

**SONORAN RANCH**  
**PROPOSED PLANNED AREA DEVELOPMENT**  
**Preliminary Development Plan and**  
**Development Guide Created for**  
**ORE 6, L.L.C.**  
**KYVEK DEVELOPMENT, L.L.C.**



**PROJECT DESIGN CONSULTANTS**

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Submittal

196-06  
CASE #

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**PROPOSED PLANNED AREA DEVELOPMENT**  
**Preliminary Development Plan and**  
**Development Guide Created for**  
**ORE 6, L.L.C.**  
**KYVEK DEVELOPMENT, L.L.C.**

REVISION: June 15, 2006

Submitted by:

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**Project Design Consultants**  
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# Text Key

RED:

New text which has adjusted to for changes to the Pre-Plat.

BLUE:

Approved PAD Development Guide, now old text.

BLACK:

Text that has remained consistent with both booklets.

**TABLE OF CONTENTS**

1.0 Purpose of Request .....1

2.0 Preliminary Development Plan – Project Description .....2

    2.1 Single Family .....2

    2.2 Future Commercial .....4

    2.3 Signage.....7

    2.4 Residential Subdivision Design .....8

    2.5 Open Space .....8

    2.6 Front Yard Landscape.....9

3.0 Relationship to City of Casa Grande General Plan.....10

4.0 Existing Site Conditions .....10

5.0 Relationship to Surrounding Properties .....11

6.0 Accessibility.....11

7.0 Circulation System and Street Improvements.....11

    7.1 Arterial Roadways .....12

    7.2 Collector Streets.....12

    7.3 Local Streets.....12

8.0 Public Facilities.....13

9.0 Phasing Plan.....13

10.0 Utilities.....14

    10.1 Sewer.....14

    10.2 Potable Water.....14

    10.3 Electrical Power .....15

    10.4 Telephone.....15

    10.5 Sanitation .....15

11.0 Grading and Drainage Concept.....15

12.0 Residential Covenants, Conditions, & Restrictions.....16

13.0 Homeowners Association .....16

14.0 Development Team.....16

15.0 Conclusion .....17



**LIST OF FIGURES**

Figure 1 - Vicinity Map ..... Follows Page 1

Figure 2 - Concept Plan ..... Follows Page 1

Figure 3 - Open Space Plan ..... Follows Page 8

Figure 4 - Preliminary Landscape Plan..... Follows Page 8

Figure 5 - Preliminary Open Space and Trails Plan ..... Follows Page 9

Figure 6 - General Plan ..... Follows Page 10

Figure 7 - Typical Street Sections..... Follows Page 11

Figure 8 - Will Serve Letter ..... Follows Page 14

Figure A-1 - Perimeter Wall Plan and Elevations ..... Follows Page 18

Figure A-2 - Primary Entry Monument Plan ..... Follows Page 18

Figure A-3 - Preliminary Monument Elevations ..... Follows Page 18

**LIST OF TABLES**

Table 1 - Percentage of Yield by Lot Size .....3

Table 2 - Setback and Height Requirements .....4

**APPENDIX A**

A.1 Residential Development Standards .....18

    1.1.0 Mandatory PAD Layout and Design Standards.....18

    1.1.1 Open Space .....18

    1.1.2 Streetscapes and Entrances .....19

    1.1.3 Front Yard Landscaping .....19

    1.1.4 Miscellaneous .....20

    1.2.0 Additional Requirements for PAD Layout and Design .....20

    1.2.1 Curvilinear street system.....20

    1.2.2 Stagger Front Yard Setbacks .....20



1.2.3 Multi-Use Paths .....21

1.2.4 Enhanced Subdivision Entries .....21

1.2.5 Landscape Buffers .....21

1.2.6 Enhanced Perimeter Wall Design .....21

A.2 Mandatory Residential PAD Architectural Standards .....22

    2.1 Floor Plans and Elevations.....22

    2.2 Roofs .....22

    2.3 Garages .....23

    2.4 Additions and Modifications.....23

A.3 Additional Requirements for PAD Residential Architecture.....24

A.4 Development of the Sonoran Ranch PAD .....24

**APPENDIX B**

B.1 Builder Profile.....25

B.2 Proposed Product Floor Plans and Elevations .....26



## APPLICANTS DESCRIPTION /INTENT

### 1.0 Purpose of Request

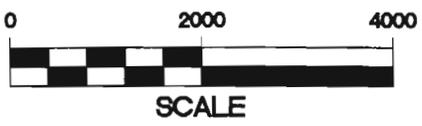
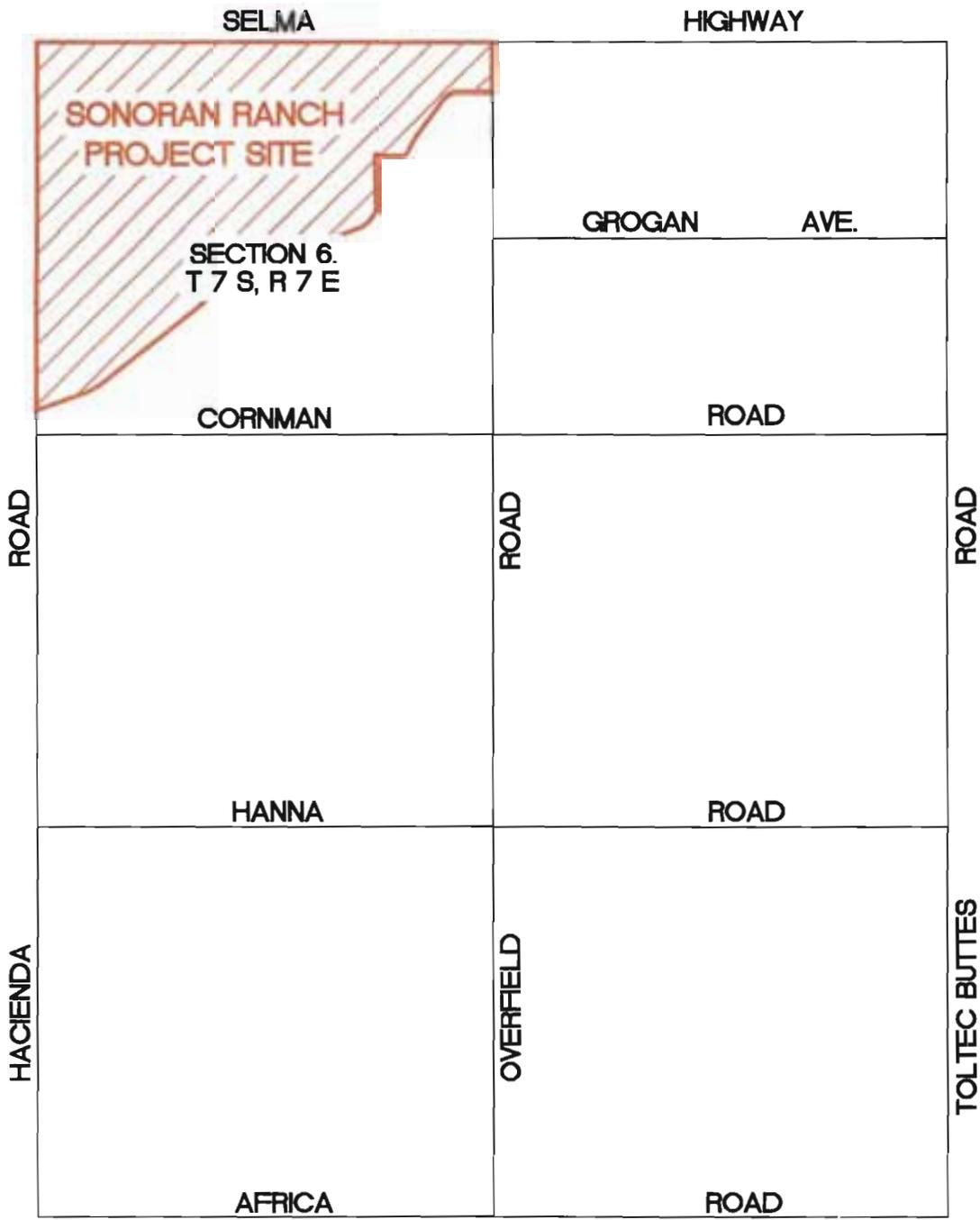
The purpose of this zoning application is to request a zone change for Sonoran Ranch from the property's current zoning of Rural Residential to Planned Area Development (PAD). This PAD request (will allow for up to 3.5 units/acre for the net-of-arterial acreage for up to 955 single-family residential lots and a 22.50-acre future commercial site.) is for 273.6 acres net residential which will allow for up to 3.42 du/ac for the net-of-arterial acreage for up to 935 single-family residential lots and a 18.88 acre net future commercial site.

Sonoran Ranch is a proposed (284.72 acre (gross) single-family residential development with 22.50-acre (gross) planned for future commercial site) 307.22 acre gross site consisting of 285.47-acre (gross) single-family residential development with 21.75-acre (gross) planned for future commercial site which follows the Casa Grande General Plan 2010.

Sonoran Ranch is located in a portion of Section 6, Township 7 south, Range 7 east of the Gila and Salt River Base and Meridian, Pinal County, Arizona. The site is on the southeast corner of Hacienda Road and Selma Highway (Figure 1). This triangular site is approximately 0.81 miles deep from north to south and approximately 1 mile wide from west to east.

This property is in the incorporated boundaries of the City of Casa Grande. According to Casa Grande's General Plan 2010 the land use for this site is identified as Low Density Residential, with approximately twenty acres of commercial on the northwest corner of Section 6. The proposed development is nearly free of general constraints and timely for development.

A Development Guide is being provided with the submittal to the City of Casa Grande as a supplement to the PAD zoning application. The Guide is intended to demonstrate the quality of the subdivision design for the new community. This process is outlined in this document and the attachments that are being submitted. This development outline is to supplement the PAD zoning application and to provide the information necessary to demonstrate how the improvements to the development exceed the PAD standards for the City of Casa Grande.



T:\Engr\3079.00\_Casa Grande 298\Exhibit\3079.00 - Fig 1-VC.dwg Oct 27, 2005 - 9:30am AdornB

SHEET NUMBER	FIGURE 1
SCALE	NOTED
DATE	10/31/05
PROJECT NUMBER	3079.00

**FIGURE 1  
VICINITY MAP**

**SONORAN RANCH  
CASA GRANDE, ARIZONA**

	<b>PROJECT DESIGN CONSULTANTS</b> Planning   Landscape Architecture   Environmental   Engineering   Survey		<small>3200 East Camelback Road          Suite 279          Phoenix, AZ 85018          602.808.0700 Tel          602.808.0749 Fax</small>
	<small>APPROVED BY:</small> R.M.	<small>DESIGNED BY:</small> DJJ	<small>DRAWN BY:</small> DJJ

## 2.0 Preliminary Development Plan – Project Description

Sonoran Ranch is designed to create a high-quality living environment within the City of Casa Grande. The community will consist of no more than (955) 935 site-built single-family detached homes. In addition there will be open space (Figure 2). Two main park sites and four smaller pocket parks, along with an interconnected trail system located on (49.70) 53.35 acres. Open Space is calculated at (17.45%) 18.68% (gross) of the total site area.

The residential area has been designed with three single-family detached lot sizes, (55 by 113 feet, 60 by 120 feet and 70 by 120 feet). The several sizes offers a mix of housing opportunities, income levels and lifestyles within one community, consistent with the Casa Grande General Plan Goal to “Provide a range of residential densities and housing types in the City of Casa Grande”.

The proposed development plan meets all criteria for a PAD zoning submission to the city. The Sonoran Ranch project conforms to the City of Casa Grande General Plan 2010 in all aspects. The residential portion of the PAD conforms to Low Density residential guidelines at (3.5) 3.42 du/ac (net). The future commercial site will allow for services, amenities, and jobs to locate within close proximity to residential areas and provide convenience to the citizens of Casa Grande on the east portion of the City.

Selma Highway is the north boundary of the approximately 307.22-acre site. Selma Highway carries east-west traffic. Hacienda Road is the west boundary of the site. Hacienda Road carries traffic north-south and will be used for traffic coming from S.R.-287 which runs through Casa Grande. Hacienda Road will also carry the traffic from the future Apache Junction – Coolidge Corridor and will provide an excellent entrance for the project being that both S.R.-287 and Apache Junction – Coolidge Corridor have I-10 Freeway interchanges. The development includes theme appropriate entrance monuments, generous landscaped common areas and parks, and curvilinear collector streets.

This is not a mixed-use project. It is intended to provide (955) 935 home sites for single-family detached residential units that will be site built by a national homebuilder. There are three different lot sizes, mixed in smaller neighborhoods within the plan, tied together with separated pedestrian trails and 53.35 acres of open space. On the north west corner of the site is a (22.50) 21.75-acre (gross) future commercial site. Residents can shop and work in the nearby commercial/office areas while living at Sonoran Ranch. The proposed plan follows and supports the Casa Grande General Plan 2010 Future Land Use and “Provides a range of residential densities and housing types in the City”.

### 2.1 Single-Family

There are six single-family neighborhoods at Sonoran Ranch. Each lot and home size has been carefully located depending on the location in each neighborhood. Areas constrained by higher traffic noises have been sized accordingly, and areas next to greenbelts and open spaces have been increased due to the “premium-quality” of their



location. In addition to demand and feasibility, unit sizes and quantities have been balanced in an effort to meet the Casa Grande Development Standards.

Table 1 illustrates the number and percentage of lots by one of the three selected lot sizes. Table 1 illustrates that ~~(34%)~~ 36% of the proposed lots have less than 7,000 square feet. The minimum lot size 6,215 square feet. The PAD requirement states that for every single family residential lot less than 7,000 square feet in an area, an equal number of lots or spaces that are at least 8,000 square feet in area must be provided. Many of the typical 55' wide lots are actually at least 7,000 square feet in area due to premiums, irregular, and cul-de-sac lots. At the time that preliminary and final plats are completed, the number of lots less than 7,000 square feet will not exceed the number of lots over 8,000 square feet. The Land Use Plan for Sonoran Ranch indicates the general location of the lot sizes within the various parcels. The lot sizes may vary in each parcel, but in no case shall the number of lots less than 7,000 square feet in size exceed the number of lots greater than 8,000 square feet in size in the overall development. There are three proposed lot sizes: 55' x 113', 60' x 120' and 70' x 120'.

**Table 1**  
**Single-Family**  
**Percentage of Yield by Lot Size**

<b>Lot Size and Area</b>	<b>Yield</b>	<b>% of Total Yield</b>
Lots less than 7,000 S.F.	<del>(324)</del> 338	<del>(34%)</del> 36%
Lots between 7,000 SF and 8,000 SF	<del>(306)</del> 259	<del>(32%)</del> 28%
Lots greater than 8,000 SF	<del>(325)</del> 338	<del>(34%)</del> 36%
<b>Total Lots</b>	<b><del>(955)</del> 935</b>	<b>100%</b>

A national production homebuilder will build the homes, and is currently building in other areas of the City of Casa Grande and Pinal County. Other Casa Grande sites are West Field Park, located on the east side of Burriss Road. +/- 1,300 feet north of Florence Boulevard and Acacia Farms, located on the southeast corner of SR-84 and Burriss Road.

Home's elevations being constructed in this market will meet Casa Grande's Design Standards for Planned Area Developments. These elevations and plans will be submitted to the Planning Department and the Planning and Zoning Commission for their review and approval prior to the issuance of any building permits.

A model home complex and sales office will be requested as part of the development process. If there is more than one builder in this project, more than one sales/model complex may be requested through submittal for appropriate building permits and temporary use permits as applicable for the project.



The minimum setbacks and maximum height for homes in Sonoran Ranch are as follows:

**Table 2  
Setback and Height Requirements**

Front Setback:	15' – 23' (front loaded garages will vary from 20' to 23' for every 3 <sup>rd</sup> and 4 <sup>th</sup> home. 15' front setback to front porches, livable area and/or side loaded garages.
Side Setback:	5' and 10' (15' total)
Corner Setback:	15' (can include an adjacent 10' wide landscape tract)
Rear Setback:	20' (Question about the setback, 20' has been provided)
Height Requirements:	28'
Landscape Setback	15' Landscape setback between PAD & arterial on collector ROW.

A Homeowner’s Association (HOA) will maintain the landscaped tracts, parks, open space, and the entry monuments. In addition, the HOA will tie the neighborhoods together to deal with issues that may affect Sonoran Ranch in the future.

Homelife is in escrow on this site and typical examples of their product are given in the Appendix. The homebuilder’s product will conform to Casa Grande’s residential design standard for Planned Area Developments (February 2003). All housing product proposed for Sonoran Ranch will be submitted to the City of Casa Grande for review and approval of the Planning Department and Planning and Zoning Commission prior to issuance of any permits for any homes.

Model home sales offices/complexes for any of the single-family residential parcels may occur within any of these parcels with the approval of applicable Temporary Use Permits and Building Permits.

Development standards will be per any applicable sections of the City of Casa Grande Zoning Ordinance and handicapped accessibility as per (Arizona Revised Statues) A.R.S. 34-404 through 34-412.

**2.2 Future Commercial**

A (22.50) 21.75-acre (gross) parcel, on the southeast corner of Selma Highway and Hacienda Road intersection is proposed as a neighborhood commercial area. The proposed uses within this parcel will primarily be general retail, commercial and office uses that are typically listed as permitted and conditionally-permitted uses within the B-1 and B-2 zoning district. These uses include but are not limited to, the following:



- A “Large Single Retail Use” and/or “large Multiple Use shopping center” use on the commercial parcels with arterial frontage providing that the use meets the requirements for such uses as outline in the City Zoning Ordinance;
- Accessory single-family residential uses when occupied by the owner, lessee, or watchman employed on the premises;
- All ages book/video store;
- Appliance sales and service;
- Art gallery/museum;
- Athletic club;
- Automobile Service Station with Convenience Store and/or Car Wash;
- Bakery with on-site sales less then 3,500 square feet;
- Banks and credit unions;
- Blueprint/photo processing and/or sales;
- Business/office machine sales and service;
- Call centers;
- Candy and ice cream store;
- Car wash;
- Catering business;
- Churches/synagogues;
- Cigar and tobacco store;
- Clothing store;
- Community meeting center
- Convenience store (with or without gasoline sales and/or car wash);
- Dance, Photographic and/or Theatrical Studio;
- Delicatessen;
- Dry-cleaning and/or Laundromat;
- Electronics store;
- Essential (as determined by City) Public services/uses;
- Fast-food restaurant;
- Florist;
- General Indoor Retail Business engaged in direct sales to the ultimate customer
- General Indoor Service and Office uses including building business, personal, and professional services;
- Game rooms/pool halls;
- Garden supply stores;
- Gas station;
- Grocery store/food sales;
- Hair salon/beauty parlor/barber;
- Hardware stores;
- Hotel;
- Interior decorator;
- Jewelry sales/service;
- Liquor store;
- Lock and key shop;
- Medical urgent care center, including satellite hospital facilities;
- Medical, dental, and chiropractic offices;



- Movie Theater;
- Municipal or other governmental uses;
- Music Studio;
- Nail salon;
- Newsstand;
- Optician;
- Photographic studio;
- Police Substation;
- Professional and semi-professional offices;
- Radio/television studio;
- Seasonal sales (indoor and outdoor) from the parking lot areas (not to hinder pedestrian and ADA access). Includes, but is not limited too, Christmas tree and/or pumpkin sales. Outside seasonal sales will also be subject to approval of Temporary Use Permit;
- Shoe repair/service;
- Tavern/bar;
- Video Arcade;
- Video and DVD sales/rentals (including electronic gaming);
- Permitted accessory uses, including business signs, trash receptacles, accessory buildings, temporary buildings incidental to construction work, and accessory residential uses (single family), when occupied by the owner, lessee, or watchman employed on the premises;
- Additional retail and office uses that are similar in nature to those specifically listed above, subject to the interpretation of the Planning and Development Director.

The following uses are expressly prohibited within any portion of this development:

- Adult-oriented uses
- Check Cashing businesses
- Furniture Rental Stores
- Mini-storage Facilities
- Pawn Shops, consignment store, thrift store
- Plant nurseries
- Tattoo/body piercing businesses
- Vehicle/RV/Manufactured home sales

It is anticipated that this site will develop as a neighborhood commercial center, with a major tenant (such as a grocery store), along with additional attached retail space and detached “pad” sites for uses such as convenience store (with or without gas sales) and/or fast food restaurants. However, it may develop as any number of commercial scenarios, based on market demand.



The minimum building setbacks for a B-1/B-2 Zone boundary and/or public street right-of-way plus the maximum height for the commercial parcel are as follows:

Setbacks	Feet
<b>Building Setback</b>	
Front setbacks:	35'
Side Setback:	15'
Corner Setback:	25'
Rear Setback:	45' (Plus a 20' foot landscape tract.) (65' foot Total)
Residential Zone Boundary	45'
Maximum Building Height	35'

- Per discussions with Leila Demaree the 45' feet + 20' feet was misunderstood. The 65' foot total rear setback exceeds the minimum required of 60' feet.
- Per discussions with Leila Demaree the front setback of 35' feet which is currently given covers the front landscape setback of 30' feet which was asked for.

Development standards for the commercial parcel shall be the same as those provided under the B-2 zoning district and other applicable sections of the Casa Grande Zoning Ordinance.

The architectural style, building materials, colors, landscape theme, etc., shall compliment the same elements as developed within the single-family residential portions of Sonoran Ranch. Development of the site, or any portion thereof, shall require review and approval through the Major Site Plan Review process. This process will review architectural, design, landscape, signage, open space, parking, access, handicapped accessibility as per A.R.S. 34-404 through 34-412, etc. At the time of the submittal of a site plan for the first phase or portion within this parcel, a comprehensive design guideline will be developed to address issues related to the entire commercial area such as design theme, landscape theme, signage, open space, shared access and parking.

### 2.3 Signage

Based on discussions with the planning staff at the City of Casa Grande a sign package for the commercial piece is not necessary at this time. At a later date a separate master site plan for the commercial piece will be submitted for review and approval by the planning and zoning committee.

## 2.4 Residential Subdivision Design

To create a sense of arrival, the major entry into the community includes soft curved entry monuments built of rammed earth and faux stone-faced CMU walls. These materials evoke the property's historic physical nature and are a unifying design element.

The site major access points will be located on two of the three major arterials that surround the site on three sides. A canal creates the remaining boundary at the southern portion of the site. The northern boundary is the Selma Highway, the western boundary is Hacienda Road, the eastern boundary is a small portion of Overfield Rd. The canal is for irrigation and belongs to the San Carlos Irrigation District. The primary entrance will be located on Selma Highway and Azurite Way (Azurite Way is the half-mile street). There are two secondary entries located generally at ¼ mile points on Selma Highway. The secondary entrances are both major collectors that span between Selma Highway and Hacienda Road. Two alternate entrances are located on the west side of the property "Hacienda Road," at the ½ mile & approximately ¾ mile points. Secondary monuments are provided also and designed to provide a transition into the communities' interior.

The design layout of curvilinear landscaped parkways and cul-de-sacs are enhanced by an interconnected open space system throughout. Collector roads run parallel to landscaped corridors, linking the six neighborhoods and open space areas together. Community open space is very prominent and located throughout the project. The open space is designed as a usable, visual, and physically stimulating part of the community, not just an engineering solution.

Since people experience a community from both inside their car and from walking, it was important to design this community to embrace both. To provide an appealing streetscape all corner lots are designed with a landscape tract adjacent to the collector streets. The design layout of local roads also discourages people from cutting through neighborhoods, yet remains functional for traffic.

Details regarding the specific subdivision and home development standards, as well as a discussion of this project's conformance to Casa Grande's PAD Residential Design Standards, are noted in Appendix 'A' to this Development Guide. Building setbacks are illustrated on the Development Plan within this document.

## 2.5 Open Space

Approximately ~~(49.70)~~ 53.35 acres of open space is proposed within Sonoran Ranch to be landscaped as inviting recreational areas and multi-use corridors. The open space is approximately ~~(18.2%)~~ 19.5% (net) of the residential area and exceeds the minimum requirement of 15%. A minimum of fifty percent of the open space will be designated for parks, with 15% of the park areas elevated above the 25-year flood plain limit (Figure 3).

- Cut sheets of amenities, will be provided during the final plat stage.)



The internal open space, trails and parks are strategically located for high visibility and easy access (Figure 4). In addition, the open spaces serve as multi-use connections through the site. The open spaces are connected by 8-foot wide multi-use trails and 4-foot wide walkways that meander through the open space corridors as illustrated on the Preliminary Landscape Plan. This trail system serves to visually and physically tie the various neighborhoods into a community. The internal pedestrian walkways will be designed to provide safe and convenient connections/linkages to all open spaces. All walkways and paths will be constructed of concrete and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director and shall be covered by pedestrian and multi-use public access easements.

Open space areas are designed to retain or facilitate the flow of storm water generated on the site in an aesthetically pleasing design. The landscape design concept for the open space areas will also include the use of shade trees, shrubs, ground cover, and areas of turf for passive recreation. Trees and plant material selections are derived from the City of Casa Grande's approved plant palette reflect the native vegetation of Arizona and are drought tolerant. Open space tracts for the PAD shall be improved (i.e., landscaped, paths installed, etc.) concurrent with the phase in which it is located. Final landscape and amenity plans are subject to review and approval of the City's Planning Director.

The open space/parks will be developed to serve a variety of residents (Figure 5).

**Area 1:** Area includes one medium-size play structure with fabric shade structure, one swing set and one 16' square ramada.

**Area 2:** Area includes two medium-size play structures with fabric shade structure and one large group ramada, four half-basketball courts, drinking fountain, parking and large turf play areas.

**Area 3:** Area includes one 16' square ramada

**Area 4:** Area includes one medium size play structure with fabric shade structure, one medium size ramada, and a drinking fountain.

**Area 5:** Area includes one medium size play structure with fabric shade structure and one medium size ramada.

**Area 6:** Area includes one 16' square ramada and a picnic table.

## 2.6 Front Yard Landscape

Front yard landscaping will be offered as part of the developer package at the time of the sale of the home. Several options will be available, based on water conserving plants, consistent with the City of Casa Grande's plant palette. The landscaping is to be installed within 90 days of the homebuyer moving into the home, with the individual homebuyer being responsible for the maintenance of the landscaping.

A minimum of two fifteen gallon trees, eight five gallon shrubs or accent plants and six one gallon ground cover plants, plus an automatic irrigation system and granite rock topping is required for each lot. The homebuilder as a front-yard landscape option may offer turf.

The turf area shall not exceed 20% of the front yard area and shall be separated from decomposed granite areas by a concrete or brick header. Decomposed granite or fractured granite rock will cover all exposed areas. A minimum of four standard landscape plans shall be offered and one plan shall include 3"-8" fractured granite rock design. Modifications to these minimum requirements are subject to the review and approval of the Planning Director.

### 3.0 Relationship to City of Casa Grande General Plan

The Casa Grande General Plan calls for Low Density residential (1.0 - 4.0 dwelling units per acre) over the entire 307.22 acres of property and with the exception of approximately 20-acres dedicated to commercial on the northwest corner of Section 6 (Figure 6). The proposed density is (3.50) 3.42 dwelling units per acre (net). The proposed commercial site is (22.50) 21.75 acres (gross).

The proposed use is within the allowed density and does conform to the land use and land use policies of the City of Casa Grande and the General Plan.

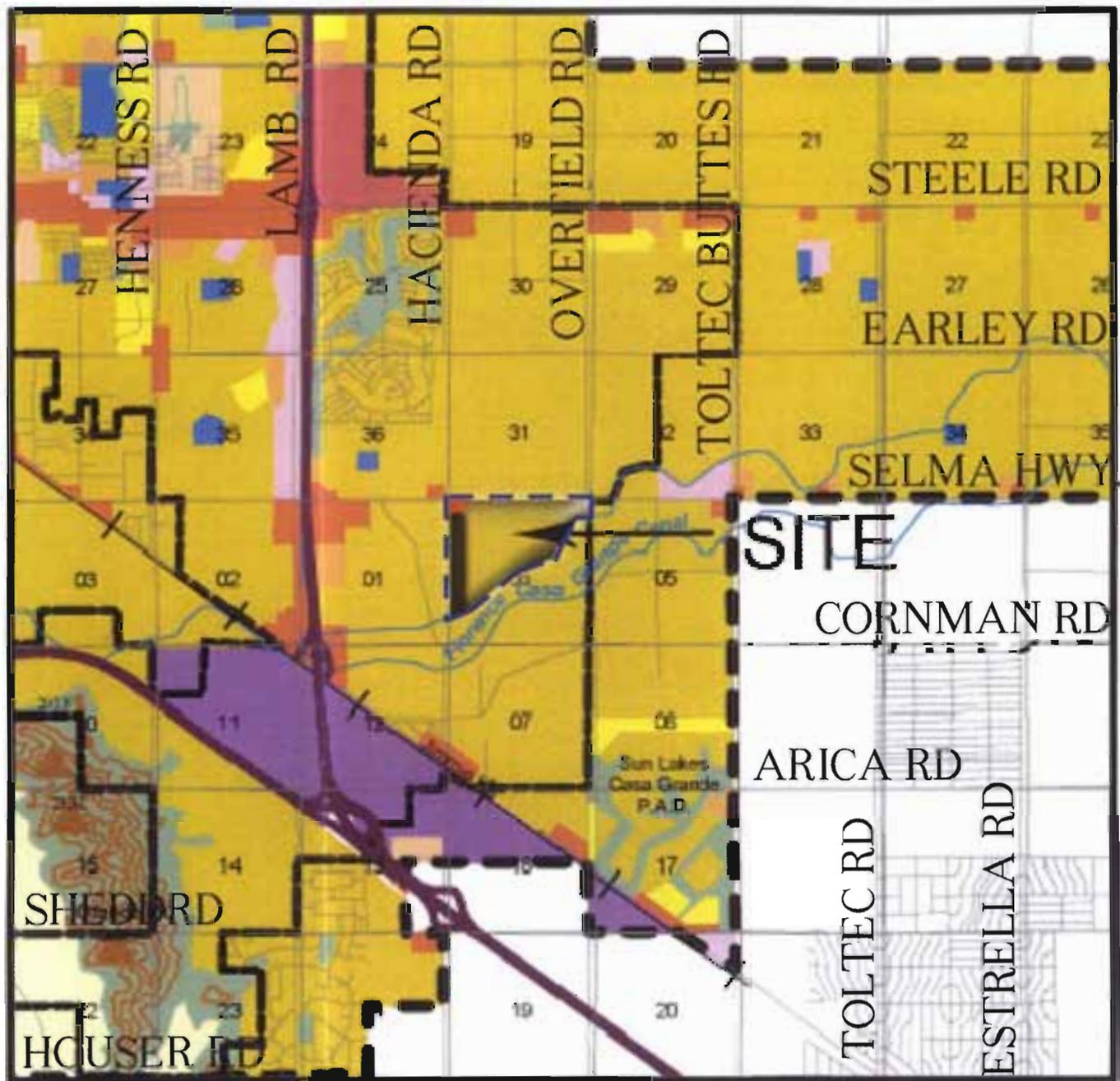
### 4.0 Existing Site Conditions

The included vicinity map shows that Sonoran Ranch is location is at the Southeast corner of the intersection at Hacienda Road (west side of property), Selma Highway (north side of property), the Casa Grande Canal (diagonally along the south side of the property), and a small portion of the property is bounded by Overfield Road (east side of property).

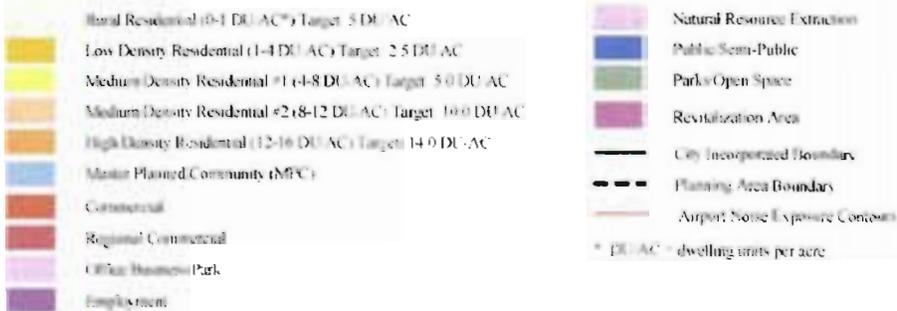
The property has been in agricultural use for many years. Farm roads, ditches and farm fields traverse the property, which has been graded several times in order for the irrigation water to flow, from the southeast to the northwest with an approximate slope of 0.3% across the land.

Off-site flow from the south is intercepted by the Florence-Casa Grande Canal and the Casa Grande Canal, the offsite flow is channeled to the west and away from the site.

There will be a 130' foot Easement on the western portion of Sonoran Ranch. This easement was granted to SRP for a 500kv power transmission line. This line runs from Maricopa Counties Palo Verde Nuclear Generating Station. This 500kv line will be a major contributor to the northeastern region of Pinal Counties power supply.



**Land Use Designation**



<b>SHEET NUMBER:</b>	<b>FIGURE 2</b>	<b>LAND USE DESIGNATION CASA GRANDE GENERAL PLAN</b>	<b>FIGURE 6</b>
<b>SCALE:</b>	<b>NOT TO SCALE</b>		<b>PROJECT DESIGN CONSULTANTS</b> <small>Planning, Landscape Architecture, Environmental, Engineering, Survey</small>
<b>DATE:</b>	<b>10/31/05</b>	<b>A PORTION OF THE SECTION 6, TOWNSHIP 7 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA</b>	<small>APPROVED BY: _____ DESIGNED BY: _____ DRAWN BY: _____</small>
<b>PROJECT NUMBER:</b>	<b>3079.00</b>		<small>PHD &amp; Associates, Inc. 10100 N. 19th Ave. Phoenix, AZ 85021 602.944.0700 Fax 602.944.0705</small>



## 5.0 Relationship to Surrounding Properties

The development is located on the eastern edge of development in the City of Casa Grande. The property is primarily surrounded by vacant land; there are some General Plan designations that do have an impact on the site. Section 31 to the north is zoned PAD in three of the quarter sections and Urban Ranch on the other quarter section. The property to the east is outside Casa Grande's incorporated boundaries and is zoned General Rural in Pinal County. The property to the south is zoned Urban Ranch and is designated for Low Density Residential (1.0 – 4.0 DU/AC) The land to the west is zoned Urban Ranch and is designated for Low Density Residential (1 – 4.0 DU/AC), High Density Residential (12.0-16.0 DU/AC), Commercial, and Employment. All designations in section 5.0 are referring to the City of Casa Grande General Plan 2010. (Figure 6)

## 6.0 Accessibility

The accessibility to the property is good, with access from two arterial roadways. Selma Highway provides access from the north at three points. Hacienda Road provides access from the west at two points. Hacienda Road will carry traffic coming from the north, S.R.-287 as well as carry traffic coming from the south, future Apache Junction–Coolidge Corridor. S.R.-287 and the future Apache Junction–Coolidge Corridor have close freeway access and will give Sonoran Ranch residents easy access to their home. A system of collector streets will be developed within the project providing access to both arterials. The centralized collector street provides access to the majority of the residential loops and cul-de-sacs.

## 7.0 Circulation System and Street Improvements

The site is unique in that it is triangular, approximately a mile wide at the north and has restricted access at the south side by an irrigation canal. The collector street design was done with a loop backbone system. The collectors give good access to all areas within the site; they are clear, simple and safe for the users. The shape of the collectors give good access to the local streets within the development and allow for good phasing separations.

Final traffic reports and plans, meeting the approval of the City Engineer, are required prior to the approval of any final subdivision Plats for this project. The Traffic Study will determine the traffic impact of this project and confirm the collector road cross-sections and the design criteria that will have to be met by the developer.

The City Engineer will review the design to determine if there is a need for additional traffic and roadway improvements that the developer may be required to provide and/or be partially financially responsible for based on the amount of traffic generated by this residential community.



## 7.1 Arterial Roadways

Hacienda Road is an unpaved minor arterial road, adjacent to the west boundary of Sonoran Ranch (Figure 7). The developer will be responsible for engineering and construction of the east half street of Hacienda Road adjacent to the property. A major collector and local street connection will be made to Hacienda Road from Sonoran Ranch. Currently there is a 33-foot County Right-of-Way. The applicant will dedicate an additional 22-feet to create a total 55-foot half-street. The developer will install paving, curb, gutter, 6-foot side detached, sidewalk, streetlights and landscaping within the right-of-way per minor arterial requirements.

Selma Highway. is the north boundary of Sonoran Ranch. The developer will be responsible for the engineering and construction of the south half of Selma Highway adjacent to the development. The existing right-of-way is 33' feet. The developer will dedicate an additional 37-feet to the existing dedications to provide a total of a 70-foot half-street dedication along the south side of Selma Hwy. The developer will install paving, curb, gutter, 6-foot side detached, sidewalk, streetlights and landscaping within the right-of-way per minor arterial requirements.

Overfield Road is the east boundary of Sonoran Ranch. The developer will be responsible for the engineering and construction of the west half of Overfield Road adjacent to the development. The existing right-of-way is 33' feet. The developer will dedicate an additional 37-feet to the existing right-of way to provide a total of a 70-foot half-street dedication along the west side of Overfield Road. The developer will install paving, curb, gutter, 6-foot side detached, sidewalk, streetlights and landscaping within the right-of-way per principal arterial requirements.

## 7.2 Collector Streets

The developer will be responsible for the engineering and construction of the collector streets within Sonoran Ranch. The developer will dedicate 80-feet of right-of-way on the largest collector street (Sonoran Crossing), 80-feet of right-of-way on the main entry (Easy Circle), and 60-feet of right-of-way on the secondary collector. (Sonoran Ranch Boulevard.) Collector Street improvements will include paving, curb, gutter, streetlights, a detached four feet wide sidewalk on both sides of the right-of-way, and medians at the entrance from the arterial roadways.

The collector streets allow the developer an opportunity to create a beautifully landscaped spine through the community. Pedestrian safety is enhanced with deep setbacks with an 8' wide offset multi-use path parallel the collector streets.

## 7.3 Local Streets

The developer will be responsible for engineering and constructing local streets and cul-de-sacs within Sonoran Ranch. The developer will dedicate 44-feet of right-of-way for all local streets. Local street improvements will include paving, curb, gutter and an attached 4-feet wide sidewalk on both sides of the rights-of-way. Upon completion of



construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande.

Sidewalks along all collector and arterial roadways will be detached from the curb and will meander within the right-of-way except at intersections. Cross-sections and striping plans for arterial and collector roadways are subject to the review and approval of the City Engineer and City Planning Director. Striped bike lanes, meeting AASHTO standards and the recommendations of the City Engineer, shall be provided on all collector and arterial roadways. Upon completion of construction maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande except for the maintenance of landscaping, which will be maintained by the project's Homeowner's Association (HOA).

The HOA will maintain all landscaping within the public right-of-way except for any landscaping occurring within arterial road medians.

## **8.0 Public Facilities**

Sonoran Ranch is within the school districts of Mesquite Elementary School, Cactus Middle School, and Union High School Districts borders. Talks with the Elementary and High School Districts have taken place and the districts and developer will enter into a donation agreement on per-lot-basis.

This residential development will include many usable active and passive recreation open space areas, as noted previously throughout this document. The largest areas will be the locations of the two large parks and the four pocket parks all being interconnected by landscaped trails, paths, and tracts. In "Community Recreation Area 2," (Figure 5) as mentioned previously there are four half-court basketball courts, giving multiple recreation options to residents of Sonoran Ranch.

Police services, fire protection and solid waste management will be provided by the City of Casa Grande.

## **9.0 Phasing Plan**

Sonoran Ranch may be phased but phases have yet to be determined. Mass grading may also occur at one time to ensure that the site balances from a cut and fill standpoint and to ensure that all storm water drainage and retention requirements are met. This decision will take place during the start up portion of the project. A specific phasing plan will be submitted for review and approval to the appropriate City departments, if more than one phase of development is planned.



## 10.0 Utilities

Any utilities passing running through the site or any utilities that need to be relocated for development of the property will be placed underground except as approved by the City Council.

There are currently no gas mains at any location on the property.

All other utility lines serving the project as well as irrigation ditches crossing the project can be run underground, abandoned, or relocated to new alignments on the property. New sewer lines and facilities, street lights and fire suppression equipment will be constructed to City standards and codes, subject to review and approval by their respective City Department. Upon completion of construction and acceptance, operation and maintenance of all utilities and facilities will rest with the appropriate operating agency.

### 10.1 Sewer

This project will connect into the City of Casa Grande sewer facilities. The exact size and location of the sewer line is part of the Sewer Master Plan. Currently no existing City of Casa Grande sewer facilities exist adjacent to the site. There is a proposed future sewer line 2 miles north to be constructed by others, running east west along Florence Boulevard. There is a signed agreement between the City of Casa Grande and ORE6, LLC, which entitles Sonoran Ranch to a reservation of capacity in the 24" line, which is under construction. (Copy of Agreement Located in Master Sewer Report)

A Sewer Master Plan will be submitted to and approved by the City engineer prior to approval of the Preliminary Plat for the site. Final sewer reports and plans, meeting the approval of the City Engineer, are required prior to the approval of any Final subdivision Plats or Major Site Plans for this project.

### 10.2 Potable Water

Potable water service for Sonoran Ranch will be provided by the Arizona Water Company. Sonoran Ranch will connect into an existing 12"-inch water main that is located about ¼ mile north of Earley Road in the Mission Royale planned community. To also contribute to Sonoran Ranches water supply the Arizona Water Company requested an onsite well which is capable of producing approximately 1,000 gallons per minute, per system demands. The system is discussed further in the Water Master Report. Please see Will Serve Letter (Figure 8)

A Master Water Report will be prepared and submitted to the City Engineer prior to approval of the Preliminary Plat for the site. Final Water reports and plans, meeting the approval of the City Engineer and Arizona Water Company and Arizona Department of Environmental Quality (ADEQ), are required prior to the approval of any Final Subdivision Plats for this project. The developer will provide a 100-year Assured Water Supply certificate prior to Final Plat approval.



### 10.3 Electrical Power

APS will provide electric service. San Carlos Irrigation Project (S.C.I.P.) will provide power to Sonoran Ranch.

S.C.I.P. currently operates a substation inside the boundaries of Sonoran Ranch. (Figure 2) S.C.I.P. will relocate that substation to a 1-acre site within Sonoran Ranch. The new location of the 69kv-12.5kv site is located in Tract 32 (Figure 3). Our contact with S.C.I.P. is Alex Romero. Alex agreed to develop this substation to blend into Sonoran Ranch by matching the community theme walls and landscaping planting pallet. We have also specified that with S.C.I.P.'s 1-acre of land inside Sonoran Ranch shall abide by setback standards per the City of Casa Grande Zoning Ordinance and the City of Casa Grande Residential Design Standards for Planned Area Developments.

### 10.4 Telephone

Qwest Communications will provide telephone services.

### 10.5 Sanitation

The City of Casa Grande will provide solid waste disposal services.

### 11.0 Grading and Drainage Concept

The grading and drainage concept for Sonoran Ranch consists of multiple retention basins within the proposed open space areas. Each neighborhood in the property will be graded to drain toward the associated retention basins and the streets will be designed per the city of Casa Grande Criteria to convey all onsite storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. Offsite storm drainage will be accommodated through adequately designed water conveyance systems.

A Master Drainage Plan will be submitted to and approved by City Engineer prior to approval of the Preliminary Plat. Final drainage reports, retention reports, and plans which meet the approval of the City Engineer, are required prior to the approval of any Final Subdivision plats for this project.

The retention basins will be designed as multi-use facilities, combining retention facilities without playground equipment and recreational opportunities. To minimize the disruption of use during and after storms all playground equipment will be elevated out of the 25-year storm event. Drywells will be used as recommended by the City Engineer. The property does not lie in a flood plain.



### 12.0 Residential Covenants, Conditions, & Restrictions

In order to assure the single-family residents that their investment in the community and home will endure, Sonoran Ranch will be controlled by a strong set of Covenants, Conditions, and Restrictions (CC&R's). The CC&R's will incorporate the design principals as outlined in this document and will promote diversity in home sites, color, texture, and streetscapes, not only from neighborhood to neighborhood but also from neighbor to neighbor. The CC&R's will be presented to the City Planning Director for review prior to the recording of any Final Subdivision Plats.

### 13.0 Homeowners Association (HOA)

A homeowner's association will be formed in conjunction with the development of this project. This association will be responsible to maintain all landscape tracts, open space areas and amenities, perimeter walls and other common areas within and adjacent to the single-family residential parcels including drainage ways, perimeter walls and landscaping within rights-of-ways (except arterial roadway medians. The association will work in conjunction with the CC&R's that are prepared for the project.

### 14.0 Development Team

The Owner has assembled a development team to design Sonoran Ranch as a community that they will be proud of, and that meets the expectations of the City, and provides a sustainable neighborhood for the families that will live there.

Owner/Developer:

**ORE 6, L.L.C.**

849 Almer Ave. Suite "C" PIMB 180

Santa Clara, CA 95060

Contact: Kyvek Development

Phone: 602-424-3160

**Fax: 602-424-3161**

Zoning Consultant:

**Pacific Southwest Management**

2101 East Cortez Drive

Gilbert, AZ 85234

Contact: Richard Andrews

Phone: 602.399.9663

**Fax: 480.539.9001**

Land Planning Engineering and Landscape Architecture

**Project Design Consultants**

3200 East Camelback Road, Suite 275

Phoenix, AZ 85018

Contact: Bob Murphy

Phone: 602.508.0700

**Fax: 602.508.0745**



## 15.0 Conclusion

Sonoran Ranch is planned to be a high quality residential community that invites its residents to enjoy the outdoors and the open space areas are strategically located for high visibility and easy access. The curvilinear streetscape is enhanced with landscaping, street trees, and landscape medians at the major entries and additional design features include significant entry monuments and attractive perimeter theme walls that combine to create a high quality residential community.

Development of Sonoran Ranch will be in accordance with applicable code requirements of the City of Casa Grande, the City's Residential Design Standards for PAD's and the approved Development Guide.

## APPENDIX A

**A.1 Residential Development Standards**

Sonoran Ranch has been designed to incorporate as many of the City of Casa Grande's Residential Design Standards for Planned Area Developments as possible. The following outlines how the design of Sonoran Ranch has met or exceeded these standards.

**1.1.0 Mandatory PAD Layout and Design Standards****1.1.1 Open Space**

The open space plan for Sonoran Ranch is based on livability and the support of a higher quality of life (Figure 4 & Figure 5). There are (49.70) ~~53.35~~ acres of open space, representing (18.2%) ~~19.5%~~ (net) of the project; which exceeds the open space percentage of 15% required by the City for PAD's. A Homeowners Association will be formed to maintain all landscape tracts.

The plan allows for uninterrupted pedestrian movement throughout the community through 8 feet wide multi-use paths located along both major collectors, Sonoran Ranch Blvd. and Sonoran Ranch Crossing. These multi-use paths will give full access to the subdivision and its amenities for pedestrians. Linear open space bordering the east west and north south collectors also provides access for both the residents of Sonoran Ranch and the immediate Casa Grande area. The connecting trails, four pocket parks, two larger neighborhood parks and the parkways all work together. The open space plan is the fabric by which this project works and is designed around.

The improvement plans addressed by the open space design focuses on using a varied drought-tolerant plant palette for color, texture and visual interest, as well as the proper use of shade trees along the pedestrian pathways.

All open spaces are strategically located for high visibility and are connected throughout the community by pedestrian paths. The paths tie the neighborhoods together and allow residents to walk from one end of the project to the other. Safety and security lighting will be provided for some open space areas as required by the City Planning Director.

Aesthetically pleasing landscaped storm water channels will be used to transport on site generated storm water through the site to detention basins. The channels may include multi-use trails, trees, shrubs, and turf and granite ground cover.

The proposed open space areas will provide minimum retention for the project. The main purpose of the open space areas is useable open space and includes play equipment, picnic tables, ramadas, benches, shade trees, turf and varied plant massing.



A final landscape and open space amenity plan will be submitted prior to the approval of any Final Subdivision Plats for the property. The plan shall meet the approval of the City Planning and Development Director. If the plan is phased, for development purposes, amenities and landscaping improvements will be made for that phase concurrent with the development of that phase.

### **1.1.2 Streetscapes and Entrances**

The perimeter wall design as depicted in this document illustrates the use of stained CMU block walls and faux stone piers (Figure A-1 & Figure A-2). The stone material shall consist of antique cobblestone with flush joints and McDowell Mountain color. The CMU block should have a brown tone 415 by ICA paints or equal color. The blending of simple materials and textures with a desert landscape palette creates a backdrop to the architecture of the homes. The walls and caps include a thicker cap block to create a 3-dimensional shaded reveal. Wall Details and colors shall be submitted for the review and approval of the City Planning and Development Director.

A minimum 25 feet wide tract shall be provided adjacent to arterial roadways, although a majority of the site will provide significantly more width due to drainage facilities.

Entry monuments will include a major entry monument at the ½ mile point on Selma Hwy. and three secondary monuments two on Selma Hwy. and one on Hacienda Rd. The monuments are intended to reflect the natural materials on the property. The material used for the lettering on the entry monuments shall be reverse pan steel lettering. Simple thematic monuments will include a battered, rammed earth wall so the community sign lettering can be easily seen, and faux-stone retaining walls in front of the sign wall. The double wall reduces the apparent height of the sign wall. There will be signs at all three entries. (Figure A-3 & Figure A-4). The developer will install the lighted entry monuments.

### **1.1.3 Front Yard Landscaping**

The homebuilder will offer to the homebuyer a selection of front yard landscape packages. The front yard landscaping will be installed by the homebuilder within ninety days of home occupancy and will be maintained by the individual homebuyer. Front yard landscape packages will include a variety of water conserving plants. A minimum of two fifteen-gallon trees, eight five-gallon shrubs or accent plants, and six one-gallon ground cover plants, plus an automatic irrigation system and granite rock topping is required for each lot. The homebuilder as a front yard landscape option may offer turf. The turf area shall not exceed 20% of yard area and shall be separated from decomposed granite areas and by a concrete or brick header. Decomposed granite or river rock will cover all exposed areas. A minimum of four standard landscape plans shall be



offered and one plane shall include river run design that use 3-inch to 8-inch river rock or fractured granite. Modifications to these minimum requirements are subject to the review and approval of the Planning Director.

#### **1.1.4 Miscellaneous**

Side yard fence returns for all interior lot walls shall extend to within 10 feet (10') of the front corner of the homes. All walls exposed to the public shall be painted the color of the primary decorative theme or perimeter walls, except for each individual home/lot may be the color of the residence.

### **1.2.0 Additional Requirements for PAD Layout and Design**

The following additional development standards will utilized at Sonoran Ranch.

#### **1.2.1 Curvilinear Street System**

The project has been designed with a curvilinear street system, and the streets were designed to create identifiable neighborhoods to provide ease of access for residents. The streets system design also discourages cut-through traffic, and helps in traffic calming.

The major collector streets are designed in a curvilinear fashion, this will help to slow traffic within the development. A second major collector intersects to help control traffic speeds and creates focal points within the development. This series of collector streets serves several functions; first it interrupts the pass-thru traffic, acting as a calmer for those in a hurry. Second, the interruption creates focal points within the community, the focus will be on parks, vegetation, open spaces, etc. The street system encompasses the highest quality of development that Sonoran Ranch offers. The Collector streets are flanked on either side by open space; this will give more identity to the Sonoran Ranch while creating a safer roadway.

The collector streets and system of local streets that tie into them have created a wide variety of views, focal points, beautiful streetscapes, long curves, and cul-de-sacs. This should help create a sense of home, adventure and interesting spaces inside Sonoran Ranch.

#### **1.2.2 Stagger Front Yard Setbacks**

Front-loaded garages will vary in setback from 20 feet to 23 feet. The developer proposes to vary the building relationship to the street by providing a 23-foot front setback on every third or fourth lot with a front-loaded garage. The minimum setback for front porches, side-entry garages and livable areas, which



project in front of the front-loaded garage, shall be 15-feet. Lot development standards are noted on the Development Plan included within this document.

### **1.2.3 Multi-Use Paths**

An 10-foot wide concrete path and 4-foot wide concrete walks will meander through the development's proposed open space corridors physically tying the community together. The internal path (10-foot wide) and walkway (4-foot wide) network shall be designed to provide safe and convenient connections/linkages to all open space amenities and to the future Regional Park. All walkways and paths will be constructed of concrete and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director. Except for those located within public right-of-way, all paths and walks shall be covered by pedestrian public access easements, if requested by the City.

### **1.2.4 Enhanced Subdivision Entries**

The entrances to Sonoran Ranch shall be designed to create a sense of arrival. Attractive lighted entry monuments as depicted in this document will be installed by the builder/developer and will promote the sense of a high-quality residential and commercial development. A raised, landscaped median will be provided at Selma Highway and Azurite Way, the primary entry into the community.

### **1.2.5 Landscape Buffers**

Landscape tracts/buffers are provided along all arterial and collector roadways as depicted in this document. As noted previously, a minimum 15' wide landscape tract will be provided adjacent to arterial roadways, although a majority of the site will provide significantly more width due to drainage conveyance requirements.

### **1.2.6 Enhanced Perimeter Wall Design**

The perimeter wall design as depicted in Figure A-1 illustrates the use of varied materials including stained CMU block and faux stone. The theme wall will consist of a combination of stained CMU block and the columns will include faux stone. The columns will be located as shown on the attached exhibit. The faux stone on the columns will reflect the architectural theme at the entryways. In addition, the walls will be staggered to create a more pleasing 3-dimensional appearance. Wall details and colors shall be submitted for the review and approval of the City Planning Director and Development Director.



## A.2 Mandatory Residential PAD Architectural Standards

The all-residential product for Sonoran Ranch has not been determined at this time. The homes will exhibit an architectural diversity while still maintaining a cohesive architectural theme and character. The product that will be built at Sonoran Ranch will incorporate architectural elements that will help create a diverse and aesthetically pleasing street scene. Product elevations and floor plans will be presented to the City of Casa Grande Planning and Development Department and City Planning and Zoning Commission for review and approval prior to the issue of any single-family residential building permits for the development.

The following guidelines will be followed when developing the product for the project:

### 2.1 Floor Plans and Elevations

- 2.1.1 A minimum of three home floor plans, each with three distinct elevations, will be offered within each definitive housing price range or product type.
- 2.1.2 A minimum of five distinct home color schemes will be offered within each definitive housing price range or product type.
- 2.1.3 The developer/homebuilder will not allow two homes with same front elevation or color schemes to be located on adjacent lots across from each other within Sonoran Ranch. A variety of architectural design features will be incorporated into each home elevation to promote diversity from home to home.
- 2.1.4 There will not be any more than three consecutive similar rear home elevations for homes backing on Hacienda Road, Selma Highway, or Overfield Road.
- 2.1.5 Emphasis (covered front porches, bay windows, etc.) will be placed on the front elevations of homes. Front entries will be visible from the street.
- 2.1.6 Emphasis will be placed on all elevations facing roadways and open space areas. Window pop-outs, windowsills, recessed windows and/or similar architectural embellishments will be provided on all front, rear and side elevations.

### 2.2 Roofs

- 2.2.1 A variety of home roofing colors, shapes and/or textures will be offered. A variation of ridgelines and designs will be provided. Concrete tile shall be utilized for all sloped roofs. The Planning and Zoning Commission may give consideration to alternate durable roof material that are consistent with the housing themes of Sonoran Ranch.



2.2.2 Unique roof colors will be matched to each homes color scheme. Residential dwelling units and accessory buildings/structures will have no roof-mounted or wall mounted mechanical equipment including HVAC, or evaporative coolers. All such equipment must be ground-mounted.

2.2.3 Covered courtyards or patio areas will be standard and will be incorporated into the architecture of the home.

2.2.4 Stucco patio cover columns will be provided. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Development Director.

### **2.3 Garages**

2.3.1 On lots that are at least typically seventy feet (70') wide, at least one elevation per floor plan per parcel or product type will be designed with a standard side entrance garage.

2.3.2 No garage will extend forward of home's livable area or covered front porch by more than ten feet (10'), except for side entry garage designs.

2.3.3 At least one elevation per floor plan per parcel or product type will have the livable area of the home forward of the garage.

Front loaded garage doors shall not exceed fifty percent of the house width (frontage). Where more than a standard two car front entry garage can be accommodated, the additional garage bay (s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

### **2.4 Additions and Modifications**

2.4.1 All additions to homes shall be constructed of the same building material as the principal residence and painted to compliment the home.

2.4.2 Garages shall not be converted or enclosed for other uses

2.4.3 Accessory buildings shall be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used-on the principal residence.



### A.3 Additional Requirements for PAD Residential Architecture

Four of the standards listed below will be mandatory for the developer to implement at Sonoran Ranch. These additional requirements for PAD residential architecture will be presented to the Planning and Zoning Commission prior to approval of the final subdivision plats.

- 3.1 Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
- 3.2 Provide unique architectural styles for all homes within a parcel or parcels of a PAD. Depart from currently popular architectural styles to use other unique house styles.
- 3.3 Provide unique architectural features, such as dramatic covered front entries, large covered front porches, bay windows and/or dormers as standard features on all homes.
- 3.4 Reduce the number of standard front-loaded garages. At least one floor plan per project or product type shall have the garage oriented towards the rear of the home as a standard feature. In addition, the number of floor plans using side-loaded garages, as standard features shall be increase from the minimum required.
- 3.5 Reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, providing multiple roof changes, and/or other effective means.
- 3.6 Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.
- 3.7 Applicant's choice. An opportunity for creativity and design innovation is provided here.



#### **A.4 Development of the Sonoran Ranch PAD**

Shall be subject to the following conditions. Where a conflict exists between these conditions and the Development Guide, the following conditions shall apply:

- 4.1 A PAD Plat shall not be required for this PAD. All plats shall comply with the City Subdivision regulations.
- 4.2 The Final Traffic Report for the site is subject to the review and approval of the City Engineer. The developers/builders of the subject site shall be financially responsible for the provision and installation of any traffic signals required for the site, except as approved by the City Engineer.
- 4.3 Deceleration lanes shall be designed and provided for at all entrances into the subject site from Selma Hwy. and Hacienda Road, except as otherwise approved by the City Engineer and ADOT, where applicable. Left turn lanes shall be designed and provided for in accordance with the recommendations of the City Engineer.
- 4.4 Development of the site shall be in accordance with Sonoran Ranch Development Guide/Plan and all applicable City codes and ordinances.
- 4.5 Any conditions the Commission deems necessary.



## APPENDIX B

### **B.1 Builder Profile**

HomeLife Communities is a family run business that offers homeowners more than 25 years of quality building experience in the “affordable” housing market. Attractive pricing and popular home designs in neighborhoods that offer fun-filled recreational activities, have made HomeLife Communities a leader. Put simply, HomeLife provides larger homes for your investment dollar in better neighborhoods. We are headquarter in Atlanta, Georgia have been honored with a very first Platinum Award ever given in the U.S. by the 2-10 Home Buyers Warranty Corporation for construction and customer service Excellence. Also, HomeLife has received their “Quality Award for Excellence” each of the last 7 years. With the construction of over 4,000 beautiful new homes to our credit, we proved ourselves on customer satisfaction and provide a 10-year structural warranty on each and every home we build.

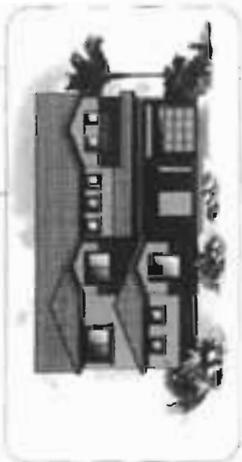
B.2 Typical Housing Product Elevations and Floor Plans follow this page.

# PINEHURST

MONTANERO

5 BEDROOMS

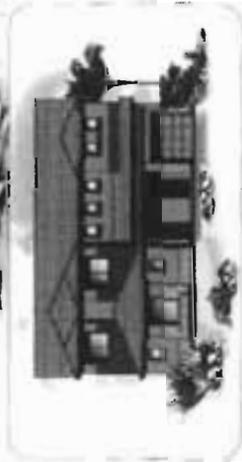
2 1/2 BATHS



Elevation B



Elevation A



Elevation C

More. WOW for your money.<sup>SM</sup>



Building affordability into your dreams

# PINEHURST

MONTANERO

PLAN-4521

2649 SQ. FT.

**G**reat value! Five bedroom home with three car garage and 6th bedroom or hobby room option. Laundry room upstairs. Laundry room upstairs.



## WOWS

- Microwave oven included!
- 3 panel door included!
- Garage door opener included!
- Covered patio included!
- Upstairs laundry included!
- Post tension slab to increase stability included!
- Low-E glass insulated windows included!
- Vaulted ceilings included!
- Separate tub and shower in master bedroom included!

# FAIRFIELD

MONTANERO

4 BEDROOMS

2 BATHS



Elevation B



Elevation A



Elevation C

More WOW for your money.<sup>SM</sup>



HomeLife  
Communities

Building affordability into your dreams

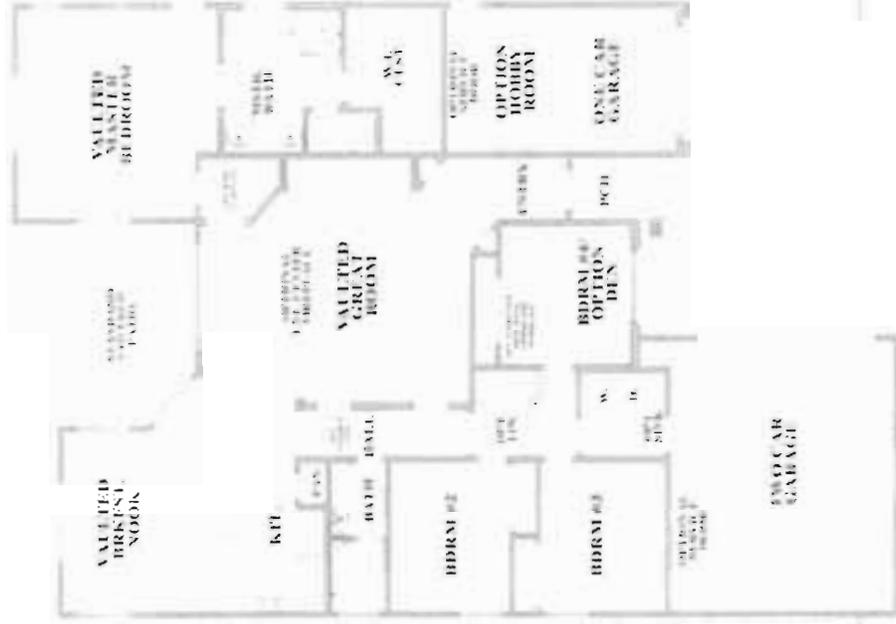
# FAIRFIELD

MONTANERO

PLAN-4511

2016 SQ. FT.

Hard-to-find four bedroom home. Greatroom plan with split bedrooms and side entry garage.



## WOWS

- Microwave oven included!
- 3 panel door included!
- Garage door opener included!
- Covered patio included!
- Post tension slab to increase stability included!
- Low-E glass insulated windows included!
- Vaulted ceilings included!
- Separate tub and shower in master bedroom included!



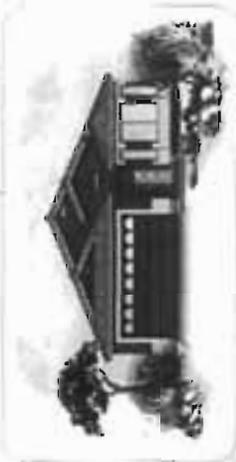
ELEVATIONS "B"

# CARLTON

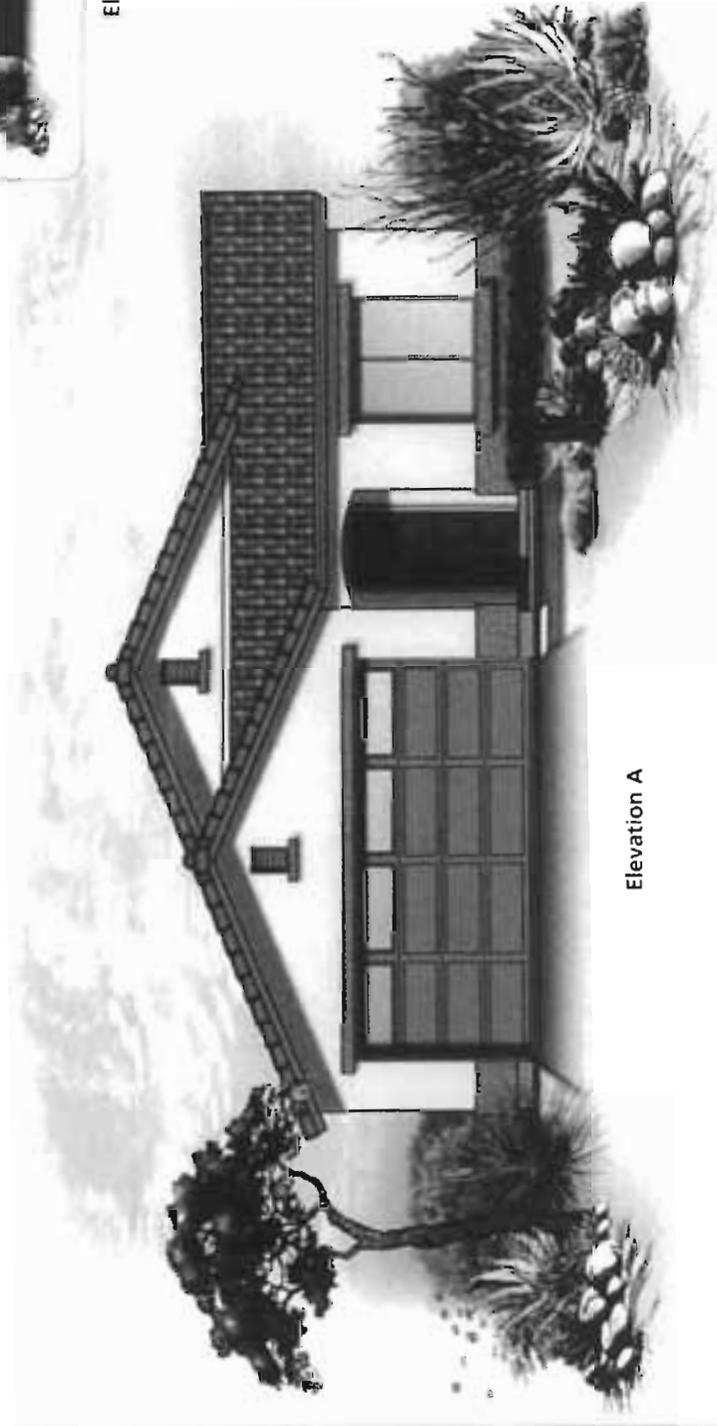
TERRASI

3 BEDROOMS

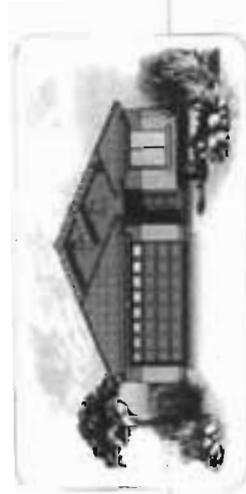
2 BATHS



Elevation B



Elevation A



Elevation C

More WOW for your money.<sup>SM</sup>



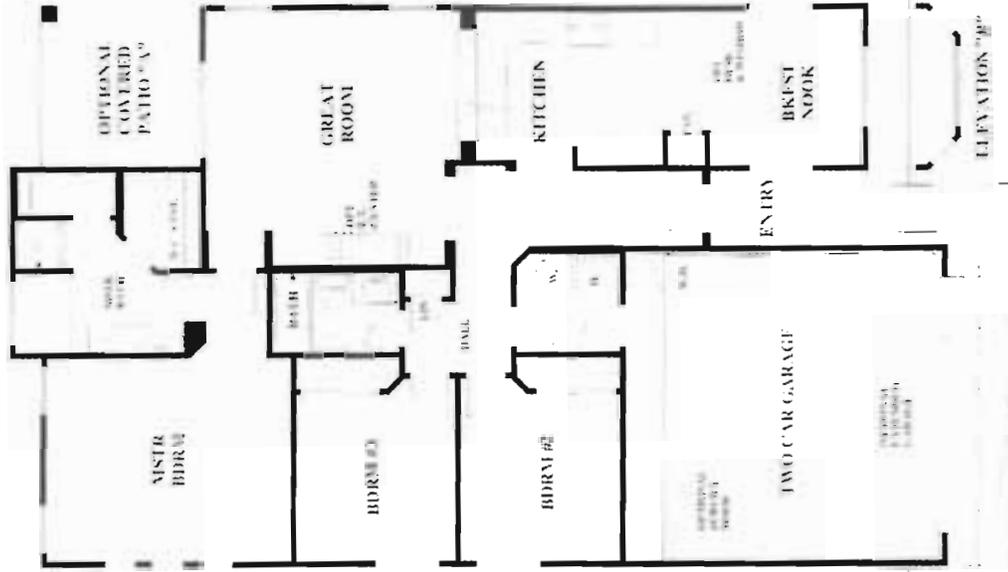
Building affordability into your dreams

# CARLTON

TERRASI | PLAN-3512

1392 SQ. FT.

Sunny kitchen area that overlooks greatroom, larger master bedroom, arches throughout, vaulted ceilings.



## WOWS

- Vaulted ceilings included!
- Separate tub and shower in master bedroom included!
- Post tension slab to increase stability included!
- Low-E glass insulated windows included!
- Washer, dryer, fridge, microwave included!\*
- Garage door opener for 2 car garage included!

\* Includes washer, dryer, refrigerator, microwave, and garage door opener.

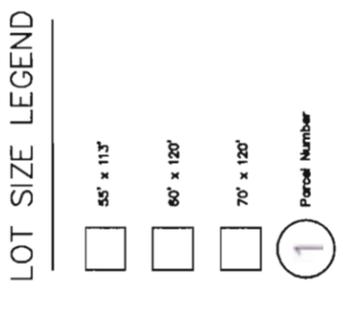


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LAND USE SUMMARY CHART

SITE AREA (GROSS)	307.22 AC
COMMERCIAL (GROSS)	21.75 AC
ARTERIAL R.O.W.	14.57 AC
COMMERCIAL AREA (NET)	18.88 AC
RESIDENTIAL AREA (NET)	273.77 AC
OPEN SPACE	53.35 AC
OPEN SPACE % (NET)	19.40 %
OPEN SPACE % (GROSS)	18.68 %
DENSITY (GROSS)	3.27 DU/AC
DENSITY (NET)	3.42 DU/AC



LOT YIELD

338	UNDER 7000 SF
256	7000 to 8000 SF
336	OVER 8000 SF

SCALE: N.T.S.

FIGURE 2  
CONCEPT PLAN

*Sonoran Ranch-Casa Grande, Arizona*

THIS EXHIBIT IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH FINAL CONSTRUCTION DOCUMENTS

SELMA HIGHWAY



OVERFIELD ROAD

OPEN SPACE SUMMARY

TRACT	ACRES
1	3.43
2	2.47
3	1.21
4	0.22
5	0.95
6	0.08
7	1.60
8	0.48
9	4.20
10	0.20
11	1.14
12	1.87
13	1.07
14	0.35
15	0.24
16	3.69
17	6.85
18	0.27
19	0.92
20	2.19
21	0.20
22	0.40
23	0.05
24	8.85
25	0.37
26	0.55
27	3.30
28	4.12
29	0.62
30	0.33
31	0.12
32	1.00
TOTAL TRACT AREA	53.35

FIGURE 3  
OPEN SPACE PLAN

*Sonoran Ranch Casa Grande, Arizona*

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1/19/06  
REVISED - 6/03/06



Symbol	Description
---	8' WIDE MULTI-USE, LIGHTED CONCRETE TRAIL (APPROX. 6,710 L.F.)
.....	5' / 6' WIDE DETACHED, CONCRETE SIDEWALK (APPROX. 25,202 L.F.)
①	COMMUNITY RECREATION AREAS
✱	COMMUNITY MAILBOX



# Sonoran Ranch Casa Grande, Arizona

FIGURE 5  
PRELIMINARY OPEN  
SPACE & TRAILS PLAN

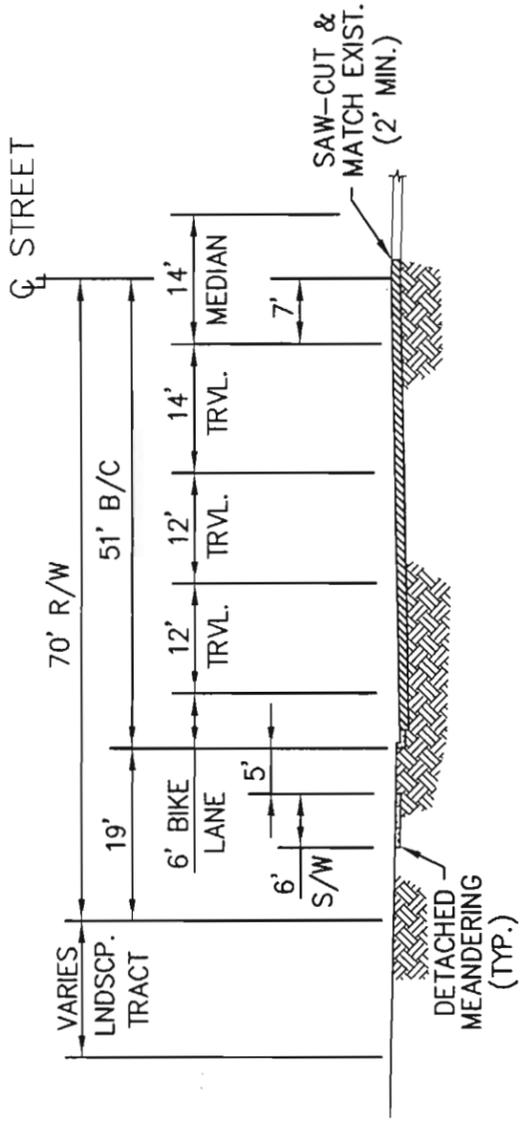
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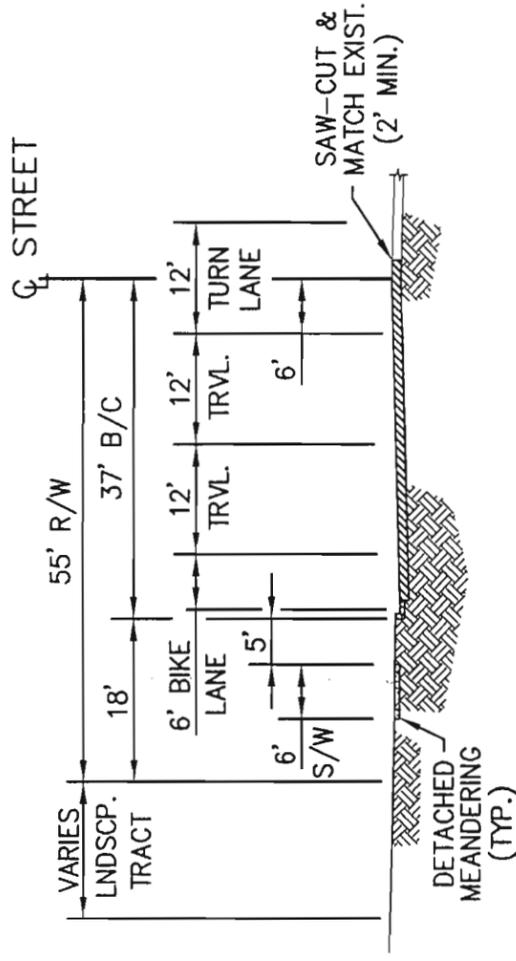
L-2  
6/5/06

2000 West Camelback Road  
Suite 200  
Phoenix, AZ 85016  
Tel: 602.998.1100  
Fax: 602.998.1101

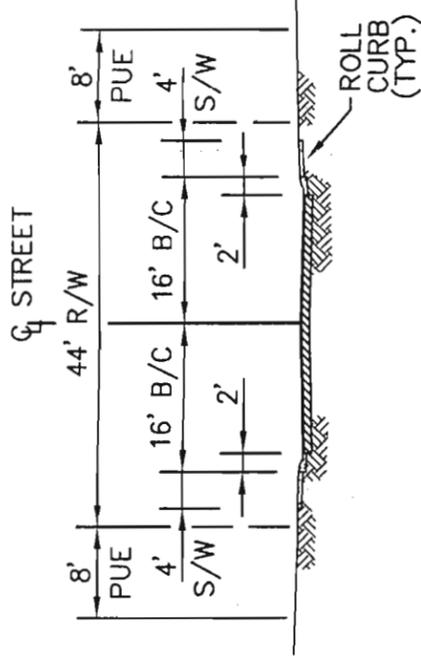




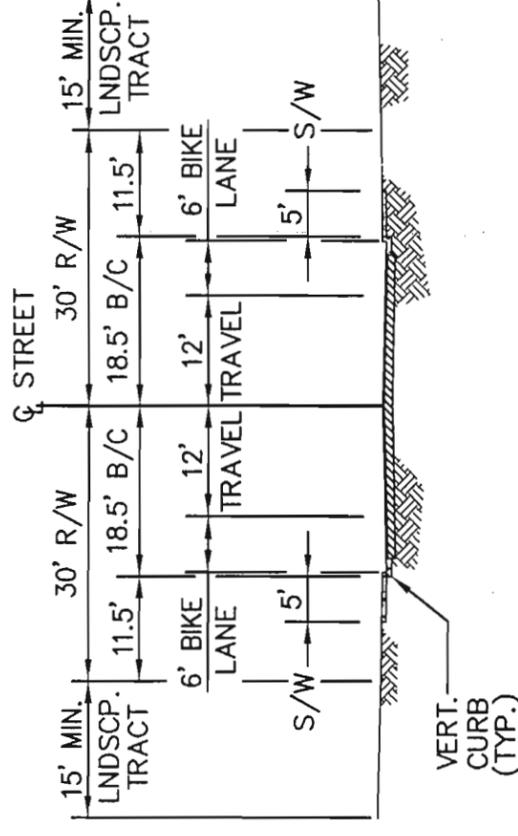
**70' PRINCIPAL ARTERIAL HALF STREET**  
(SELMA HWY., OVERFIELD RD.)  
SCALE - 1"=20'



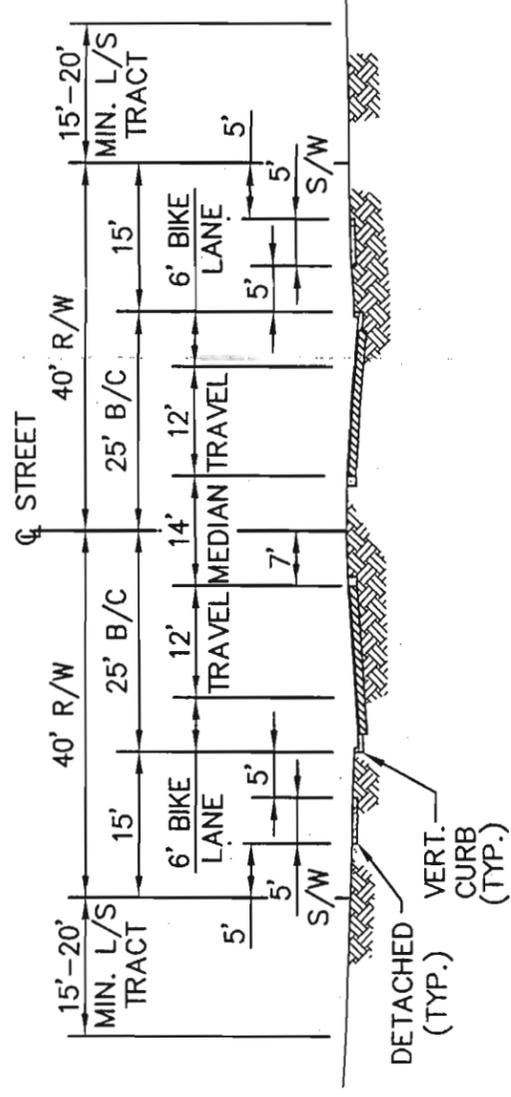
**55' MINOR ARTERIAL HALF STREET**  
(HACIENDA RD.)  
SCALE - 1"=20'



**44' LOCAL STREET**  
SCALE: 1"=20'



**60' MINOR COLLECTOR STREET**  
SCALE: 1"=20'



**80' MAJOR COLLECTOR STREET**  
SCALE: 1"=20'

# SELMA HIGHWAY

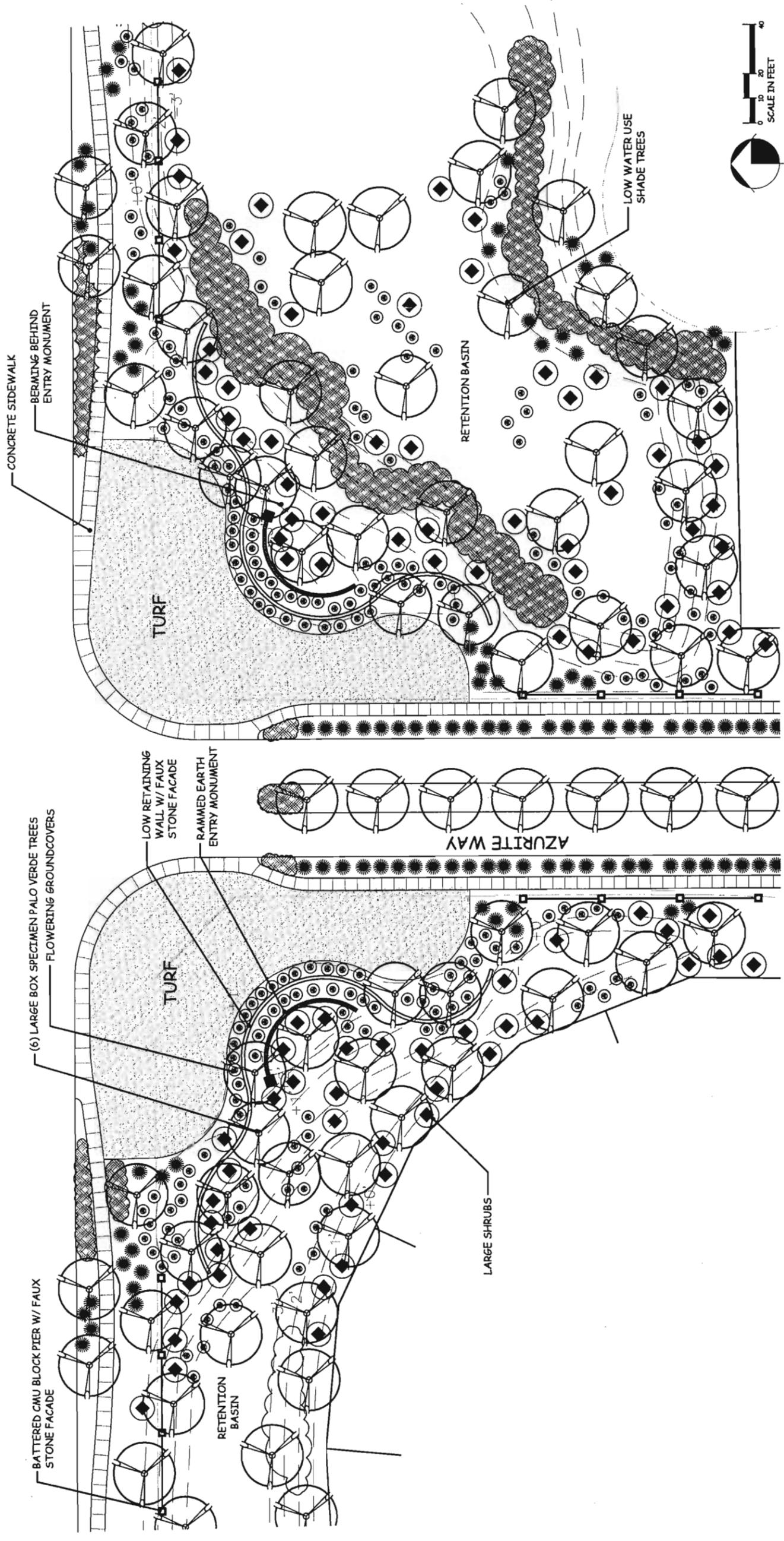
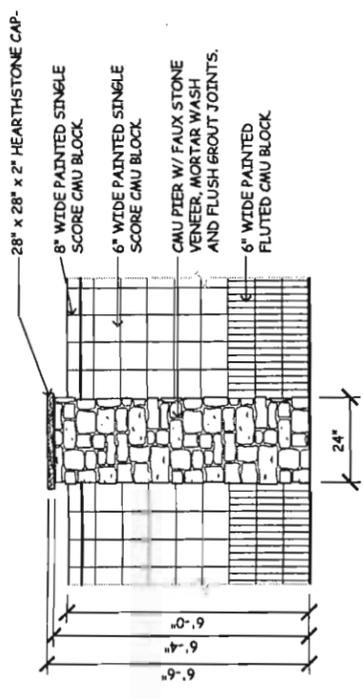
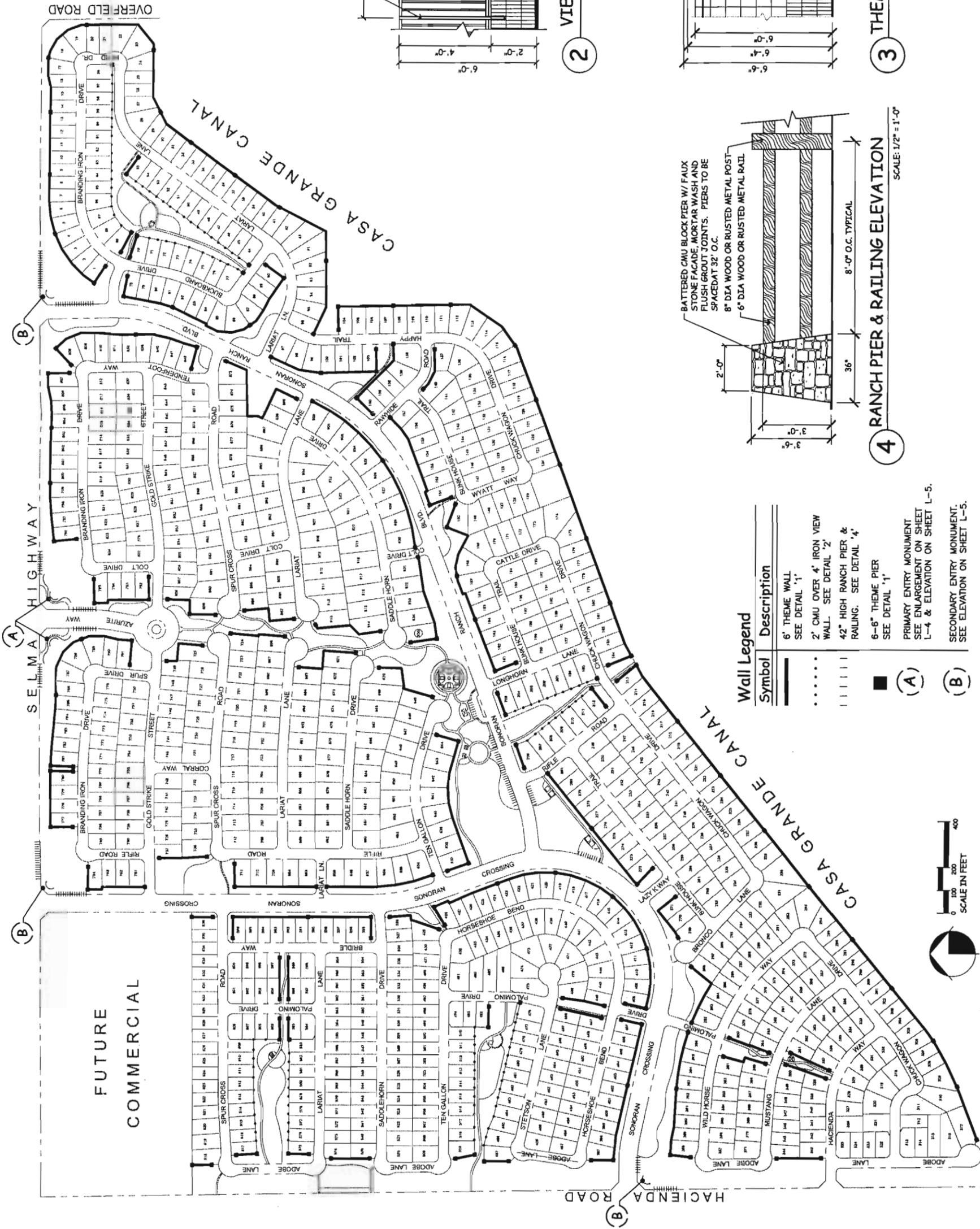


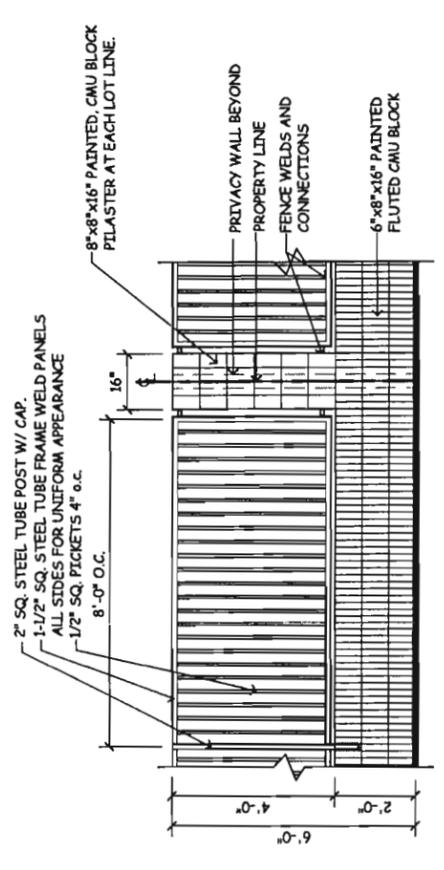
FIGURE A-2  
 PRIMARY ENTRY MONUMENT  
 ENLARGEMENT

*Sonoran Ranch Casa Grande, Arizona*

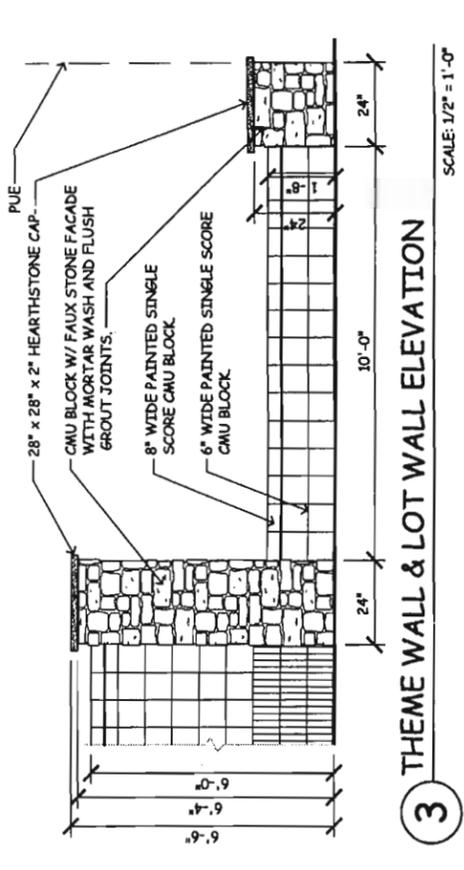
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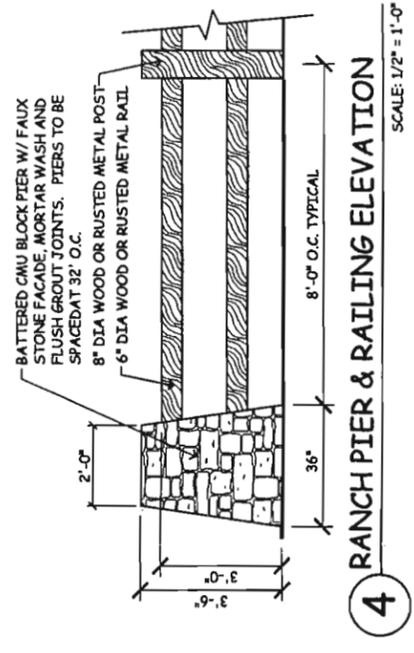
**1** THEME PIER & WALL ELEVATION  
SCALE: 1/2" = 1'-0"



**2** VIEW WALL ELEVATION  
SCALE: 1/2" = 1'-0"



**3** THEME WALL & LOT WALL ELEVATION  
SCALE: 1/2" = 1'-0"



**4** RANCH PIER & RAILING ELEVATION  
SCALE: 1/2" = 1'-0"

Symbol	Description
—	6" THEME WALL SEE DETAIL '1'
.....	2" CMU OVER 4" IRON VIEW WALL. SEE DETAIL '2'
	42" HIGH RANCH PIER & RAILING. SEE DETAIL '4'
■	6-6" THEME PIER SEE DETAIL '1'
(A)	PRIMARY ENTRY MONUMENT SEE ENLARGEMENT ON SHEET L-5.
(B)	SECONDARY ENTRY MONUMENT. SEE ELEVATION ON SHEET L-5.

**FIGURE A-1  
WALL PLAN & ELEVATION**

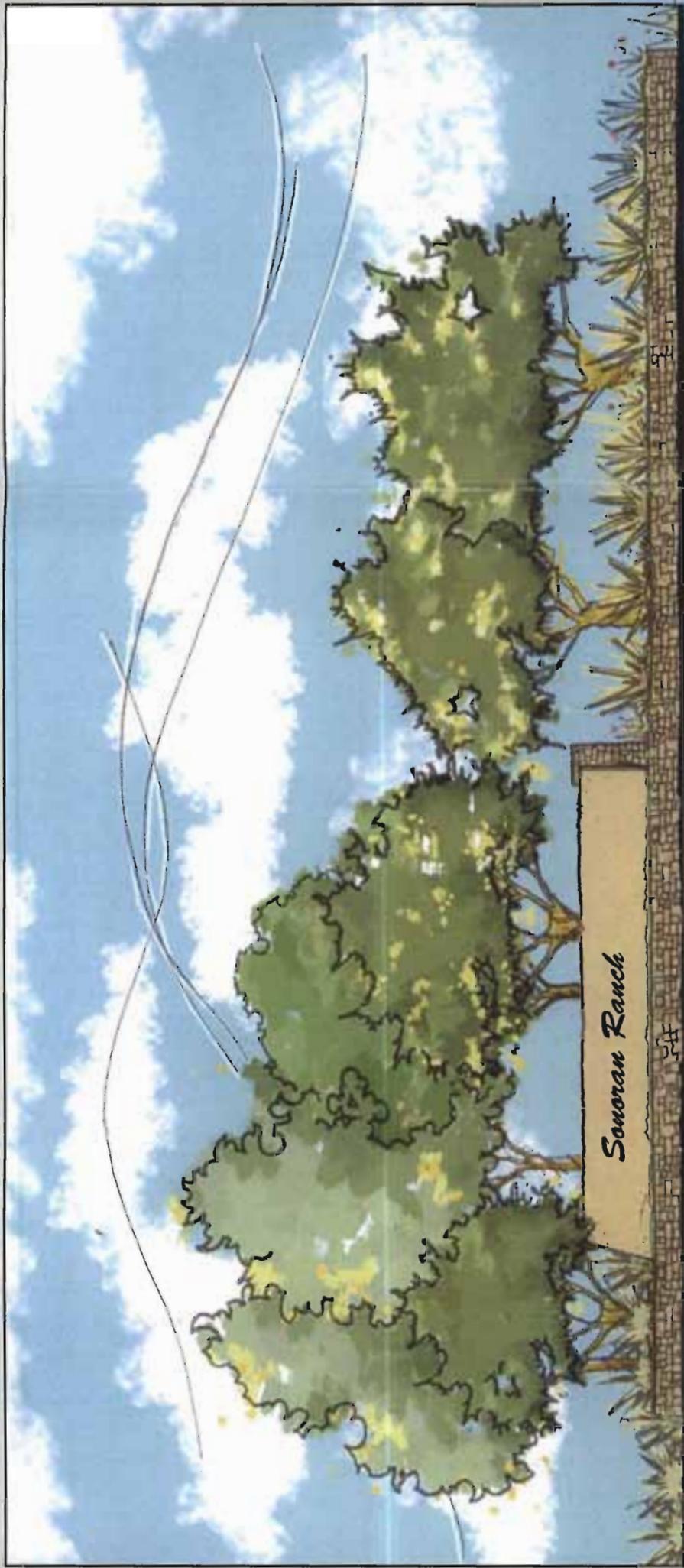
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Parrish | Lutzinger Architects | Environmental | Engineering | Survey



L-3  
6/15/06



Community Entry

Sonoran Ranch

• Rammed Earth Entries



Secondary Entry

# Sonoran Ranch- Casa Grande, Arizona

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L-5  
12/19/05

## ENTRY MONUMENT ELEVATIONS

FIGURE A-3