3. Accessory building will be located within walled rear yards. Accessory building over 200 square feet in area will be constructed to match or complement the building materials and colors used on the principal residence.

2.2 ADDITIONAL REQUIREMENTS FOR PAD RESIDENTIAL ARCHITECTURE

In addition to the mandatory requirements in Section 2.1 above, at least four (4) of eight (8) proposed standards must be selected to apply to the entire development. At minimum, the following five (5) additional residential architecture standards will be used in TAMARON.

A. Durable Exterior Materials and Finishes

The Homebuilders will incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.

B. Significant Architectural Features

The Homebuilder will provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and/or dormers as standard features on all homes.

C. Reduction In Front-Loaded Garages

The Homebuilder will reduce the number of standard front-loaded garages (Garage Forward) in a proposed subdivision. At least one floor plan per project or product type will have the garage oriented toward the rear of the home (House Forward) as a standard feature. In addition, the number of floor plans using side-loaded garages (Side-Entry Garage) as standard features will be greater than the required minimum.

D. Two-Story Home Impact Reduction

The Homebuilder will reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, multiple roof changes, and/or other equally effective measures.

E. Window Treatments

The Homebuilder will place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.

2.3 HOME FLOOR PLANS AND ELEVATION APPROVALS

The Community Developer is proposing to develop platted and engineered lots or finished lots for the homebuilding community of the City. Therefore, it will not be possible to present home floor plans and elevations as part of the PAD zoning process. At the time of the selection of the Homebuilder(s) by the Community Developer, the home floor plans and elevations for the selected subdivision will be presented to the Planning and Zoning Commission for their review and approval prior to obtaining permits for the homes.

LIST OF EXHIBITS

Exhibit 1 – Vicinity Map

Exhibit 2a – Existing/Proposed Land Use Designations [General Plan Amendment]

Exhibit 2b – Conceptual Land Use Plan [General Plan Amendment]

Exhibit 3 – Preliminary Development Plan

Exhibit 4 – Site Topographic Map

Exhibit 5 – Flood Insurance Rate Map (Floodplain)

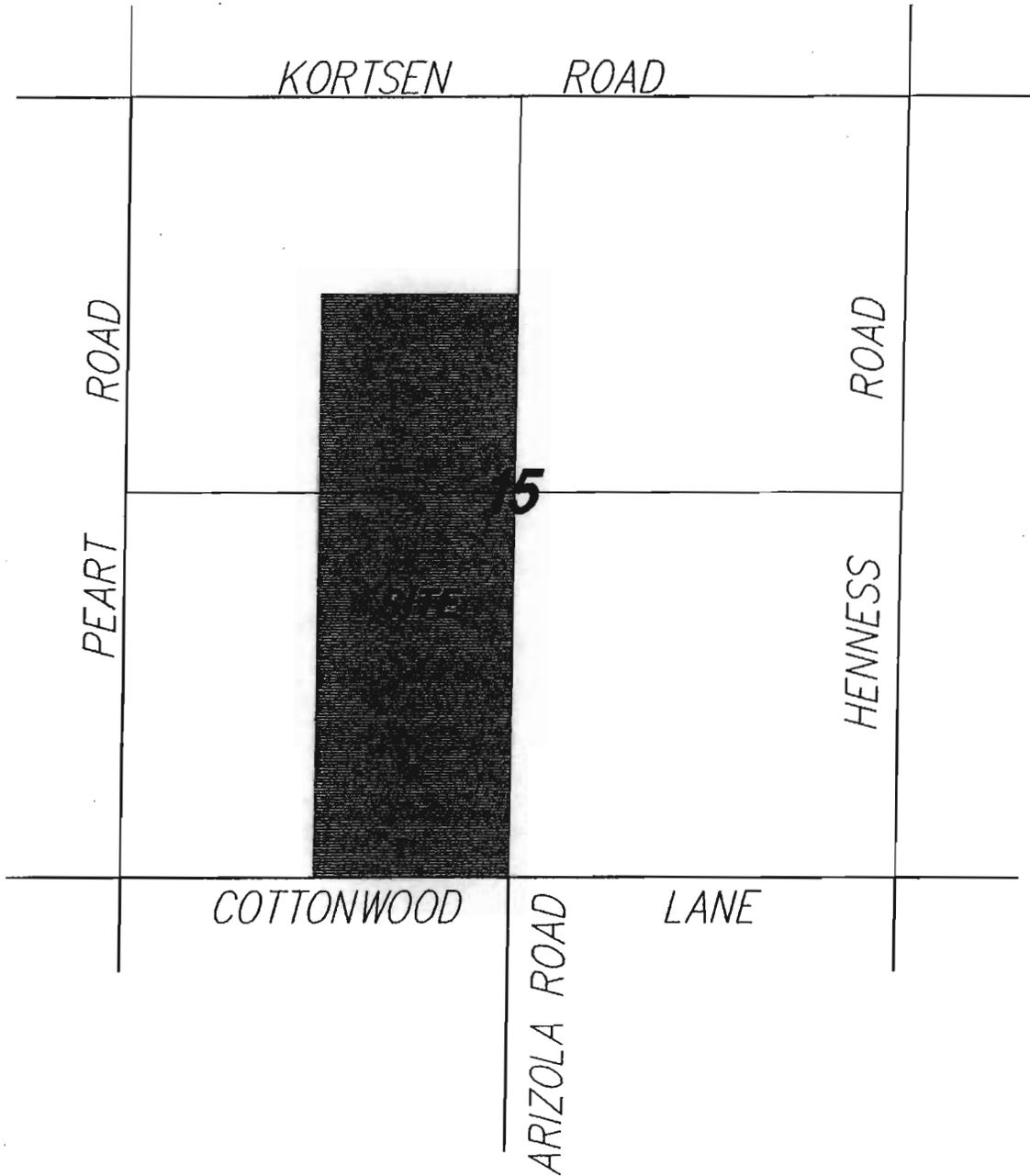
Exhibit 6 – Conceptual Landscape Plan

Exhibit 7 – Street Cross-Section Plan

Exhibit 8 – Preliminary Phasing Plan

Exhibit 1
TAMARON Preliminary Development Plan and Development Guide
Vicinity Map

TAMARON



VICINITY MAP

N.T.S.

06-05-2003

EXHIBIT 1

LANDMARK

ENGINEERING INC

7310 North 16th Street
Phoenix, Arizona 85020

Suite 285
802.861.2005

[General Plan Amendment]

Exhibit 2a

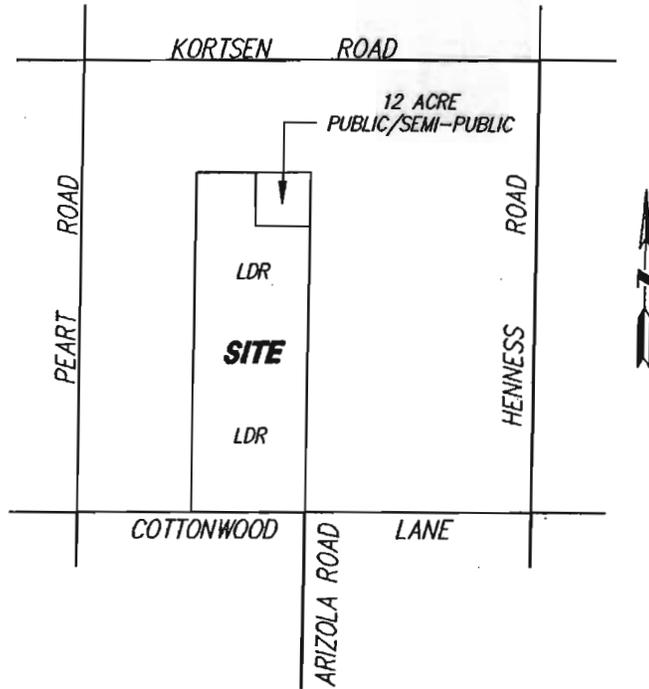
Exhibit 2b

TAMARON Preliminary Development Plan and Development Guide

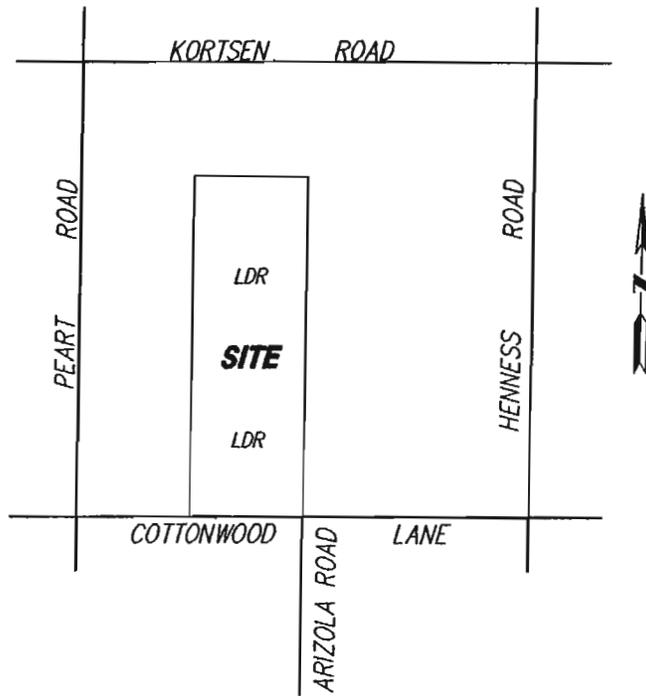
Existing/Proposed Land Use Designations

Conceptual Land Use Plan

EXISTING LAND USE DESIGNATIONS



PROPOSED LAND USE DESIGNATION



06-05-2003

**MINOR GENERAL PLAN AMENDMENT
TAMARON**

LANDMARK
ENGINEERING INC
7310 North 10th Street
Phoenix, Arizona 85020
Suite 295
602.861.2005

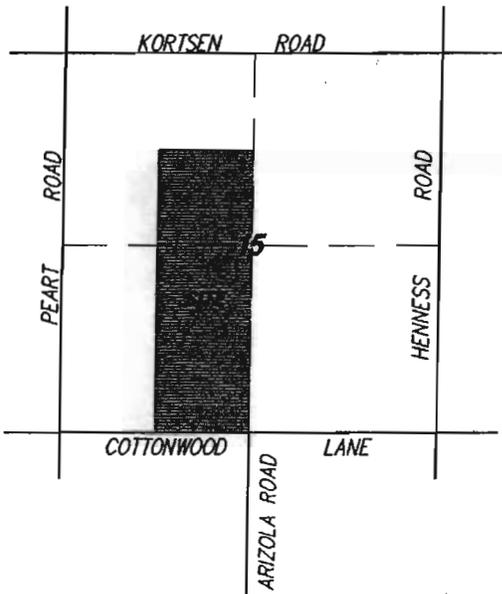
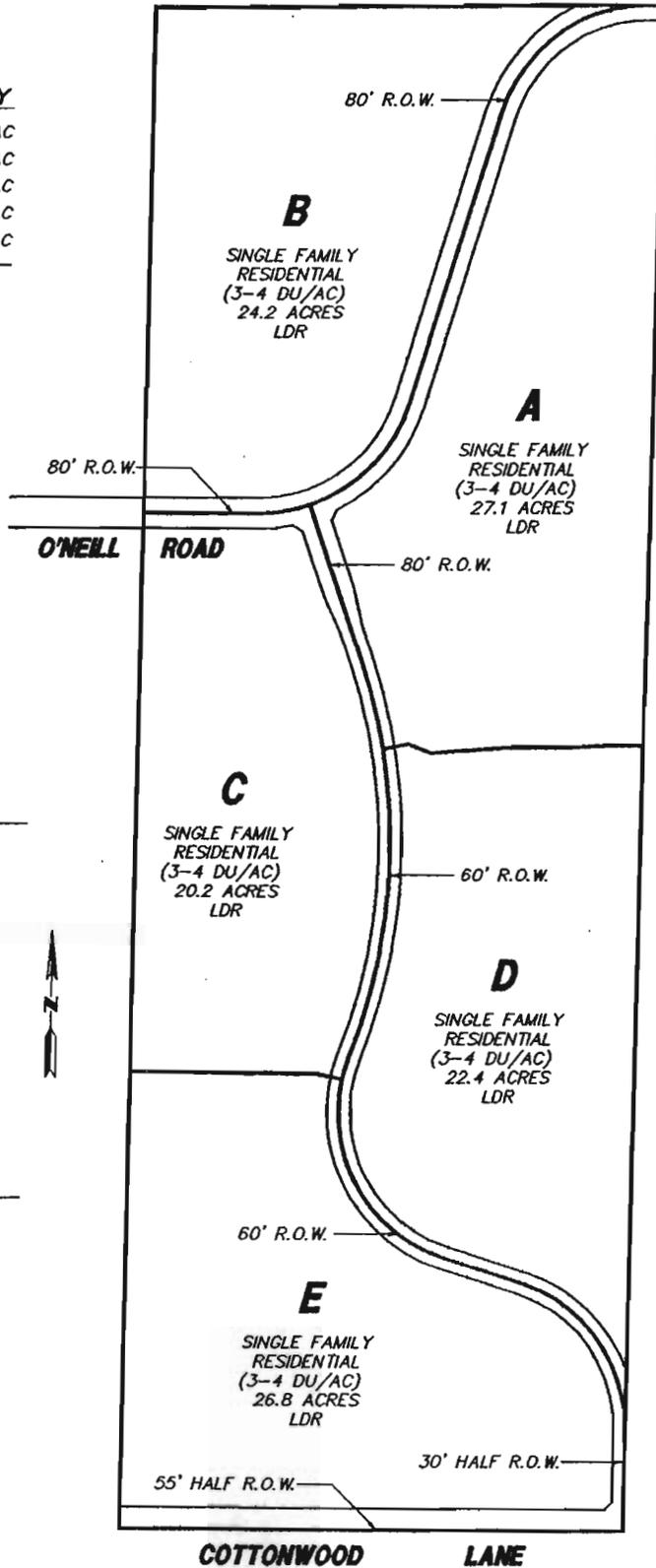
EXHIBIT 2A

PLAN DATA

PARCEL	ACRES	USE	DENSITY
A	27.1	SINGLE FAMILY	3-4 DU/AC
B	24.2	SINGLE FAMILY	3-4 DU/AC
C	20.2	SINGLE FAMILY	3-4 DU/AC
D	22.4	SINGLE FAMILY	3-4 DU/AC
E	26.8	SINGLE FAMILY	3-4 DU/AC

120.7 ACRES (GROSS)

NOTE: ALL ACREAGE CALCULATIONS ARE APPROXIMATE AND SUBJECT TO REVISION.



CONCEPTUAL LAND USE PLAN FOR TAMARON

LANDMARK
ENGINEERING INC
7316 North 16th Street
Phoenix, Arizona 85028
Suite 285
002.061.2005

06-05-2003

Exhibit 3
TAMARON Preliminary Development Plan and Development Guide
Preliminary Development Plan

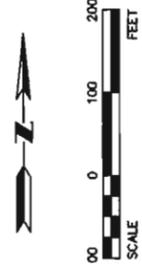
TAMARON PRELIMINARY DEVELOPMENT PLAN

A PORTION OF THE EAST 1/2 OF THE WEST 1/2 OF SECTION 15,
T6W, R6E, G8S8B&M, PINAL COUNTY, ARIZONA



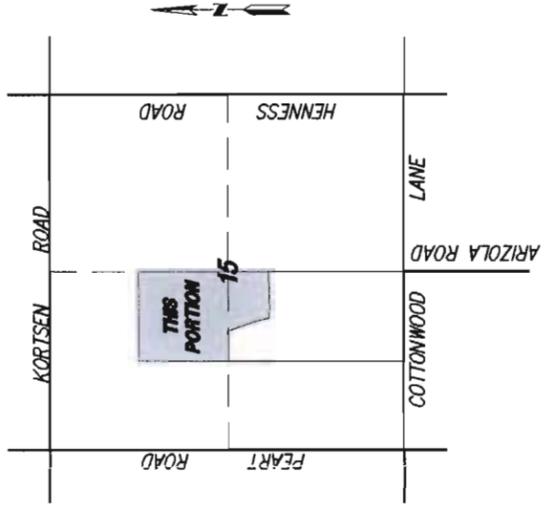
SEE SHEET 3 OF 3

SEE SHEET 3 OF 3



- LEGEND**
- ENTRY SIGNAGE
 - 5' CONCRETE WALKWAY
 - 6,000 - 6,999 SF LOTS
 - 7,000 - 7,999 SF LOTS
 - 8,000+ SF LOTS
 - OPEN SPACE
 - STREETS
 - FIELD SPORTS RECREATION
 - TOT LOT
 - RAMADA/BBQ
 - PARK BENCHES/TABLES
 - WATER FEATURE
 - 1/2 BASKETBALL COURT

RURAL UNSUBDIVIDED
R-1



LOCATION MAP
N.T.S.

LANDMARK ENGINEERING INC
7310 North 16th Street
Suite 285
Phoenix, Arizona 85020
602.861.2005

TAMARON
PRELIMINARY DEVELOPMENT PLAN
CITY OF CASA GRANDE
NW CORNER OF COTTONWOOD LANE & ARIZOLA ROAD

JOB NO.	03073
DESIGNED	DRG
DRAWN	DRG
APPROVED	DRG
DATE	08-18-03
2 of 3 SHEETS	

Exhibit 4
TAMARON Preliminary Development Plan and Development Guide
Site Topographic Map

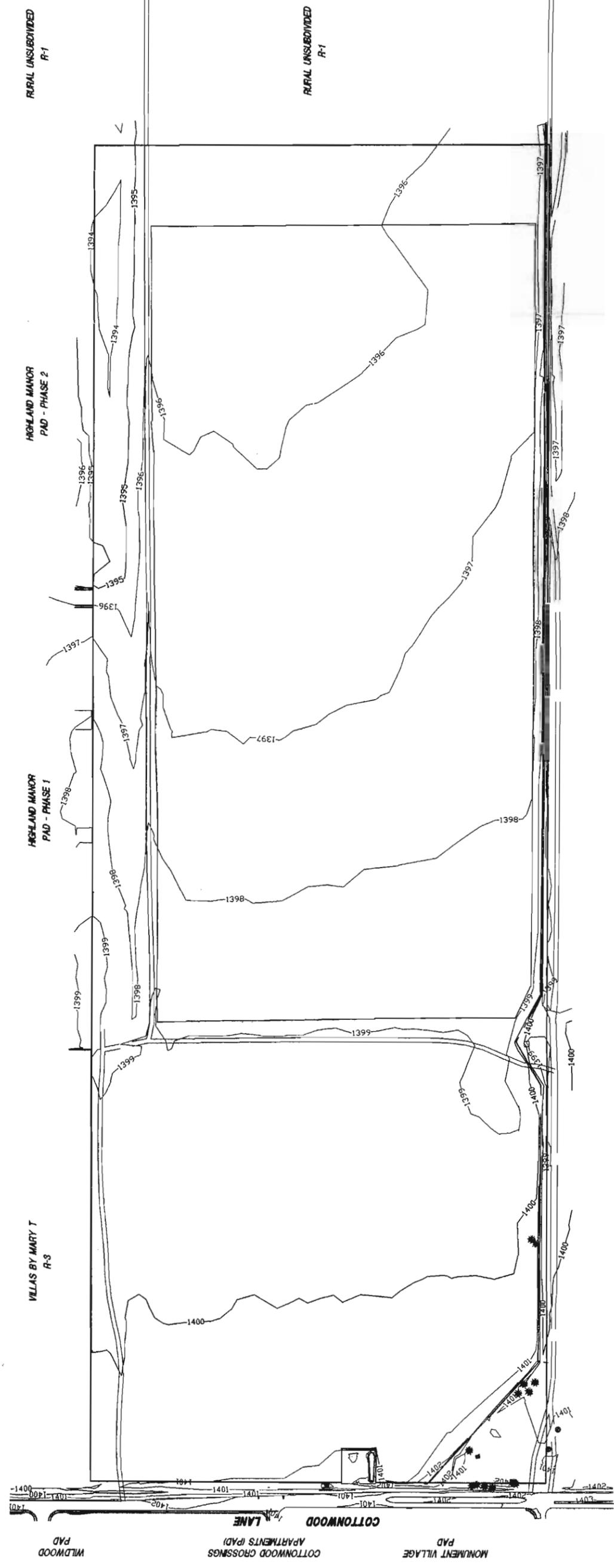
NO.	DESCRIPTION	BY

LANDMARK
 Suite 285
 602.861.2005
 7310 North 16th Street
 Phoenix, Arizona 85020

TAMARON
 SITE TOPOGRAPHIC MAP - EXHIBIT 4

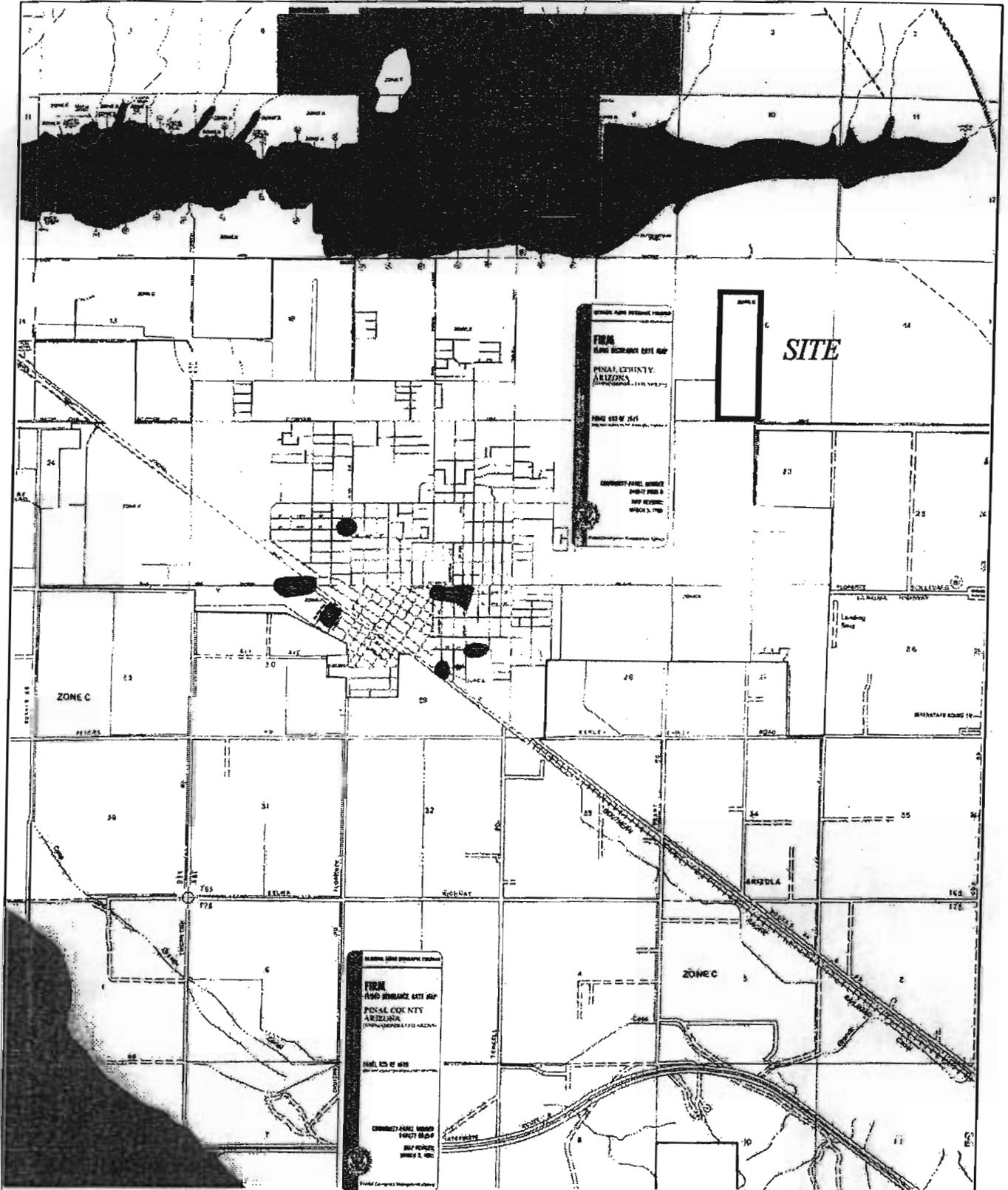
JOB NO.	03073
DESIGNED	DRG
DRAWN	DRG
MAP FILE	topo-exhibit
CHECKED	GRC
DATE	06-05-03
1 of 1 SHEETS	

TAMARON
 SITE TOPOGRAPHIC MAP - EXHIBIT 4



STATE LAND
UR

Exhibit 5
TAMARON Preliminary Development Plan and Development Guide
Flood Insurance Rate Map (Floodplain)



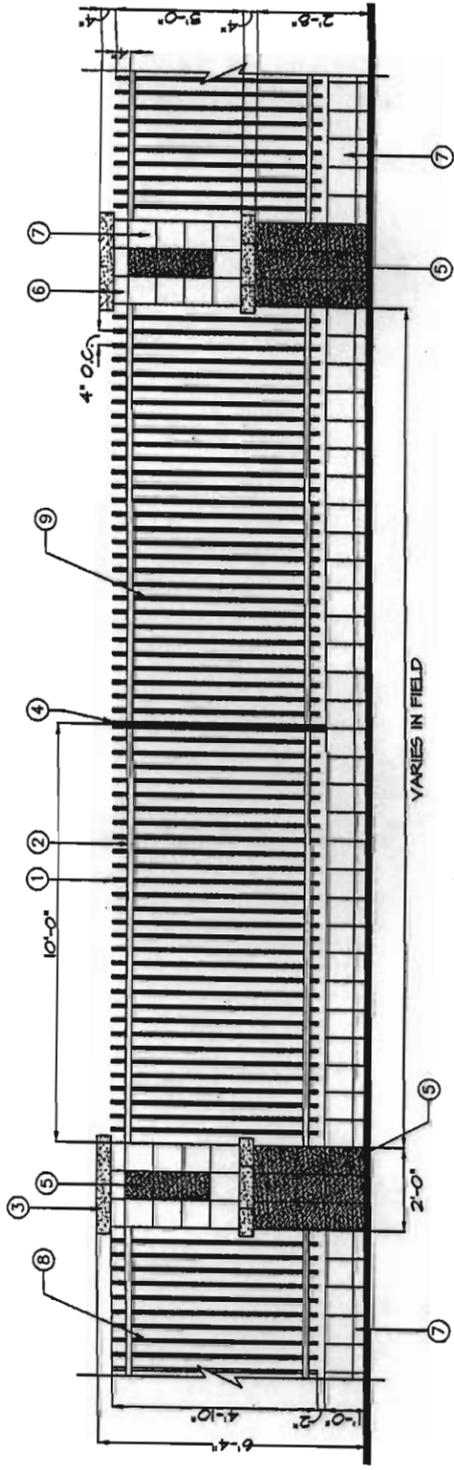
LANDMARK
ENGINEERING INC

7310 North 16th Street
Phoenix, Arizona 85020

Suite 285
602.961.2005

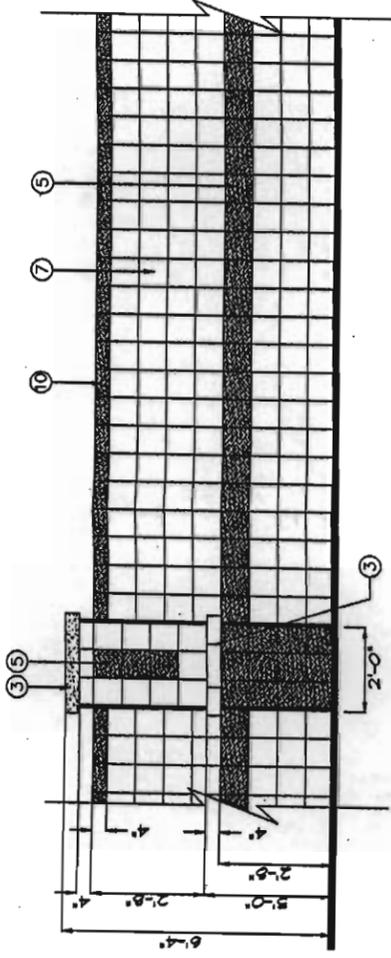
TAMARON 121
F.I.R.M. MAP - EXHIBIT 5

Exhibit 6
TAMARON Preliminary Development Plan and Development Guide
Conceptual Landscape Plan



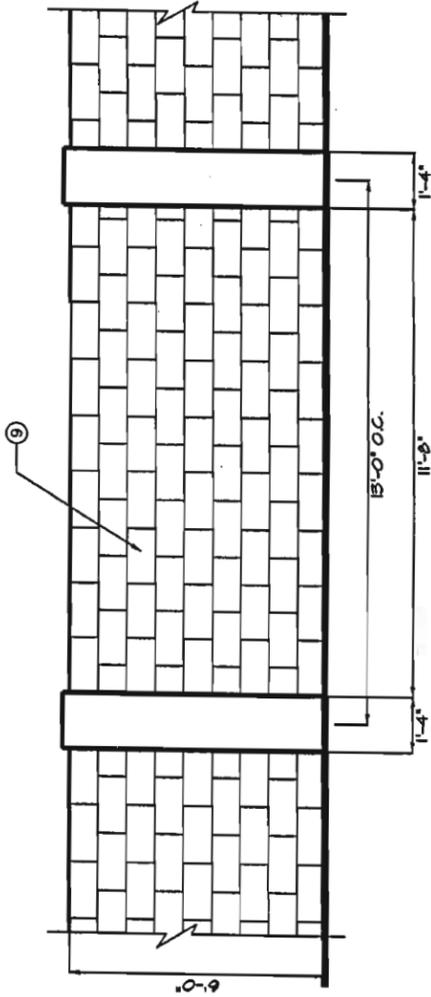
(A) VIEW WALL ELEVATION

SCALE: 1/2" = 1'-0"



(B) THEME WALL ELEVATION

SCALE: 1/2" = 1'-0"

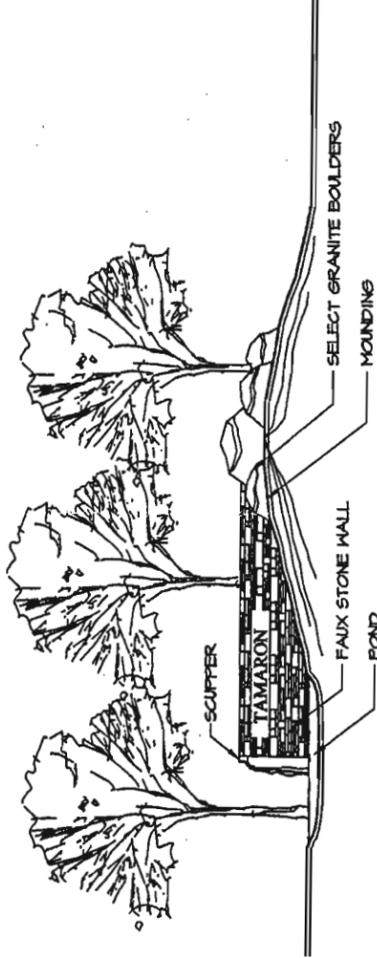


(C) PERIMETER WALL ELEVATION

SCALE: 1/2" = 1'-0"

KEY NOTES

- 1 3/4" SQ. TUBULAR STEEL PICKETS
- 2 1-1/2" SQ. TUBULAR STEEL RAILS
- 3 4" SOLID CMU BLOCK CAP. COLOR TO BE DETERMINED BY OWNER.
- 4 2" SQ. TUBULAR STEEL POST
- 5 8"x8"x16" SINGLE SCORE, SPLIT FACE CMU BLOCK. COLOR TO BE DETERMINED BY OWNER.
- 6 4"x8"x16" SINGLE SCORE, SPLIT FACE CMU BLOCK. COLOR TO BE DETERMINED BY OWNER.
- 7 6"x8"x16" SINGLE SCORE CMU BLOCK. COLOR TO BE DETERMINED BY OWNER.
- 8 WROUGHT IRON TO RECEIVE ARIZONA POWDER COAT EARTH/SOLAR FINISH OR EQUAL.
- 9 4"x8"x16" CMU BLOCK WALL WITH 8"x8"x16" STONE VENEER COLUMNS 15' O.C. COLOR TO BE DETERMINED BY OWNER.



(D) ENTRY MONUMENT SIGN ELEVATION

SCALE: 1" = 10'-0"

**PINNACLE PRELIMINARY WALL PLAN
DESIGN, INC**

TAMARON 121

4343 E. Camelback Rd
Suite 109 • Phoenix, AZ 85018
602/998-6666 • 602/998-6666
JAN 21, 2005



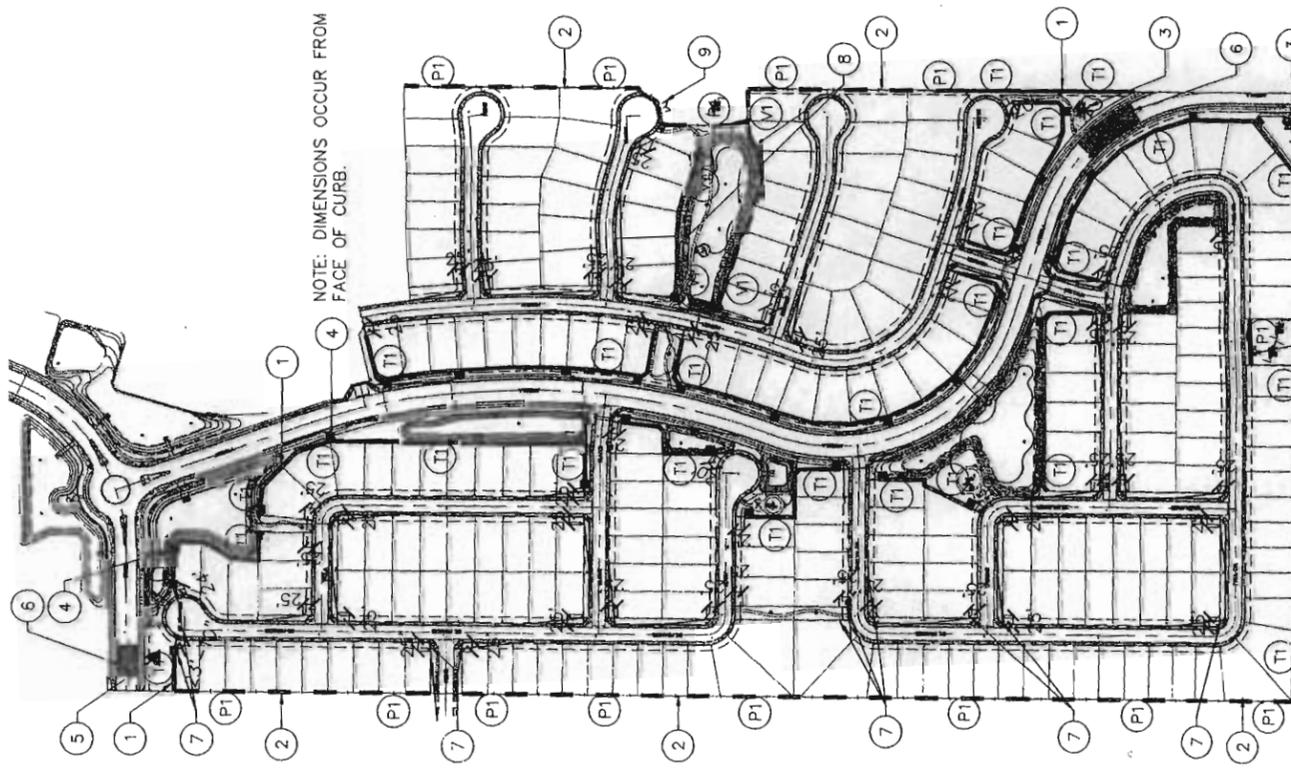
THIS EXHIBIT IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH FINAL CONSTRUCTION DOCUMENTS

WALL KEY NOTES

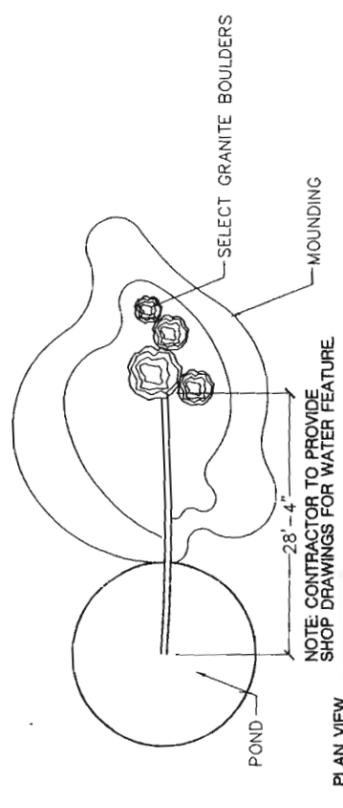
- 1 PERIMETER THEME WALL. SEE SHEET L-23, DETAIL 'C'.
- 2 6' HIGH PERIMETER D 4" X 8" X 16" BLOCK WALL WITH 8" X 8" X 16" "H" BLOCK PILASTERS 9' O.C. SEE SHEET L-23, DETAIL 'B'.
- 3 ENTRY MONUMENT SIGN. SEE THIS SHEET, DETAIL 'B'.
- 4 2' X 2' CMU BLOCK COLUMN. SEE SHEET L-23, DETAIL 'B'.
- 5 SECONDARY ENTRY MONUMENT SIGN. SEE THIS SHEET, DETAIL 'C'.
- 6 SPECIALTY PAVING. REFER TO PLANTING PLANS.
- 7 CONCRETE HEADER AT PROPERTY LINE. SEE SHEET L-16, DETAIL 9.
- 8 VIEW WALL. SEE SHEET L-23, DETAIL 'D'.
- 9 20' WIDE VEHICULAR GATE WITH 4' WIDE PEDESTRIAN GATE. SEE SHEET L-23, DETAIL B.



- NOTES:
1. ALL PERIMETER AND INTERIOR WALLS NOT NOTED ABOVE SHALL BE STANDARD 4" X 8" X 16" CMU FENCE BLOCK UNLESS SPECIFIED OTHERWISE BY OWNER. OWNER TO SELECT PAINT COLOR.
 2. WALL CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING STRUCTURAL ENGINEERING ON WALLS DESIGNED BY LANDSCAPE ARCHITECT. SUCH ENGINEERING SHALL CONFORM TO APPLICABLE JURISDICTIONAL REGULATIONS.
 3. WIND LOAD DESIGN SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE.
 4. CONTRACTOR SHALL PROVIDE A 1 YEAR RUST WARRANTY ON VIEW FENCING.
 5. CONTRACTOR SHALL INSTALL AND PAINT WALL AS NECESSARY.
 6. ALL FENCING SHALL MEET THE COUNTY AND MUNICIPAL POOL FENCING ORDINANCES.
 7. ALL STEPS IN WALLS SHALL OCCUR AT PROPERTY CORNERS. THE REAR WALLS OF EACH LOT SHALL MAINTAIN A CONSISTENT TOP OF WALL ELEVATION.
 8. ALL VIEW FENCING SHALL BE POWDER COATED.



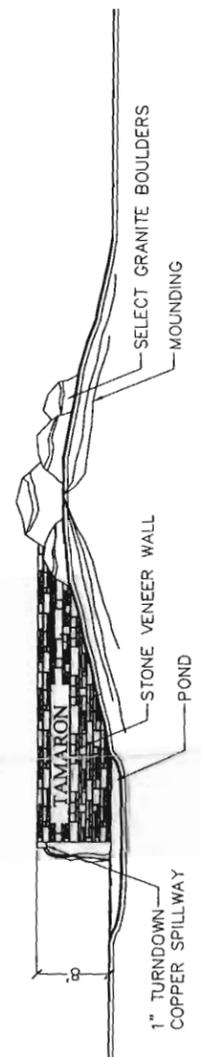
NOTE: DIMENSIONS OCCUR FROM FACE OF CURB.



NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR WATER FEATURE

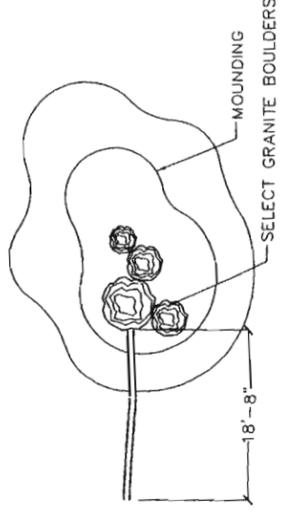
PLAN VIEW

NOTE: ALL WALLS ABOVE 6' SHALL BE DESIGNED BY A STRUCTURAL ENGINEER



ENTRY MONUMENT SIGN ELEVATION

SCALE: 1" = 10'-0"



PLAN VIEW

PINNACLE DESIGN, INC

4343 E. Camelback Rd
Suite 100 Phoenix, AZ 85018
0101(602)962-8686 FAX(602)962-8686



THE TAMARON PROJECT ARCHITECT AND SHALL REMAIN THE PROPERTY OF PINNACLE DESIGN, INC. NO PART OF THIS PROJECT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PINNACLE DESIGN, INC. THIS PROJECT IS NOT TO BE USED FOR ANY OTHER PROJECTS OR EXTENSIONS OF THIS PROJECT WITHOUT THE WRITTEN PERMISSION OF PINNACLE DESIGN, INC.

TAMARON - PARCELS C, D, & E
Casa Grande, Arizona
Cottonwood Lane and Arizona Road
WALL KEY PLAN

PROJECT: SHEET TITLE:

JOB NO: 04032
DATE: 9.30.04
DRAWN BY: Ian
SUBMITTED:
REVISED:





Phone: 480-484-3844

CLIENT: SHEA

PROJECT: TAMARON- TERRA BUENA

JOB #: 460-18340-070

AE: SM

DESIGNER: BB

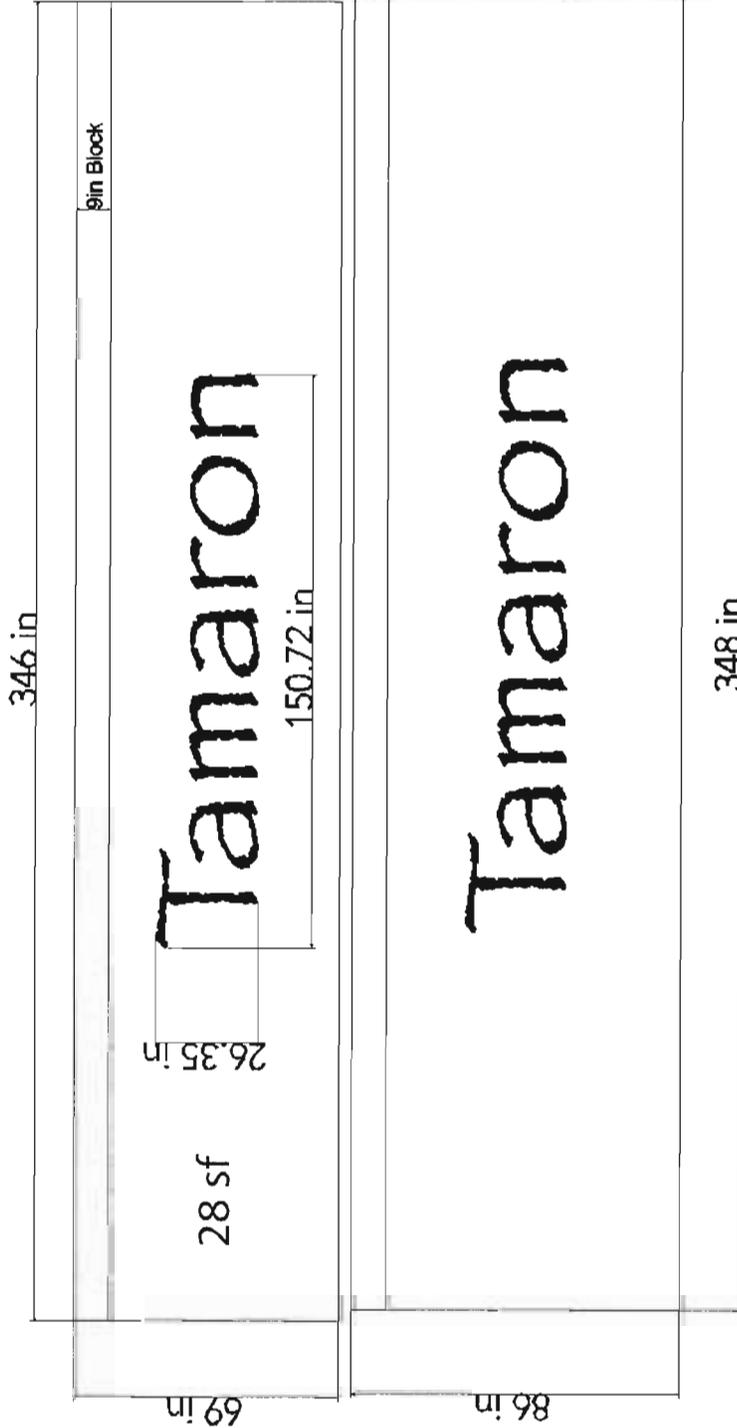
DUE DATE:

TODAY'S DATE: 9/05/06

REVISIONS: MONUMENT 18340

CLIENT APPROVAL: Please read carefully and check appropriate box. [] Proof OK as is [] Proof OK with changes [] New Proof Required

SIGNATURE: Your signature indicates final approval of this design. This is an original (not a copy). All rights to use or reproduce in whole or in part in any form or by any means are reserved by Motivational Systems Inc. All other rights are reserved. Color shown are not to be used to reproduce any other color match, refer to actual materials being used.

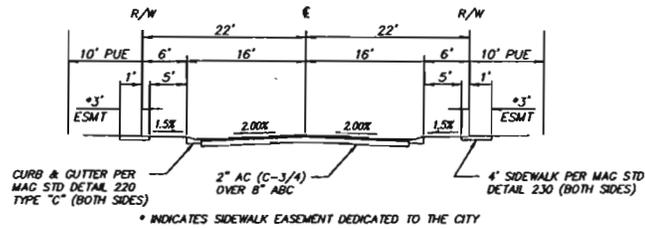


(2) NEIGHBORHOOD ID MONUMENTS LETTERING: PIN MOUNTED 1/2" ALUMINUM WITH BRUX RUST FINISH (TO MATCH DE CO 2 - DARK EARTH) ON STUCCO WALL W/ PLASTER BASE THE MONUMENT WILL BE ILLUMINATED EXTERNALLY.

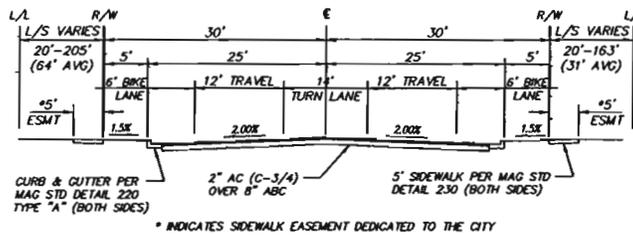
Handwritten notes: 'mailed Lab', 'ok for the sign', 'Tuphu & approved sign off FD mg'

Exhibit 7
TAMARON Preliminary Development Plan and Development Guide
Street Cross-Section Plan

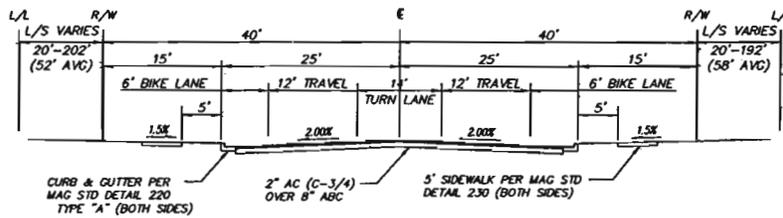
TAMARON STREET CROSS-SECTION PLAN



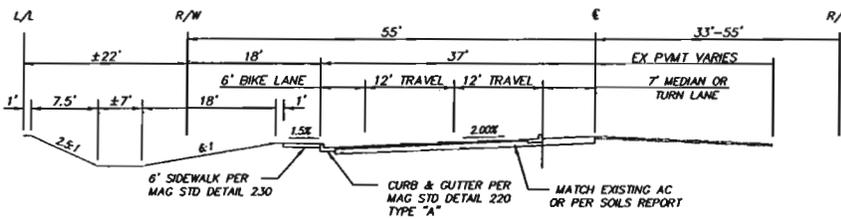
TYPICAL 44' RESIDENTIAL STREET



60' COLLECTOR STREET
(LOOKING NORTH)



80' COLLECTOR STREET (O'NEIL DRIVE)
(LOOKING EAST & NORTH)



COTTONWOOD LANE
(LOOKING EAST)

EXHIBIT 7

LANDMARK
ENGINEERING INC
7310 North 10th Street
Phoenix, Arizona 85020
Gullo 200
602.951.2000

06-05-2003

Exhibit 8
TAMARON Preliminary Development Plan and Development Guide
Preliminary Phasing Plan

TAMARON

PRELIMINARY PHASING PLAN - EXHIBIT 8



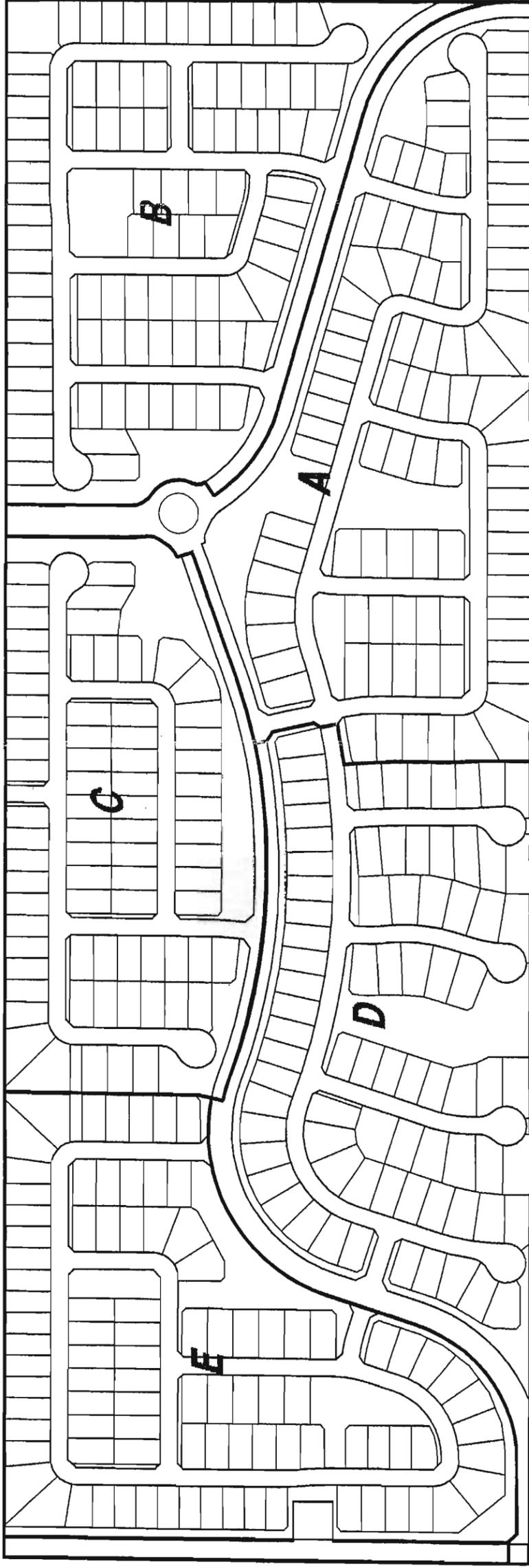
VILLAS BY MARY T
R-3

HIGHLAND MANOR
PAD - PHASE 1

HIGHLAND MANOR
PAD - PHASE 2

RURAL UNSUBDIVIDED
R-1

RURAL UNSUBDIVIDED
R-1



WILDWOOD
PAD

COTTONWOOD CROSSINGS
APARTMENTS (PAD)

COTTONWOOD
LANE

MONUMENT VILLAGE
PAD

STATE LAND
UR

LANDMARK
ENGINEERING INC
Suite 285
7310 North 16th Street
Phoenix, Arizona 85020
602.861.2005

TAMARON
PRELIMINARY PHASING PLAN - EXHIBIT 8

JOB NO.	03073
DESIGNED	ERC
DRAWN	ERC
APP. FILE	phasing-plan
CHECKED	ERC
DATE	06-27-03

LIST OF APPENDICES

Appendix A – School Site Donation Agreement

Appendix B – ALTA Survey [Reduced]

Appendix C – Municipal Reference Document Listing

Appendix A
TAMARON Preliminary Development Plan and Development Guide
School Site Donation Agreement

Casa Grande Elementary Schools

1460 North Pinal Avenue, Casa Grande, Arizona 85222
Telephone: (520) 836-2111

RECEIVED

MAY 23 2003

CITY OF CASA GRANDE
PLANNING DEPARTMENT

GOVERNING BOARD
David P. Snider, President
Roxy Achen, Member
Tom Hollenbach, Member
Mitzi Hooper, Member
Garrye Vasquez, Member

Frank D. Davidson
Superintendent
Kevin J. Kilty
Administrative Services Manager

May 21, 2003

Mr. Rick Miller
Planning and Development Department
City of Casa Grande
510 East Florence Boulevard
Casa Grande, AZ 85222

Dear Rick:

Enclosed for your information is a copy of a donation agreement with regard to the Brentwood Investments/Tamaron property.

We plan to record the donation agreement with the Pinal County Recorder's office.

If you have any questions regarding the above, please advise.

Sincerely,



Frank Davidson
Superintendent

FD:cm

xc: David Snider
Casa Grande Public Library

DONATION AGREEMENT

THIS DONATION AGREEMENT (this "Agreement") is made as of this 13th day of May, 2003, by and between CASA GRANDE ELEMENTARY SCHOOL DISTRICT NO. 4 OF PINAL COUNTY, ARIZONA, a political subdivision of the State of Arizona (the "District"), and Brentwood Investments, Inc., its successors-in-ownership and assigns ("Developer").

RECITALS:

A. Brentwood Investments, Inc. represents the owner of certain real property in Casa Grande, Arizona (the "City"), commonly known as Tameron and incorporated herein by this reference (the "Property"). Brentwood Investments, Inc. intends to develop the Property for commercial and residential use pursuant to a PAD plan (the "PAD Plan") approved or anticipated to be approved by the City of Casa Grande, and in accordance with a Development Agreement between Brentwood Investments, Inc., and the City of Casa Grande.

B. The proposed development of the Property will increase the population of students attending elementary and middle school within the District and the District is requesting monetary donations from Brentwood Investments, Inc. to offset the impact of accommodating additional students attending such schools.

AGREEMENT:

NOW, THEREFORE, in consideration of the premises and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the District and Brentwood Investments, Inc., intending to be legally bound, agree as follows:

1. Payment of Donation by Brentwood Investments, Inc. to the District. Subject to the terms and conditions of this Agreement, Brentwood Investments, Inc., for itself and its successors-in-ownership and assigns, including, without limitation, any affiliate of Brentwood Investments, Inc. and any homebuilder initially constructing single family residential units on the Property (a "Dwelling Unit"), agrees to pay to the District \$456.00 for each Single Family Dwelling Unit and \$115.20 for each Multi Family Dwelling Unit initially constructed on the Property ("Donation"). The homebuilder shall contribute the Single Family Dwelling Unit Donation for a Single Family Dwelling Unit as required under this Paragraph 1 no later than 30 days after the building permit for construction of that particular Dwelling Unit is issued by the City, and the homebuilder shall contribute all Multi Family Dwelling Unit Donation within 30 days of the issuance of Certificates of Occupancy by the City. All Donations shall be submitted to the District at the address listed in Paragraph 9 below. No Donation shall be payable in connection with any reconstruction or subsequent construction of a Dwelling Unit on a particular

portion of the Property after the Donation for such portion of the Property has been initially paid.

2. Future Development Fees. The parties acknowledge that Brentwood Investments, Inc.'s contribution of the Donations to the District in accordance with the terms and conditions of this Agreement are intended to satisfy any and all obligations of Brentwood Investments, Inc. (in connection with Brentwood Investments, Inc.'s development of the Property) to facilitate the acquisition, development, construction and/or improvement of any and all public school facilities within the District and to address the anticipated impact of Brentwood Investments, Inc.'s development of the Property on the District. Notwithstanding any provision in this Agreement to the contrary, if at any time in the future, any federal, state, county, municipal or other governmental or quasi-governmental authority with jurisdiction over the Property imposes any development fee, donation, dedication requirement, exaction or similar fee or charge on the Property (individually, a "Development Fee" and collectively, the "Development Fees") through the exercise of either its police power or its taxing power (other than secondary real estate taxes, general obligation bonds and school district override elections) in connection with or related to the acquisition development, construction and/or improvement of public school facilities within the District, then either or both of the following shall be applicable:

(a) If the Development Fee for a Dwelling Unit is greater than the Donation for such Dwelling Unit, the Development Fee shall be deemed to satisfy Brentwood Investments, Inc.' obligations under Paragraph 1 and no Donation shall be due and payable by Brentwood Investments, Inc. to the District (but the remainder of this Agreement shall continue in full force and effect); or

(b) If the Development Fee for a Dwelling Unit is less than the Donation for such Dwelling, Brentwood Investments, Inc. will receive a credit against the Donation in the amount of the Development Fee and Brentwood Investments, Inc. shall only be obligated to pay the District an amount equal to the difference between the Development Fee and the Donation.

4. Effectiveness of Agreement. This Agreement shall not be effective and shall not inure to the benefit of or bind Brentwood Investments, Inc. or the District or their successors-in-ownership and assigns unless and until the PAD Plan, in form and substance satisfactory to Brentwood Investments, Inc., has been properly approved by the applicable governmental authority and any and all ordinances and resolutions approving the PAD Plan are final and non-appealable.

5. The District's Representations and Warranties. The District represents and warrants to Brentwood Investments, Inc., which constitute a material part of the consideration hereunder, as follows:

(a) The District is a political subdivision of the State of Arizona, duly organized, validly existing and in good standing under the laws of the State of Arizona.

(b) The District has the power and authority to enter into and to perform its obligations under this Agreement. The execution and delivery of this Agreement and performance by the District of its obligations under this Agreement have been duly authorized by all necessary actions.

(c) This Agreement has been duly executed and delivered by the District and constitutes the legal, valid and binding obligations of the District, enforceable against the District in accordance with its terms.

(d) The execution and delivery of this Agreement and the performance of the terms herein by the District (i) will not conflict with or result in a violation of any applicable Arizona law or rule affecting the District; (ii) will not conflict with or result in a violation of any judgment, order or decree of any court or governmental agency of the State of Arizona to which the District is a party or by which it is bound; (iii) will not violate the terms of any instrument, document or agreement, to which the District is a party or by which it or any of its property is bound, or (iv) conflict with, result in a breach of or constitute a default under any such instrument, document or agreement to which the District is a party or by which it or any of its property is bound.

(e) No consent, license, approval or authorization of any governmental authority, bureau or agency is required in connection with the execution, delivery, performance, validity and enforceability of this Agreement by or against the District, except those that have previously been obtained.

6. Brentwood Investments, Inc.'s Representations and Warranties. Brentwood Investments, Inc. represents and warrants to, and acknowledges that, the District, which constitute a material part of the consideration hereunder, as follows:

(a) Brentwood Investments, Inc. is a corporation, duly organized, validly existing and in good standing under the laws of the State of Arizona.

(b) Brentwood Investments, Inc. has the corporate power and corporate authority to enter into and to perform its obligations under this Agreement. The execution and delivery of this Agreement and performance by Brentwood Investments, Inc. of its obligations under this Agreement have been duly authorized by all necessary action.

(c) This Agreement has been duly executed and delivered by Brentwood Investments, Inc. and constitutes the legal, valid and binding obligations of Brentwood Investments, Inc., enforceable against Brentwood Investments, Inc. in accordance with its terms.

(d) The execution and delivery of this Agreement and the performance of the terms herein by Brentwood Investments, Inc. (i) will not conflict with or result in a violation of any applicable Arizona law or rule affecting Brentwood Investments, Inc.; (ii)

will not conflict with or result in a violation of any judgment, order or decree of any court or governmental agency of the State of Arizona to which Brentwood Investments, Inc. is a party or by which it is bound; (iii) will not violate the terms of any instrument, document or agreement, to which Brentwood Investments, Inc. is a party or by which it or any of its property is bound, or (iv) conflict with, result in a breach of or constitute a default under any such instrument, document or agreement to which Brentwood Investments, Inc. is a party or by which it or any of its property is bound.

(e) No consent, license, approval or authorization of any governmental authority, bureau or agency is required in connection with the execution, delivery, performance, validity and enforceability of this Agreement by or against Brentwood Investments, Inc..

(f) The District intends to rely upon the promises made in this Agreement in formulating its plans for growth and in many other regards and such reliance is reasonable, and the District shall have the right to enforce the agreements made by Brentwood Investments, Inc. in this Agreement in any manner permitted by applicable law.

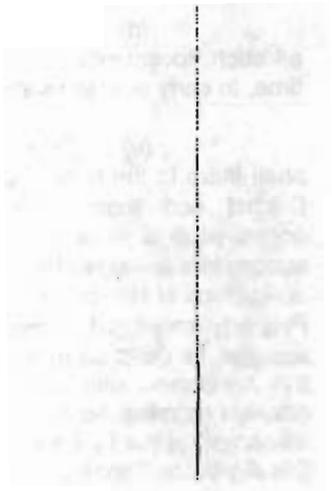
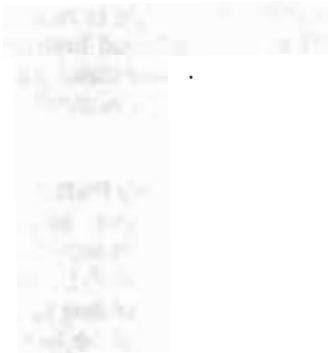
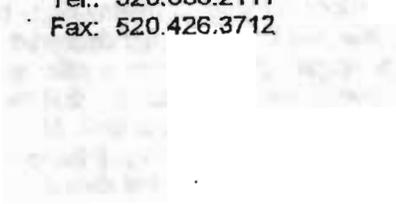
7. Default and Remedies. In the event of any default under this Agreement, the non-defaulting party shall have all rights and remedies provided at law or in equity, including, without limitation, specific performance and injunctive relief. Brentwood Investments, Inc. acknowledges that the District intends to rely upon the promises and agreements made in this Agreement in formulating its plan for growth and in many other regards. Brentwood Investments, Inc. acknowledges that such reliance by the District is reasonable. Brentwood Investments, Inc. agrees that the District shall have the right to enforce the promises and agreements made by Brentwood Investments, Inc. in this Agreement in any manner permitted by applicable law.

8. Notices. Any and all notices, consents or other communications required or permitted by this Agreement shall be given in writing and telecopied, personally delivered, sent by registered or certified mail, return receipt requested, postage prepaid, or sent by Federal Express, Airborne, U.P.S. or other similar nationally recognized overnight courier, addressed as follows:

To Developer: Brentwood Investments, Inc.
6615 North Scottsdale Road
Scottsdale, AZ, 85250
Fax: 480-951-2292
Telephone: 480-951-0180

To the District: Casa Grande Elementary School District No. 4
1460 N. Pinal Avenue
Casa Grande, Arizona 85222
ATTN: Frank Davidson, Superintendent

Tel: 520.836.2111
Fax: 520.426.3712



or at any other address or telecopier number designated by any party hereto in writing. Any notice or communication shall be deemed to have been delivered and received (i) as of the date of receipt, if sent by telecopier (with written confirmation of error-free transmission) on or before 5:00 p.m., Phoenix time, (ii) as of the next day after receipt, if sent by telecopier (with written confirmation of the date and time of transmissions and receipt) after 5:00 p.m., Phoenix time; (iii) the date of delivery, if hand delivered or sent by nationally recognized overnight courier; (iv) 3 days after the date of mailing.

9. General.

(a) Waiver. No delay in exercising any right or remedy shall constitute a waiver thereof, and no waiver by the District or Brentwood Investments, Inc. of the breach of any covenant of this Agreement shall be construed as a waiver of any preceding or succeeding breach of the same or any other covenant or condition of this Agreement.

(b) Attorneys' Fees. In the event either party finds it necessary to bring any action at law or other proceeding against the other party to enforce any of the terms, covenants or conditions hereof, or by reason of any breach of default hereunder, the party prevailing in any such action or other proceeding shall be paid all reasonable costs and attorneys' fees by the other party, and in the event any judgment is secured by the prevailing party, all such costs and attorneys' fees shall be included therein, with the fees to be set by the court and not by jury.

(c) Counterparts. This Agreement may be executed in two or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. The signature pages from one or more counterparts may be removed from the counterparts and the signature pages may all be attached to a single instrument.

(d) Further Acts. Each of the parties hereto shall execute and deliver all such documents and perform all such acts as reasonably necessary, from time to time, to carry out the matters contemplated by this Agreement.

(e) Successors and Assigns. All of the provisions of this Agreement shall inure to the benefit of and be binding upon Brentwood Investments, Inc. and the District and their successors-in-ownership and permitted assigns. Upon the conveyance of all or any portion of the Property by Brentwood Investments, Inc. or its successors-in-ownership or assigns and the assumption by such transferees of the obligations of Brentwood Investments, Inc. hereunder with respect to the portion of the Property conveyed, Brentwood Investments, Inc. or its successors-in-ownership or assigns, as the case may be, shall be relieved of any future liability or obligations under this Agreement with respect to the portion of the Property conveyed, but shall not be relieved or released from any liabilities or obligations incurred during the period of its ownership of the Property. The rights, privileges, duties, obligations and liabilities under this Agreement shall be enforceable at law and in equity. The liabilities and obligations

of Brentwood Investments, Inc. and its successors-in-ownership and assigns are several obligations, and not joint and several obligations, and may only be enforced against the owner of the Property then in default, and, notwithstanding any default by the owner of a portion of the Property, this Agreement shall remain in full force and effect with respect to the other owners of the Property.

(f) No Partnership and Third Parties. It is not intended by this Agreement to, and nothing contained in this Agreement shall, create any partnership, joint venture or other similar arrangement between Brentwood Investments, Inc. and the District. No term or provision of this Agreement is intended to, or shall, be for the benefit of any person, firm, organization or corporation not a party hereto, and no such other person, firm, organization or corporation shall have any right or cause of action hereunder.

(g) Entire Agreement. This Agreement constitutes the entire agreement between the parties hereto pertaining to the subject matter hereof. All prior and contemporaneous agreements, representations and understandings of the parties, oral or written, are hereby superseded and merged herein.

(h) Amendment. No change or additions may be made to this Agreement except by a written amendment executed by the parties hereto.

(i) Governing Law. This Agreement shall be governed by, and construed and interpreted in accordance with, the laws of the State of Arizona.

(j) Conflicts of Interest. The parties acknowledge that this Agreement is subject to cancellation pursuant to A.R.S. § 38-511 or any successor statute.

(k) Recording. No later than ten (10) days after this Agreement has been executed by the District and Brentwood Investments, Inc., it shall be recorded in its entirety by the District with the Pinal County Recorder of Pinal County. This Agreement shall cease to be of force and effect with respect to a particular Dwelling Unit from and after the date the Donation for that Dwelling Unit has been paid as required by this Agreement, with the District, upon request by Brentwood Investments, Inc. or the then current owner of any such Dwelling Unit, to provide written confirmation thereof in form sufficient to release such Dwelling Unit of record from the force and effect of this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement the day and year first above written.

DISTRICT:

CASA GRANDE ELEMENTARY SCHOOL
DISTRICT NO. 4 OF PINAL COUNTY,
ARIZONA, a political subdivision of the State
of Arizona

By: Frank Davidson

Name: Frank Davidson

Title: Superintendent

DEVELOPER:

BRENTWOOD INVESTMENTS, INC., an
Arizona corporation

By: [Signature]

Name: John Berglund

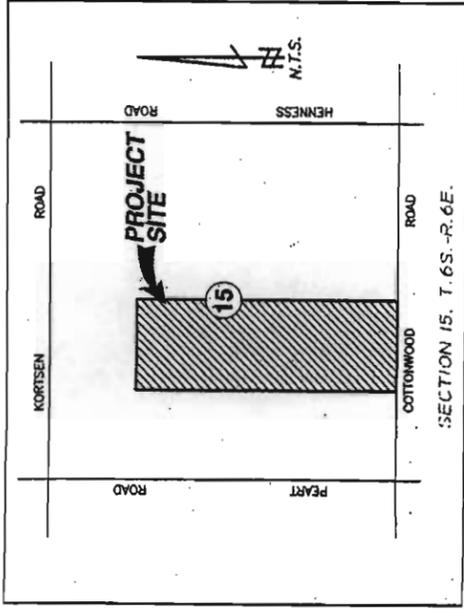
Title: PRESIDENT

Appendix B
TAMARON Preliminary Development Plan and Development Guide
ALTA Survey [Reduced]

RESULTS OF SURVEY MAP

OF PART OF
SECTION 15, T.6S.-R.6E., G.&S.R.B.&M.,
PINAL COUNTY, ARIZONA

SURVEYED DURING DECEMBER, 2002



LEGAL DESCRIPTION

The Southeast quarter of the Northwest quarter, and the East half of the Southwest quarter of Section 15, Township 6 South, Range 6 East of the Gila and Salt River Basins and Meridian, Pinal County, Arizona;

EXCEPT:

COMMENCING at the South quarter corner of said Section 15;

thence along the Section line North 89 degrees 53 minutes 00 seconds West, a distance of 493.74 feet to the POINT OF BEGINNING and the Southeast corner of this parcel;

thence continue Westerly along said Section line, a distance of 100 feet to the Southwest corner of this parcel;

thence in a Northerly direction along a line bearing North 00 degrees 07 minutes 00 seconds East, a distance of 150 feet to the Northwest corner of this parcel;

thence in a Easterly direction along a line bearing South 89 degrees 53 minutes 00 seconds East, a distance of 100 feet to the Northeast corner of this parcel;

thence in a Southerly direction along a line bearing South 00 degrees 07 minutes 00 seconds West, a distance of 150 feet to the POINT OF BEGINNING; and

EXCEPT the South 50 feet

VICINITY MAP

SURVEYORS CERTIFICATION

TO: FIRST-AMERICAN TITLE INSURANCE COMPANY

AND

TAMARON, L.L.C., an Arizona limited liability company

THIS IS TO CERTIFY THAT ON THE BASIS OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS MAP OR PLAN AND THE SURVEY WORK WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARDS FOR SURVEY REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" FORMALLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1989, AND INCLUDES ITEMS 1, 2, 4, 8, 10, & 11b (4/8/86) OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT PROPER FIELD PROCEDURES, INSTRUMENTATION, AND ADEQUATE SURVEY PERSONNEL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS.

DATE: 12-23-2002

REGISTRATION NO. 82778

ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ON OCTOBER 6 1999. ADOPTED BY BOARD OF DIRECTORS, AMERICAN CONGRESS ON SURVEYING AND MAPPING ON OCTOBER 20, 1999. ADOPTED BY BOARD OF DIRECTORS, NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ON OCTOBER 19, 1999.

THIS SURVEY HAS BEEN MADE IN ACCORDANCE WITH THE TITLE REPORT FROM FIRST AMERICAN TITLE INSURANCE COMPANY, ESCROW NO. 226-061-1427788 DATED NOVEMBER 21, 2002, AS PROVIDED BY THE CLIENT.

NOTE: THIS SURVEY WAS MADE IN ACCORDANCE WITH LEGAL DESCRIPTIONS AND INSTRUMENTS PROVIDED BY THE CLIENT. ANY DRAWINGS PRODUCED AS A RESULT OF THIS SURVEY ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF WECKERLY & ASSOCIATES. ANY UNAUTHORIZED REPRODUCTION, REVISIONS, ADDITIONS, ALTERATIONS OR USE OF THESE DRAWINGS WILL BE CONSIDERED TO BE IN VIOLATION OF THE ARIZONA STATE TECHNICAL BOARD CODE 38-125 & 38-142 AND IS STRICTLY PROHIBITED.

ALTA/ACSM LAND TITLE SURVEY

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WECKERLY & ASSOCIATES
SURVEYORS—ENGINEERS
837 N. ARIZONA AVENUE
CHANDLER, ARIZONA
480-963-6461
JOB NO. 021207

SHEET 1 OF 2



Appendix C
TAMARON Preliminary Development Plan and Development Guide
Municipal Reference Documents

City of Casa Grande Municipal Code Reference Documents

City of Casa Grande General Plan 2010

disk dated May 2, 2002

Residential Design Standards for Planned Area Developments

January/February 2003

City of Casa Grande Title 17 Zoning Ordinance

Revised January 2001

City of Casa Grande Title 16 Subdivision Ordinance

Revised November 1998

Small Area Transportation Study

December 2001