

SIERRA RANCH II

A MASTER PLANNED COMMUNITY
CASA GRANDE, ARIZONA

DEVELOPED BY

GRACE LAND DEVELOPMENT, LLC

LANDEV ENGINEERS, LLC
ENGINEERING • SURVEYING • PROJECT MANAGEMENT

CGP2-88-03

Final Revision: August 18, 2003

INDEX

I. INTRODUCTION TO SIERRA RANCH II	1
II. SIERRA RANCH II DEVELOPMENT OBJECTIVES	4
III. EXISTING ENVIRONMENTAL AND SITE CONDITIONS	6
a. EXISTING CONDITIONS ANALYSIS	6
b. HYDROLOGY ANALYSIS	6
IV. DEVELOPMENT CONCEPT	7
a. LAND USE.....	7
i. THE SITE.....	7
ii. RESIDENTIAL	7
iii. OPEN SPACE	7
iv. COMMERCIAL	9
b. RECREATIONAL AMENITIES	9
c. VEHICULAR CIRCULATION	9
d. LANDSCAPE DEVELOPMENT.....	11
e. DEVELOPMENT PHASING.....	11
f. PLATTING REQUIREMENT	12
g. DEVELOPMENT SUMMARY	14
h. STATISTICAL SUMMARY	14
V. DEVELOPMENT STANDARDS.....	17
a. PHASE I and PHASE II MEDIUM DENSITY SINGLE-FAMILY ..	17
b. PHASE III - MEDIUM DENSITY (55') RESIDENTIAL	17
c. PHASE IV - MEDIUM DENSITY (60') RESIDENTIAL	18
d. PHASE V - HIGH DENSITY MULTI-FAMILY	22
VI. ON-SITE SERVICES.....	37
a. PROPERTY OWNERS ASSOCIATION	37
b. ARCHITECTUAL REVIEW COMMITTEE.....	37
c. AMENITIES AND ROADWAYS	38
VII. CONCLUSION	39

INDEX OF EXHIBITS

1. MAP OF STATE OF ARIZONA 2

2. CASA GRANDE AREA MAP 3

3. SITE PLAN 5

4. PHASING PLAN..... 8

5. MINOR AMENDMENT TO THE GENERAL PLAN 13

6. COMMERCIAL SITE 16

7. PHASE ONE, SINGLE FAMILY SITE PLAN..... 19

8. SITE PLAN 20

9. PHASES THREE & FOUR, SINGLE FAMILY SITE PLAN 21

10. PHASE FIVE, MULTI-FAMILY, TOWNHOME..... 23

 A. SITE PLAN..... 24

 B. UNITS A & C, FRONT & UNIT A SIDE ELEVATION..... 25

 C. UNITS A & C, BACK & UNIT C SIDE ELEVATION..... 26

 D. UNITS A & C, FIRST FLOOR PLANS 27

 E. UNIT C, SECOND FLOOR PLAN 28

 F. UNITS C, B & A, FRONT & REAR ELEVATIONS, & UNIT A
 SIDE ELEVATION..... 29

 G. UNITS B & C, SIDE ELEVATIONS 30

 H. UNITS C, B & A, FIRST FLOOR PLANS..... 31

 I. UNITS B & C, SECOND FLOOR PLANS..... 32

 J. UNITS A, B & C, FRONT & REAR ELEVATIONS, & UNIT A
 SIDE ELEVATION..... 33

 K. UNITS B & C, SIDE ELEVATIONS 34

 L. UNITS A, B & C, FIRST FLOOR PLANS..... 35

 M. UNITS B & C, SECOND FLOOR PLANS..... 36

11. THEME WALL DETAIL 40

12. WALL AND MONUMENT EXHIBIT 41

SIERRA RANCH II

MASTER PLANNED COMMUNITY PLANNED AREA DEVELOPMENT

Prepared August 18, 2003

Developed by
GRACE LAND & DEVELOPMENT, LLC

I. INTRODUCTION TO SIERRA RANCH II

Sierra Ranch II is situated in the City of Casa Grande, Pinal County, Arizona, approximately one mile West of Interstate 10 and one-quarter mile South of Florence Boulevard as shown on Exhibit 2. The 106.23 acres project is located on the northwest corner of Henness and Early Roads in Section 27, Township 6 North, Range 6 West of the Gila and Salt River Base and Meridian. Sierra Ranch II is the continued development of Sierra Ranch a project originally developed by Sierra Building Corporation. The original Sierra Ranch was master planned and approved by the Casa Grande City Council in 1987. Parkview at Sierra Ranch and Parkview Unit II, the initial phases of development, were developed shortly thereafter, along with a church site and a park/retention basin located between Doan Street and Sierra Parkway. The balance of the original Sierra Ranch project is now being developed under the name of Sierra Ranch II.

The site was selected for its accessibility to the developing job market in Casa Grande, and the availability of an existing utility and roadway infrastructure. Sierra Ranch II is being engineered by LanDev Engineers, in association with Pittman & Poe, land planners.

Sierra Ranch II proposes a variety of residential dwelling opportunities including Single-Family Units and Town-homes. Commercial Space is also provided. The location of the higher-density residential units maximizes the opportunities to utilize the open space provided by the park/retention basin, while minimizing neighborhood traffic disruptions in Parkview, Units I & II. The Sierra Parkway collector road and the Henness Road minor arterial provide for easy access to Florence Boulevard. As development progresses to the south, land use intensities decrease as single-family lots are utilized. The lots being developed as single-family increase in size from 50 feet wide in Phases One and Two to 55 feet in Phase Three and 60 feet in Phase Four. Within the 6.48 commercial acre site a proposed neighborhood business will serve the convenience needs of the adjacent and surrounding residential areas.

Planned open space, medium density, preservation of environment and quality of architectural design will be hallmarks of Sierra Ranch II. The unique qualities of Sierra Ranch II will be discussed more thoroughly in the following sections of this application.

SIERRA RANCH III

CASA GRANDE, ARIZONA



LOCATION MAP NTS

II. SIERRA RANCH II DEVELOPMENT OBJECTIVES

- A. Create a quality, yet affordable, residential community stimulated by the “vibrant housing market” of the area.
- B. Design a living experience that will attract homebuyers from the local region and throughout the State of Arizona.
- C. Design a land plan that is sympathetic to and fits the land as opposed to altering the site to fit a specific plan.
- D. Utilize innovative design and planning concepts to achieve efficient use of open space, variety in housing opportunities, maximization of the visual resources, preservation of environmental quality and the efficient use of natural and energy resources.
- E. Enhance the employment opportunities and tax base within the project area and the Casa Grande community.
- F. Preserve and enhance the character of the area from an environmental and developmental standpoint, and utilize the existing resources of the area in a manner to set a standard of quality and planning for future development in the area.
- G. Design, construct and operate the development in a manner consistent with the cultural and historical traditions of Casa Grande.

SIERRA RANCH II

Casa Grande, Arizona



*NOTE: ALL STREET NAMES SUBJECT TO APPROVAL OF THE CITY BUILDING DEPARTMENT

- SINGLE FAMILY 50' - 244 LOTS
- SINGLE FAMILY 55' - 37 LOTS
- SINGLE FAMILY 60' - 46 LOTS
- HIGH DENSITY - 144 LOTS
- COMMERCIAL
- PARK & DRAINAGE AREA
- EXISTING CHURCH



EXHIBIT 3	SIERRA RANCH II	LANDEV ENGINEERS, LLC Engineering • Surveying • Project Management
JOB NO. 903	SITE PLAN	744 N. Center Road, Mesa, Arizona 85201 Phone: 480.830.5838 Fax: 480.644.8804

III. EXISTING ENVIRONMENTAL AND SITE CONDITIONS

A. EXISTING CONDITIONS ANALYSIS

Water Service:

Arizona Water Company provides a stable water supply for the City of Casa Grande. Water availability for Sierra Ranch II is serviced to the site by a 12-inch line along Arizola Road that connects to the existing 24-inch water main along Florence Boulevard. Typically, 12-inch water lines are required to be located on section lines and 8-inch lines on mid-section lines. The Developer pays for all construction costs of water line improvements as dictated by the Arizona Corporation Commission. Water plans/reports, meeting the City Engineer's approval, are required prior to final platting and improvement plan approval.

Sewer Service:

Sanitary Sewer Service is available to the site from the City of Casa Grande. Sewer service is provided to the site by a trunk sewer line along Henness Road from the site North to connect to the existing 18-inch trunk sewer line along Henness Road at the intersection with Florence Boulevard. Sewer service is also available in Sierra Parkway in Parkview. Sewer plans/reports, meeting the City engineer's approval, are required prior to final platting and improvement plan approval.

Utility and service providers for Sierra Ranch II will be:

Water:	Arizona Water Company
Sewer:	City of Casa Grande
Gas:	Southwest Gas
Electric:	Arizona Public Service A.P.S.
Phone:	Qwest.
Cable:	Cox Cable
Fire District:	City of Casa Grande
Refuse Removal:	City of Casa Grande

B. HYDROLOGY ANALYSIS

Storm water collection will be addressed in a drainage study, which will outline the specifics regarding how storm water will be collected, and how it will be retained on the project. In general, it will be necessary for the Sierra Ranch II community to provide adequate facilities to retain the increase in runoff generated by the development. This will be done by utilizing small areas within each subdivision as well as larger areas that serve as the backbone green space for the project. Greenbelts will serve to convey water through the community to an existing retention basin located at the northwest corner of the project. Offsite drainage will also be addressed in the drainage study.

The desire to add green space to the Sierra Ranch II community and the need to provide proper drainage of the site, in this case, work together to improve the quality of life within the community. Drainage facilities within the site will be designed to protect the surrounding areas from the increased runoff generated as a result of the development of the property, while also providing open space that is useable by the community. Drainage plans/reports, meeting the City engineer's approval, are required prior to final platting and improvement plan approval.

IV. DEVELOPMENT CONCEPT

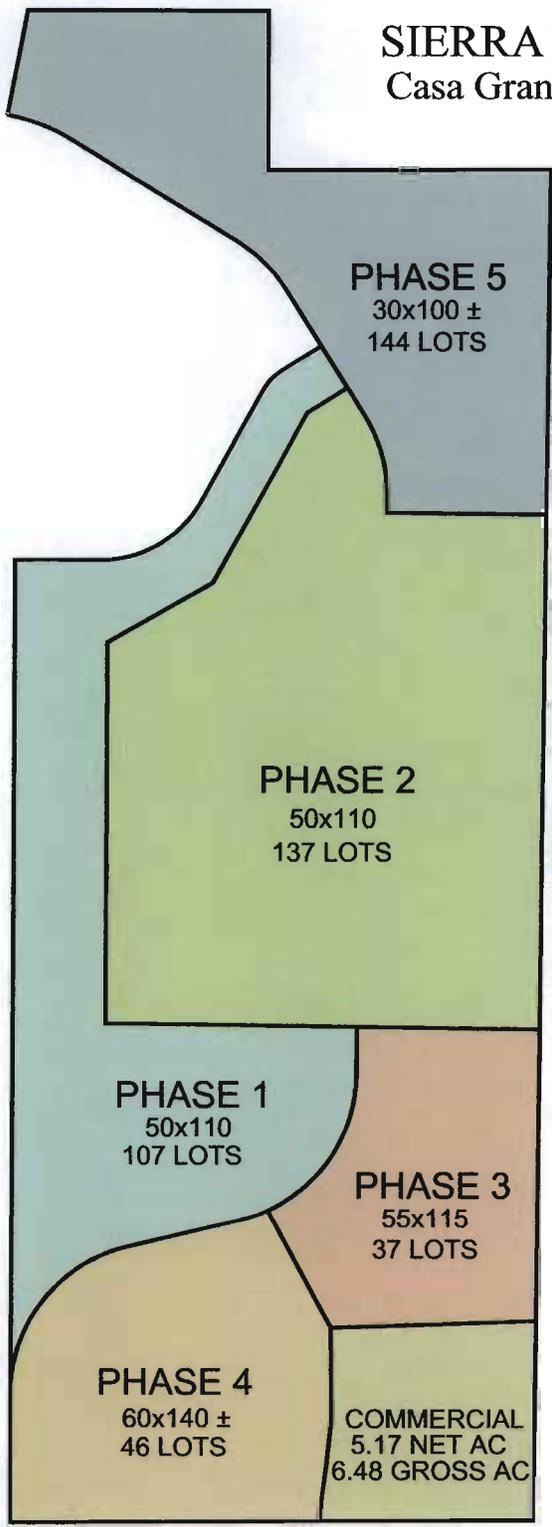
A. LAND USE

1. **The Site:** Sierra Ranch II is a 106.23 acre proposed community development located at the northwest corner of Early Road and Henness Road, approximately one mile west of Interstate 10 (I-10) and three miles east of downtown Casa Grande, Pinal County, Arizona. Exhibit 3 shows the site bounded by Henness Road to the east and Early Road to the south. Both are unimproved future arterial roads. The site is also bounded by Parkview and undeveloped land to the west, and undeveloped commercial land on the north. Sierra Parkway will function as a collector street once it is improved by the builder's/developers of Sierra Ranch II. All interior roads located within the Sierra Ranch II site are also unimproved. Henness and Early Roads are classified as minor arterial roadways and will be improved to the City of Casa Grande Standards to a minimum of 110 foot Right-of-Way upon development of Sierra Ranch II. The Sierra Ranch II builder's/developers will be responsible for a half street improvement on Henness and Early Roads, and full street improvements for all internal streets. Existing land use is agricultural. The land slopes gently to the northwest and the entire site has excellent development possibilities.
2. **Residential:** The Site Plan (Exhibit 4) shows the proposed community is predominately residential with a previously approved maximum of 798 dwelling units. The Sierra Ranch II plan provides 474 residential dwelling units. A variety of recreational opportunities will be available at Sierra Ranch II and will feature walking trails, active open spaces and playgrounds. Careful planning and execution of the development will help fulfill the present and future needs of the plan area. Manufactured homes and factory-built housing shall not be permitted.

Through the utilization of innovative planning techniques, the need for different types of housing can be met while minimizing the effect and impact on the unique natural features that exist on the land today. A diverse range of housing types and lot sizes, with regard to changing lifestyles of today and tomorrow's homebuyer, are being proposed for this community. These housing types, which will encompass a wide spectrum of price range and density, will ultimately reflect the effort that has been exerted to create this harmoniously planned community. The architectural design of buildings will create individuality within a development area while simultaneously maintaining the overall unity of this community. Housing opportunities at Sierra Ranch II will include:

3. **Open Space:** A vital aspect of Sierra Ranch II will be its utilization of natural open space. The open space system is designed to serve as an amenity to the overall development. The area will provide storm water retention, recreational opportunities and aesthetic enhancement for the entire development. The entire projects allocation to open space, both passive and active, will be 19.92 acres. This includes the expansion of the existing retention basin included in the area of the original Sierra Ranch. This will be 13.6% of the total project area.

SIERRA RANCH II
Casa Grande, Arizona



- PHASE 1 - 23.61 ACRES
- PHASE 2 - 33.01 ACRES
- PHASE 3 - 10.19 ACRES
- PHASE 4 - 13.52 ACRES
- PHASE 5 - 19.42 ACRES
- COMMERCIAL - 6.48 ACRES

EXHIBIT 4	SIERRA RANCH II	LANDEV ENGINEERS, LLC Engineering • Surveying • Project Management
JOB NO. 903	PHASING PLAN	744 N. Center Road, Mesa, Arizona 85201 Phone: 480.830.5838 Fax: 480.644.8804

4. Commercial: Retail development of 5.17 net acres is planned for Sierra Ranch II. This parcel will be developed for neighborhood commercial (B-1 equivalent) uses. Any development of this parcel is subject to Major Site Plan approval.

B. RECREATIONAL AMENITIES

Parks/Trails System: Sierra Ranch II features several neighborhood open spaces and a community park. Common facilities will be provided throughout the PAD and each will include such amenities as sand volleyball, tot lots, ramadas, and a pool (phase 5). The park will include low maintenance and active recreation facilities, which will include a large grassed area suitable for a ball field and/or soccer field, a basketball or volleyball court, playground equipment, picnic tables and barbecues. Prior to approval of a final plat of any unit of Sierra Ranch II, a detailed development plan showing all grading, recreational amenities, lighting and ramada improvements for the existing park and Phases two and five must be submitted and approved by the Planning Director.

The park and open spaces will be integrated into the development areas by a trail system. The trail system will provide non-vehicular circulation through the community for various activities such as walking, jogging and bike riding. The park and trail shall be visible from and directly accessible from public roads to discourage loitering, vandalism and the accumulation of debris and to provide visibility for public safety personnel (police and fire). A minimum 10' wide concrete multi-use path will be provided within the linear green belt.

Prior to any development of the site, final wall, signage, landscape, and amenity plans, meeting the approval of the City Planning Director, shall be provided. Decorative perimeter and theme walls are required along with enhanced entryway monument signs and landscaping.

All open areas and landscaping for the site, except for the City Park, shall be maintained by the homeowner's association(s).

All changes to the City Park necessitated by drainage, retention, or other requirements shall be subject to the approval of the City Engineer and Parks and Recreation Director. A landscape plan meeting the approval of the Planning department and Park's and Recreation department and landscaping improvements are required for the park site. The developer's/builder's of Sierra Ranch II shall be responsible for completing the grading and landscaping of the park area.

C. VEHICULAR CIRCULATION

Vehicular circulation to and from Sierra Ranch II will be handled by the Henness-Early arterial roadway system, and one collector roadway, Sierra Parkway. Henness and Earley lead to Florence Boulevard, the arterial road that links the site with downtown Casa Grande.

Earley Road and Henness Road will be designed to transport traffic volumes away from residential areas within Sierra Ranch II. Internal local roadways will be designed to accommodate many access points to carry low volumes at low speed. The local streets

will transport traffic to collector and arterial systems where a reduction of access points combined with higher volumes and traffic speeds can adequately serve Sierra Ranch II.

Pedestrian circulation will involve sidewalks and the concrete multi-use path.

The street system will stress a curvilinear approach. Curvilinear streets have several distinct advantages when employed in any residential development, regardless of size. Safety is another very important reason for the use of a curvilinear road system. In addition to creating a more scenic drive through the development, this type of road design minimizes traffic speeds, thus making it safer for drivers and pedestrians alike. All Streets within the street system for Sierra Ranch II will meet or exceed Casa Grande Standards.

The Sierra Ranch II development, located in the City of Casa Grande, is proposed as 474 dwelling units. It has been designed using Sierra Parkway as the north/south major collector with the addition of Century Road and Doan Street for east/west access. The surrounding arterial street network will provide access to and from the development. These travel ways include Florence Boulevard, Earley Road, Peart Road, Arizola Road, and Henness Road.

The average daily traffic, AM peak hour, and PM peak hour volumes for the development have been estimated by trip rates given in the Institute of Transportation Engineers (ITE) Trip Generation, 6th Edition. Sierra Ranch II will produce 4,756 total trips per day. The results of the peak hour trip generation indicate that 373 trips will present in the AM peak hour, 93 inbound and 280 outbound. Another 502 trips will be present in the PM peak hour with 321 trips inbound and 181 trips outbound.

The Sierra Ranch II development consists of three land uses, single family residential, multi-family residential and commercial. A preliminary trip distribution pattern was assumed for this memo. A majority of the trips were assigned to Sierra Parkway, which serves as the primary spine for the development and provides both northbound and southbound trips. Both Century Road and Doan road on the eastern side of the development provide access to Henness Road, which will serve as a major collector/minor arterial for this development. Results of the trip distribution are presented below.

Table A - Preliminary Trip Distribution

Site Access	Distribution (%)	AM Peak Hour		PM Peak Hour	
		In	Out	In	Out
Sierra Parkway North	30%	28	84	96	54
Sierra Parkway South	30%	28	84	96	54
Century Road East	15%	14	42	48	27
Century Road West	5%	5	14	16	9
Doan Street East	15%	14	42	48	27
Doan Street West	5%	5	14	16	9

With slightly over 500 trips generated in the PM peak hour (502), this development could classify as either a Category I or Category II traffic study area. If required, a traffic impact analysis for this subdivision will be prepared to City of Casa Grande requirements. City staff should consider both the size and location of the proposed Sierra Ranch II development when determining the study area requirements.

Analysis should be conducted at site access points to determine the appropriate lane configuration to achieve acceptable levels of service for both the major and minor streets. Analysis should account for the background traffic, site generated traffic, and the total traffic. Background traffic should be projected, using a reasonable growth rate for the area, to the build out or horizon year as determined by the City of Casa Grande staff. It is anticipated the site will operate acceptably at full build out.

All internal (full street) and adjacent (half street) roadways shall be designed and built by the builders/developers of Sierra Ranch II to City standards.

Deceleration lanes shall be provided for all entrances from Hennes and Early Roads.

A traffic report, meeting the City engineer's approval, is required prior to final platting and improvement plan approval.

D. LANDSCAPE DEVELOPMENT

The landscaping concept is intended to achieve unity throughout the Sierra Ranch II development as well as provide an attractive view of the project from surrounding roadways and neighborhoods. The main entries are to be landscaped with trees, berms, plant materials, native boulders, and outdoor lighting in order to create a dramatic image in the true form of Sierra Ranch II.

The landscaping used at Sierra Ranch II will be sensitive to the environment by incorporating xeriscaping techniques and indigenous plant materials providing for efficient use of irrigation water. All common landscaped areas including entry medians, cul-de-sac and eyebrow islands are to be installed by the developer and maintained by the Property Owners Association. Individual lot landscaping requirements are to be delineated in The Sierra Ranch II Protective Covenants for each development area at the time of platting. Final landscape plans, meeting the Planning Directors approval, are required prior to the approval of any final plats or development.

The homebuilder shall install front yard landscaping within 90 days of closing. Front yard landscape shall include a minimum of two 15 gallon trees, six five gallon shrubs or accent plants, and four ground cover plants, plus an automatic irrigation system and granite rock ground cover for each lot. Front yard landscape requirements may be modified by submitting a specific landscaping plan to the Planning Director for review and approval.

E. DEVELOPMENT PHASING

Sierra Ranch II is proposed as a five-phase development as shown on Exhibit 5 with each phase commencing approximately every twelve months. The commercial portion is not assigned as a phase and will be developed as the market conditions demand. Market and economic conditions will also ultimately determine the appropriate start date for each phase.

One of the first considerations in determining what parcels come on line first concerns the location of the utilities and the extension of service lines. Another consideration in

determining what areas will be included in a particular phase is the available product type. We want to have a diverse range of housing product types in each phase.

All infrastructure shall be provided to the site by the developers/builders of Sierra Ranch II in accordance with civil engineering plans reviewed and approved by the City Engineer. Any new utilities or any relocated utilities for the site shall be placed underground.

What follows is a summary of each phase with respect to land uses, parcel areas and dwelling unit counts:

Commercial:

- Shops & Office 6.48 acres

PHASE I

Residential:

- Medium Density Homesites 23.61 acres 107 DU

PHASE II

Residential:

- Medium Density Homesites 33.01 acres 37 DU

PHASE III

Residential:

- Medium Density Homesites 10.19 acres 46 DU

PHASE VI

Residential:

- Medium Density Homesites 13.52 acres 137 DU

PHASE V

Residential:

- High Density Homesites 19.42 acres 144 DU

Total

106.23 acres 471 DU

Infrastructure, including but not limited to roadways, sewer facilities, and phasing plans require the review and approval of the City Engineer. The City Engineer may require the off-site extension of Henness Road from the North end of this site to Florence Boulevard. Phase numbers have no bearing on construction timing and will likely be modified prior to final plat to better reflect the construction scheduling. Final phasing plans are subject to the review and approval of the City Engineer and the City Planning Director.

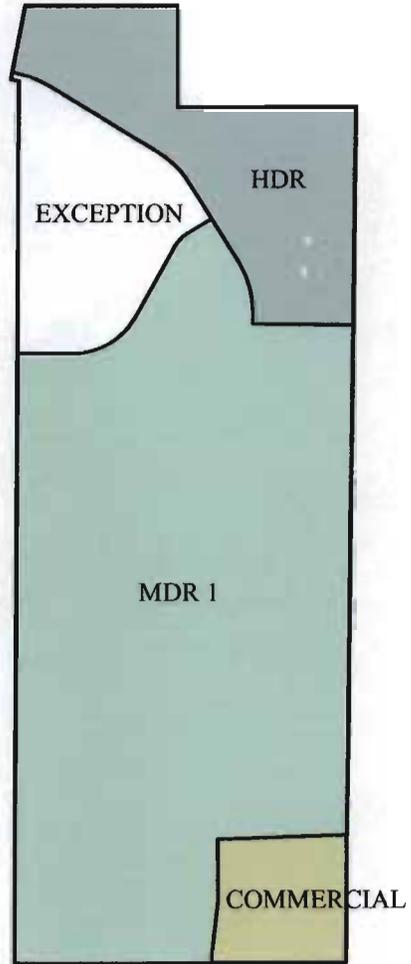
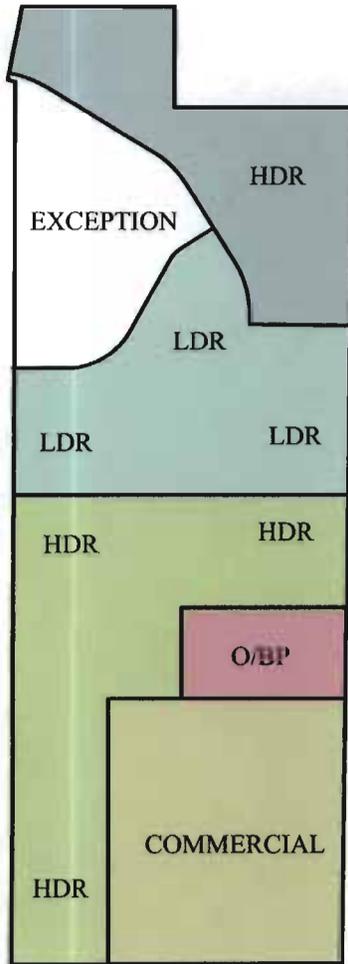
F. PLATTING REQUIREMENT

The development of Sierra Ranch II will require a Minor General Plan Amendment as shown on Exhibit 5. Exhibit 5 shows the existing General Plan Land Use prior to January 2003 and the approved Minor Amendment to the General Plan as approved in January 2003. No further changes are being requested at this time. No building permit shall be issued until the property has been included within a subdivision plat submitted to and approved by the City of Casa Grande Planning Commission and the Casa Grande City Council and duly filed of record, provided however, that development areas may be platted separately. Restrictive covenants shall be established implementing of record the development and development standards.

CITY OF CASA GRANDE GENERAL PLAN

PREVIOUS

CURRENT



APPROXIMATE ACREAGE

LDR 33 AC.
HDR 48 AC.
COMM 20 AC.
O/BP 5 AC.

APPROXIMATE ACREAGE

MDR1 81 AC.
HDR 19 AC.
COMM 6 AC.

EXHIBIT 5	SIERRA RANCH II	LANDEV ENGINEERS, LLC Engineering • Surveying • Project Management
JOB NO. 903	MINOR AMENDMENT TO GENERAL PLAN	744 N. Center Road, Mesa, Arizona 85201 Phone: 480.830.5838 Fax: 480.644.8804

G. DEVELOPMENT SUMMARY

The Community Guidelines for Sierra Ranch II utilize two main objectives in its development philosophy. First, to analyze all of the on-site and surrounding natural features that play an effective role in the planning and design of this development including:

1. Topography
2. Drainage
3. Vegetation
4. Existing and future streets and utilities
5. On-site views
6. Environmentally sensitive areas
7. Wildlife

Very little existing natural features exist within the project area. Existing drainage features have been retained while new features are being proposed for the enjoyment of the community. Diverse recreational needs have been a high priority for this development providing such amenities as parks, trails, swim clubs, and open spaces.

The second objective was to apply the findings in the physical site analysis to designing this community. It was the primary goal to design a land plan that fits the land as opposed to altering a site to fit a specific plan. We feel using this concept will protect many of the natural features of the site and allow the site to be enjoyed by future residents of Sierra Ranch II and surrounding communities.

H. STATISTICAL SUMMARY

Original Sierra Ranch Planned Area Summary

<u>Lot</u>	<u>Land Use</u>	<u>Gross</u>	<u>D.U./A.C.</u>	<u>D.U.</u>
		Acres		
3	Multi-Family 1	6.739	12.02	81
4	Multi-Family 1	12.156	12.50	152
7	Single Family 1	7.835	4.34	34
8	Single Family 1	21.087	4.32	91
9	Single Family 2	14.662	6.27	92
10	Multi-Family 2	6.250	17.92	112
11	Multi-Family 2	5.039	17.46	88
12	Multi-Family 2	3.690	15.72	58
13	Professional Office	4.298	....	....
14	Commercial	16.215	....	....
15	Multi-Family 2	4.975	18.09	90
	Roadways	3.27	....	....
		106.23	7.75	798

Current Sierra Ranch II Planned Area Summary

<u>Phase</u>	<u>Land Use</u>	<u>Gross</u> <u>Acres</u>	<u>D.U./A.C.</u>	<u>D.U.</u>
1	Single Family (50')	21.24	4.95	105
2	Single Family (Twin)	35.39	4.86	172
3	Single Family (55')	10.19	3.52	36
4	Single Family (60')	13.52	3.33	45
5	Multi-Family 1	19.41	7.26	141
6	Commercial	6.48	....	....
		<hr/>		
		106.23	4.70	499

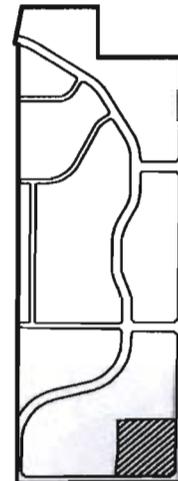
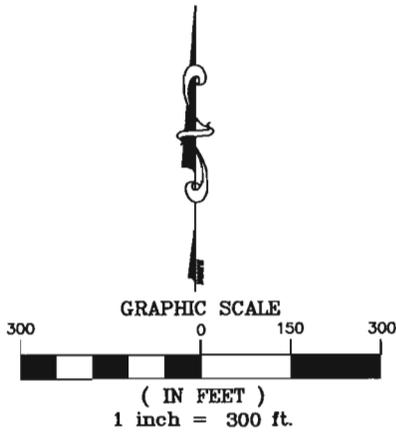
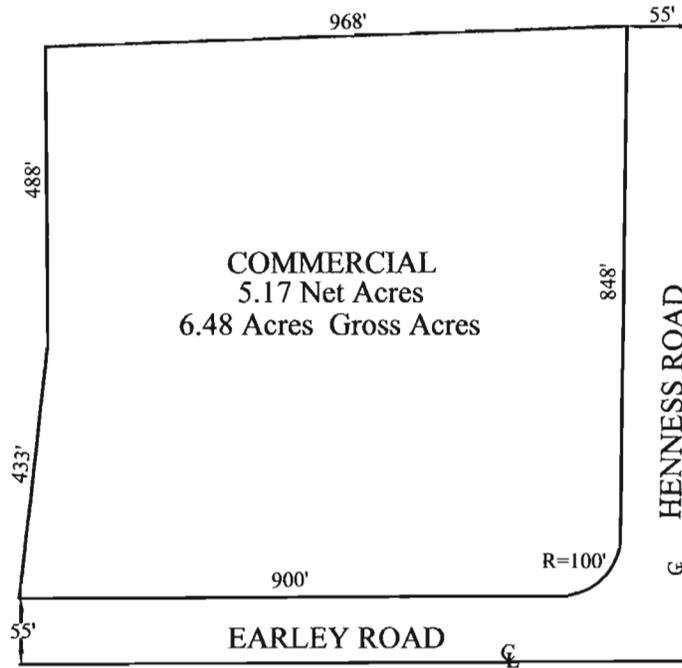
Total Residential Development Area

Proposed Sierra Ranch II Planned Area Summary

<u>Phase</u>	<u>Land Use</u>	<u>Gross</u> <u>Acres</u>	<u>D.U./A.C.</u>	<u>D.U.</u>
1	Single Family (50')	23.61	4.53	107
2	Single Family (50')	33.01	4.15	137
3	Single Family (55')	10.19	3.63	37
4	Single Family (60')	13.52	3.40	46
5	Multi-Family 1	19.42	7.42	144
6	Commercial	6.48	....	....
		<hr/>		
		106.23	4.43	471

Total Residential Development Area

COMMERCIAL



KEY MAP

EXHIBIT 6	SIERRA RANCH II	LANDEV ENGINEERS, LLC Engineering • Surveying • Project Management 744 N. Center Road, Mesa, Arizona 85201 Phone: 480.830.5838 Fax: 480.644.8804
JOB NO. 903	SITE PLAN	

V. DEVELOPMENT STANDARDS

A. Phase I and Phase II Medium density (50') parcels: Single-family detached structures intended for individual lot ownership.

- Permitted Uses	Single-family residential
- Minimum Lot Size	5,500 sq.ft.
- Maximum Building Height	28 ft.
- Minimum Front Yard if Abutting	20 ft. from public ROW/ property line
- Minimum Lot Width*	50 ft.
- Minimum Rear Yard	20 ft.
- Minimum Side Yards	5/10 ft., total 15 ft.
- Corner Lot Minimum Side Yard Abutting Public/Private Street	20 ft. from public ROW/ property line

* Cul-de-sac, wedged shaped and flag lots may have a less than minimum width measured at the lot line, however, the minimum lot width is to be required at the setback line.

Other Requirements: It is intended that a preliminary and final plat will be submitted for the residential development areas that are consistent with the concepts and development standards set forth above. The City of Casa Grande Planning and Zoning Commission, and Casa Grande City Council pursuant to their review may establish additional requirements or modifications.

B. Phase III - Medium Density (55') Residential: Single-family detached structures intended for individual lot ownership.

- Permitted Uses	Single-family residential
- Minimum Lot Size	6325 sq.ft.
- Maximum Building Height	28 ft.
- Minimum Front Yard if Abutting	20 ft. from public ROW/property line
- Minimum Lot Width*	55 ft.
- Minimum Rear Yard	20 ft.
- Minimum Side Yards	5/10 ft., total 15 ft.
- Corner Lot Minimum Side Yard	15 ft. from public ROW/property line

* Cul-de-sac, wedged shaped and flag lots may have a less than minimum width measured at the lot line, however, the minimum lot width is to be required at the setback line.

Other Requirements: It is intended that a preliminary and final plat will be submitted for the residential development areas that are consistent with the concepts and development standards set forth above. The City of Casa Grande Planning and Zoning Commission, and Casa Grande City Council pursuant to their review may establish additional requirements or modifications.

C. **Phase IV - Medium Density (60') Residential:** Single-family detached structures intended for individual lot ownership.

- Permitted Uses	Single-family residential
- Minimum Lot Size	6900 sq.ft.
- Maximum Building Height	28 ft.
- Minimum Front Yard if Abutting	20 ft. from public ROW/property line
- Minimum Lot Width*	60 ft.
- Minimum Rear Yard	20 ft.
- Minimum Side Yards	5/10 ft., total 15 ft.
- Corner Lot Minimum Side Yard	15 ft. from ROW/ property line

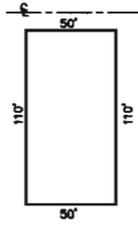
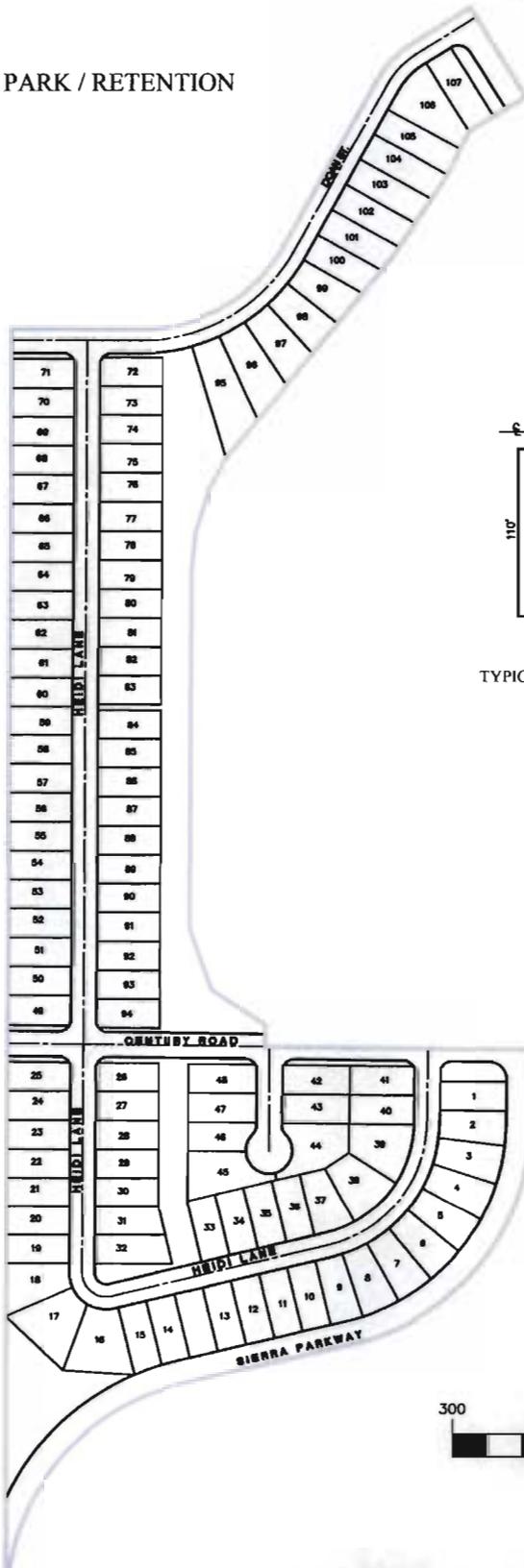
* Cul-de-sac, wedged shaped and flag lots may have a less than minimum width measured at the lot line, however, the minimum lot width is to be required at the setback line.

Other Requirements: It is intended that a preliminary and final plat will be submitted for the residential development areas that are consistent with the concepts and development standards set forth above. The City of Casa Grande Planning and Zoning Commission, and Casa Grande Casa Grande Council pursuant to their review may establish additional requirements or modifications.

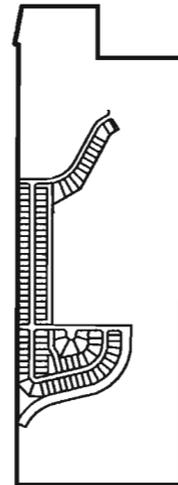
PARK / RETENTION

PHASE ONE SINGLE FAMILY 1

107 LOTS



TYPICAL LOT DETAIL



KEY MAP

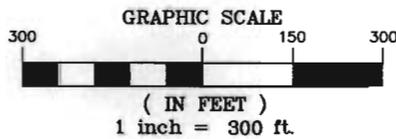


EXHIBIT
7

SIERRA RANCH II

JOB NO.
903

SITE PLAN

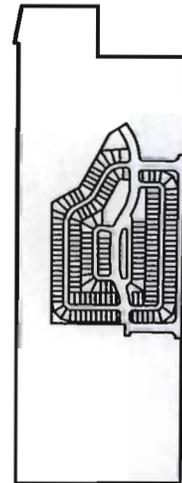
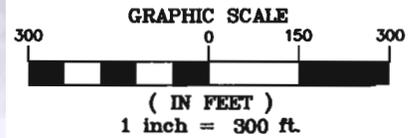
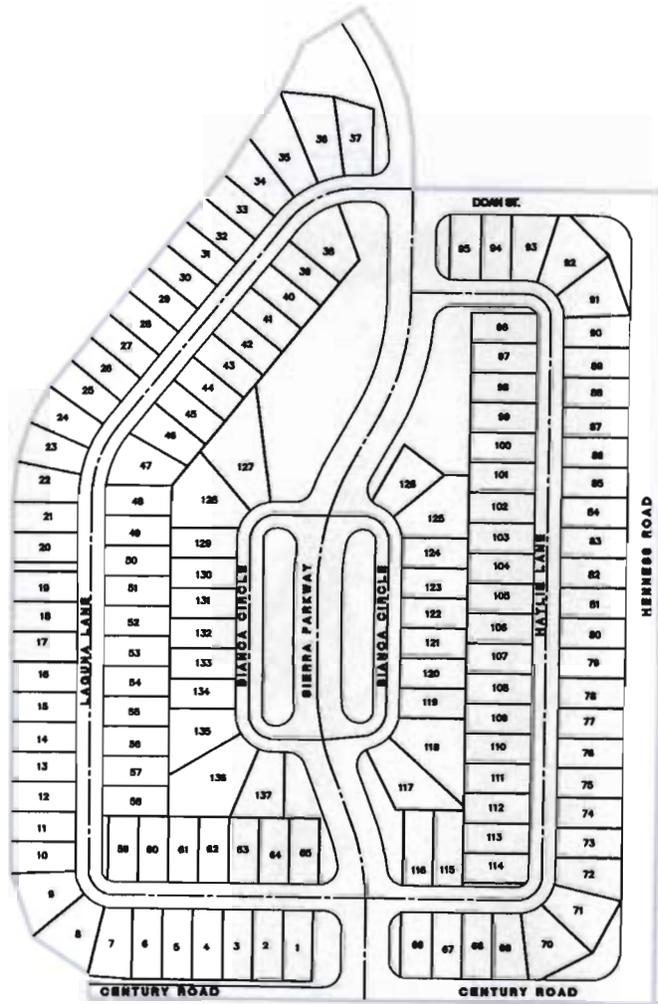
LANDEV ENGINEERS, LLC

Engineering • Surveying • Project Management

744 N. Center Road, Mesa, Arizona 85201
Phone: 480.830.5838 Fax: 480.644.8804

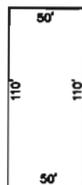
PHASE TWO SINGLE FAMILY 2

137 LOTS



KEY MAP

5' - - - - -



TYPICAL LOT DETAIL
137 LOTS

EXHIBIT 8	SIERRA RANCH II	LANDEV ENGINEERS, LLC Engineering • Surveying • Project Management 744 N. Center Road, Mesa, Arizona 85201 Phone: 480.830.5838 Fax: 480.644.8804
JOB NO. 903	SITE PLAN	

PHASE THREE & FOUR SINGLE FAMILY 1

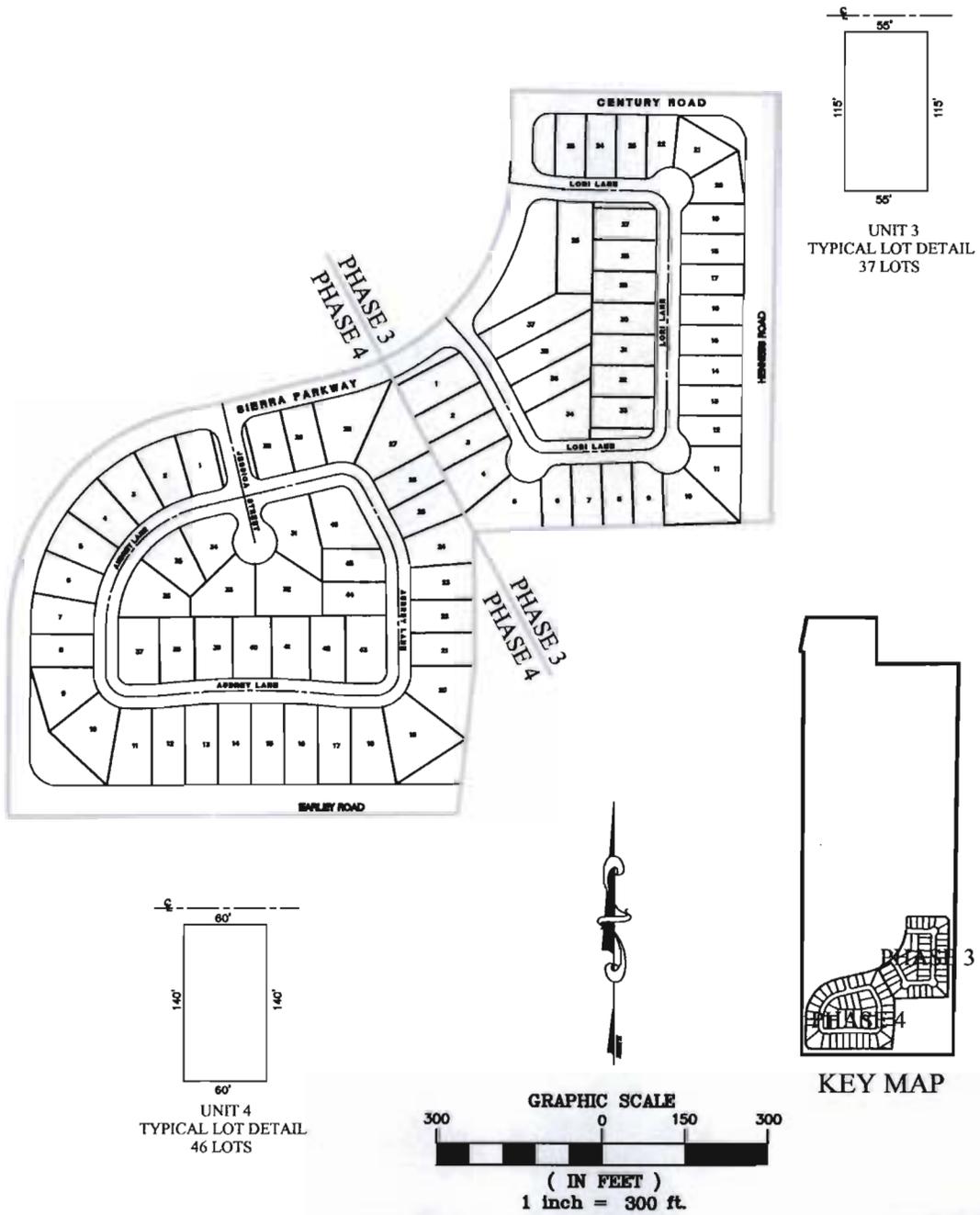


EXHIBIT 9	SIERRA RANCH II	LANDEV ENGINEERS, LLC Engineering • Surveying • Project Management 744 N. Center Road, Mesa, Arizona 85201 Phone: 480.830.5838 Fax: 480.644.8804
JOB NO. 903	SITE PLAN	

D. **Phase V - High Density Multi-family:** Multi-family attached town home structures intended for individual lot ownership.

- Permitted Uses	Multi-family attached residential
- Minimum Lot Size	2,500 sq. ft.
- Maximum Building Height	28 ft.
- Minimum Front Yard if Abutting Street	20 ft. from public ROW/property line
- Minimum Lot Width*	30 ft.
- Minimum Rear Yard	20 ft.
- Minimum Side Yards of Buildings	0/10 ft.
- Minimum Separation Between Buildings	20 ft.
- Maximum Number of Attached D/U	8

* Cul-de-sac, wedged shaped and flag lots may have a less than minimum width measured at the lot line, however, the minimum lot width is to be required at the setback line.

Other Requirements: It is intended that a preliminary and final plat will be submitted for the residential development areas that are consistent with the concepts and development standards set forth above. Master lighting, signage, paving, wall and landscape plans shall be submitted for approval by the Planning Director prior to recording of the initial final plat. All water lines shall be looped by phase, with no dead-end lines being permitted. The City of Casa Grande Planning and Zoning Commission, and Casa Grande City Council pursuant to their review may establish additional requirements or modifications.

The 144 lot town home area shall be subject to further minor site plan review in regards to, among other things, open space landscaping, open space amenities, circulation, parking, and lighting. A tot lot, ramada and swimming pool are required for the town home area.

PHASE FIVE MULTI - FAMILY

144 LOTS

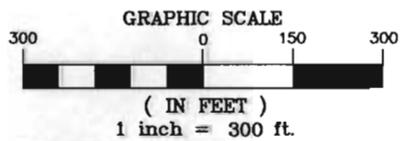
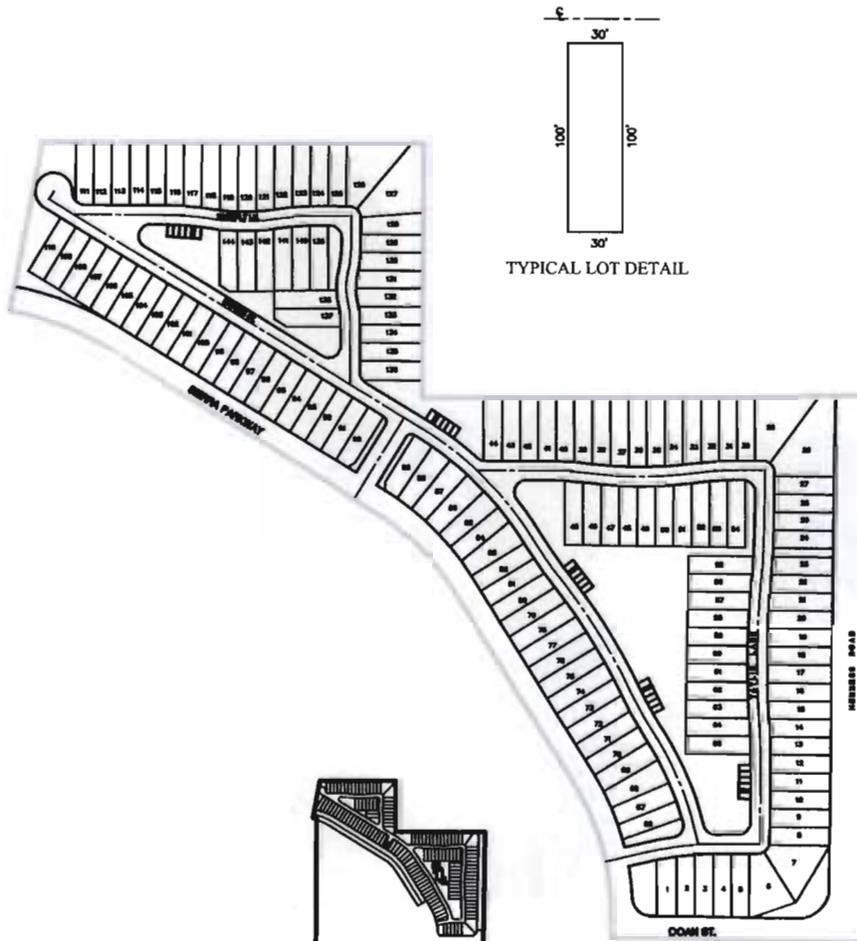
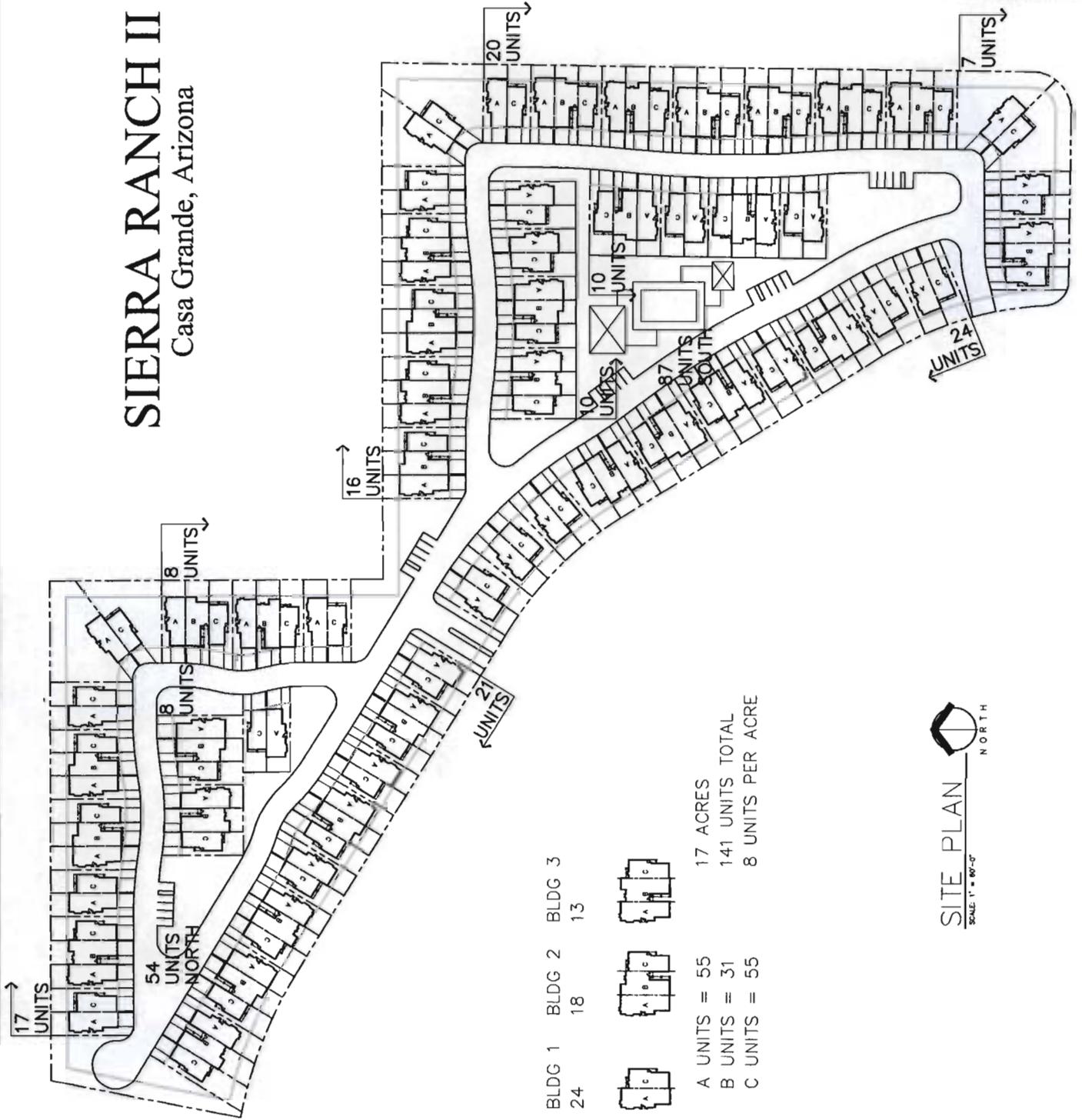


EXHIBIT 10	SIERRA RANCH II	LANDEV ENGINEERS, LLC Engineering • Surveying • Project Management
JOB NO. 903	SITE PLAN	744 N. Center Road, Mesa, Arizona 85201 Phone: 480.830.5838 Fax: 480.644.8804

SIERRA RANCH II

Casa Grande, Arizona



BLDG 1 24 UNITS
 BLDG 2 18 UNITS
 BLDG 3 13 UNITS



A UNITS = 55
 B UNITS = 31
 C UNITS = 55

17 ACRES
 141 UNITS TOTAL
 8 UNITS PER ACRE



SIERRA RANCH II
 10 A
 SHEET TITLE
 SITE PLAN

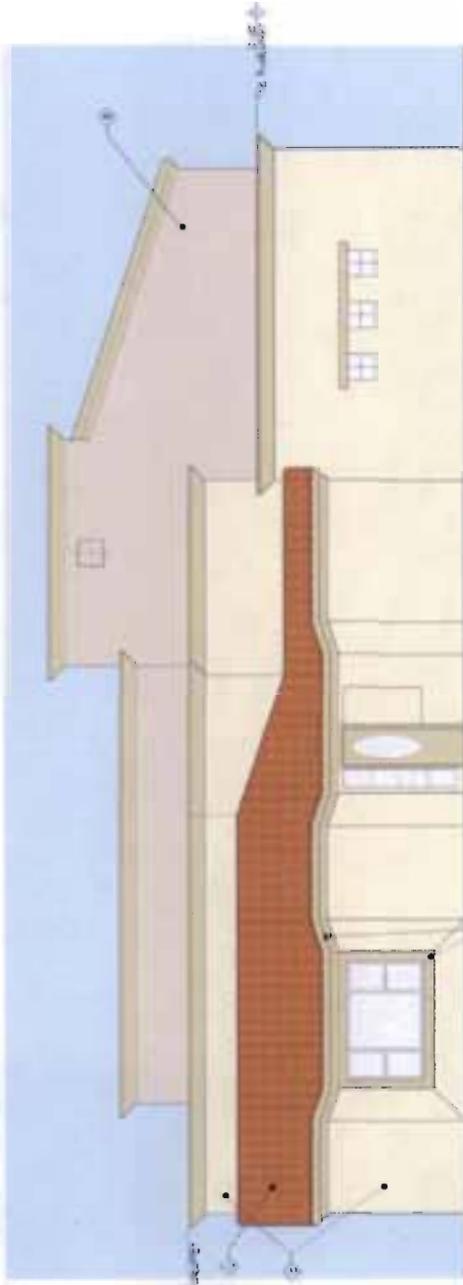
SIERRA RANCH TOWNHOMES
 CASA GRANDE, ARIZONA

DATE 11/9/02
 PROJECT 1002321 URB/VORT/20
 ARCHITECTS, INC.
 48 W. High Street
 Suite 202
 Casa Grande, AZ 85201
 Tel: (480) 855-0633
 Fax: (480) 855-0632
 SCALE
 PRELIMINARY
 NOT FOR
 CONSTRUCTION
 OR RECORDING
 SHEET NUMBER
 10 A
 SHEET TITLE
 SITE PLAN



FRONT ELEVATION
SCALE: 1/4" = 1'-0"
BUILDING #1

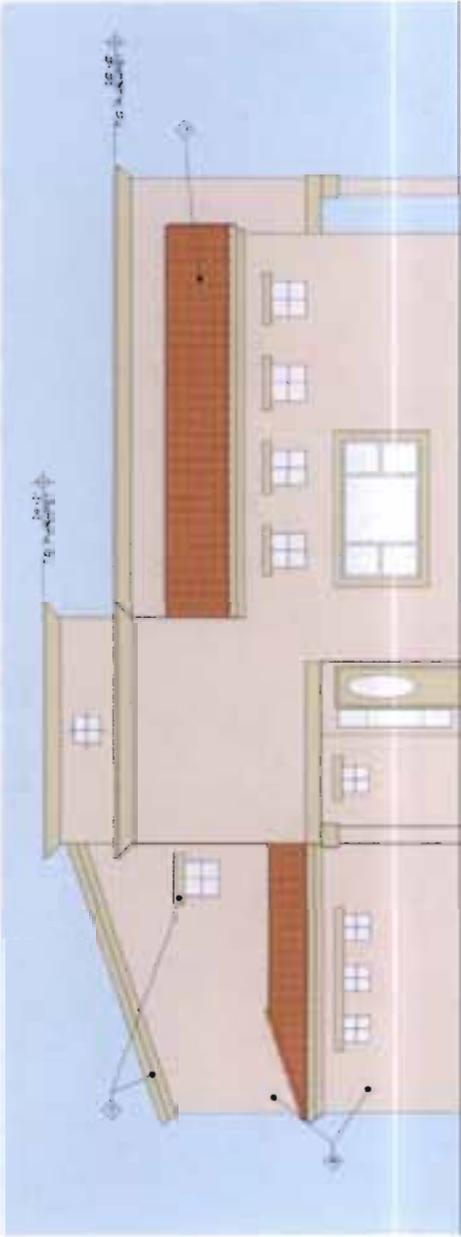
A C



UNIT A SIDE ELEVATION
SCALE: 1/4" = 1'-0"
BUILDING #1

**SIERRA RANCH TOWNHOMES
CASA GRANDE, ARIZONA**

Saemisch • Di Bella • Architects, Inc.



C UNIT ELEVATION

SCALE: 1/4" = 1'-0"

BUILDING #1



BACK ELEVATION

SCALE: 1/4" = 1'-0"

BUILDING #1

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
 4. MATERIALS AND METHODS TO BE AS SHOWN ON THE DRAWINGS.
 5. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 7. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL, ELECTRICAL AND PLUMBING (M.E.P.) CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 8. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 9. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 10. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND ALARM CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 11. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
 12. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL GREEN BUILDING STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
 13. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
 14. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WELLNESS STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.
 15. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL QUALITY STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES.

**SIERRA RANCH TOWNHOMES
CASA GRANDE, ARIZONA**

Saemjisch • Di Bella • Architects, Inc.

SIERRA RANCH TOWNHOMES
CASA GRANDE, ARIZONA

Squademisch • Architects • D. Bellia Architects, Inc.

JOB NUMBER
033Z

DRAWING
033Z UMB V-1-1

DATE
11/09/02

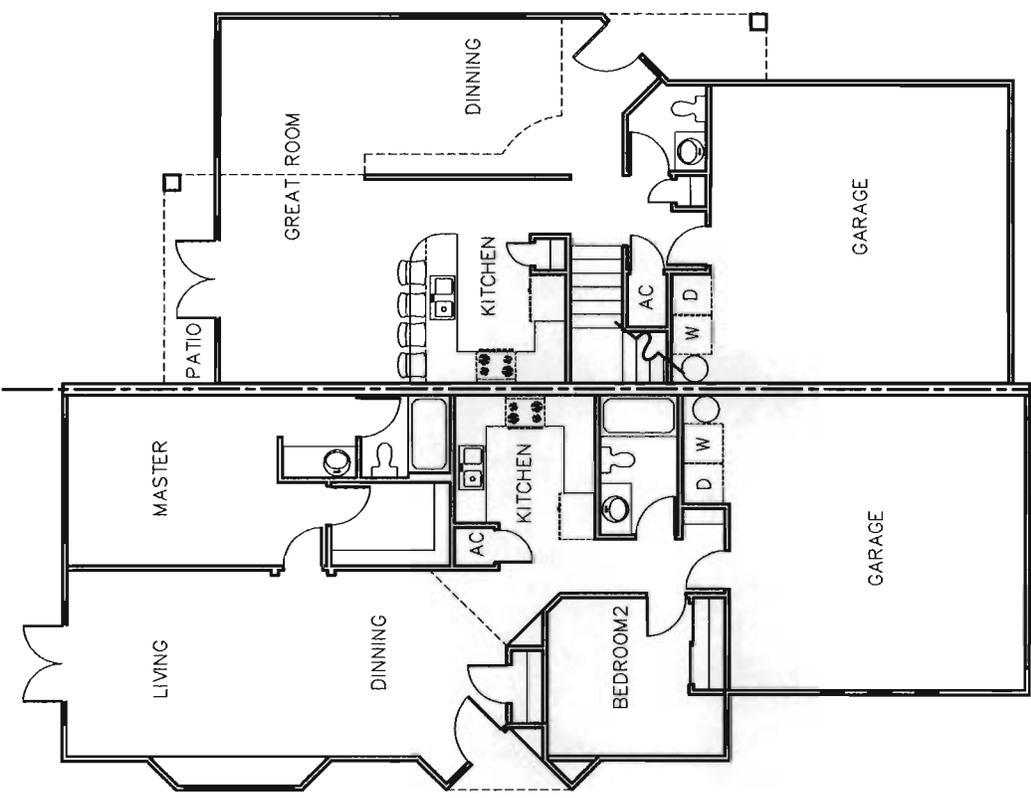
48 W. Main Street
Tempe, Arizona 85201
Tel: (480) 835-0332
Fax: (480) 835-0332
SEAL

PRELIMINARY
NOT FOR
CONSTRUCTION
OR RECORDING

SHEET NUMBER
10 D

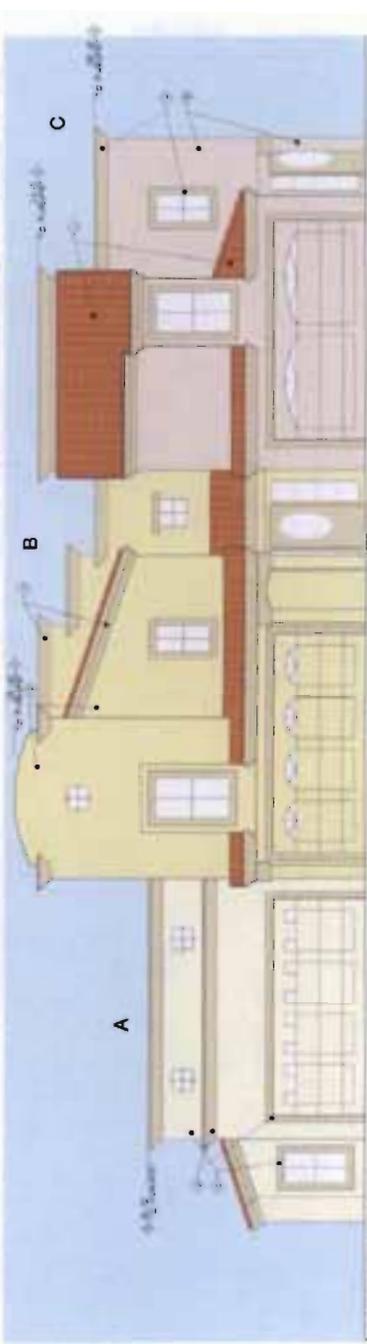
SHEET TITLE
BUILDING
1st FLOOR PLAN

THIS DRAWING IS THE PROPERTY OF SQUADEMISCH ARCHITECTS AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SQUADEMISCH ARCHITECTS. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING AGREES TO HOLD SQUADEMISCH ARCHITECTS HARMLESS FROM AND AGAINST ALL LIABILITY, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY SQUADEMISCH ARCHITECTS AS A RESULT OF SUCH UNAUTHORIZED USE. THIS DRAWING IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY INTENDED BY SQUADEMISCH ARCHITECTS. THE USER OF THIS DRAWING AGREES TO HOLD SQUADEMISCH ARCHITECTS HARMLESS FROM AND AGAINST ALL LIABILITY, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY SQUADEMISCH ARCHITECTS AS A RESULT OF SUCH UNAUTHORIZED USE.



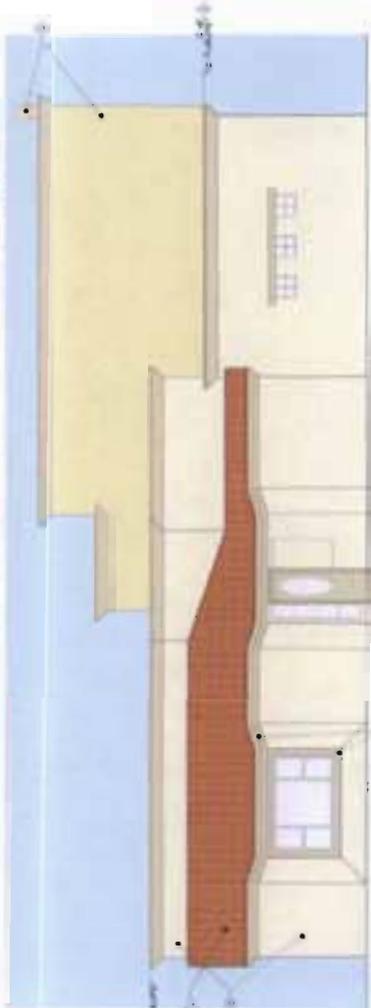
1st FLOOR A 999 SF
SCALE: 1/4" = 1'-0"
BUILDING #1

1st FLOOR C 724 SF
SCALE: 1/4" = 1'-0"
TOTAL: 1,547 SF
BUILDING #1

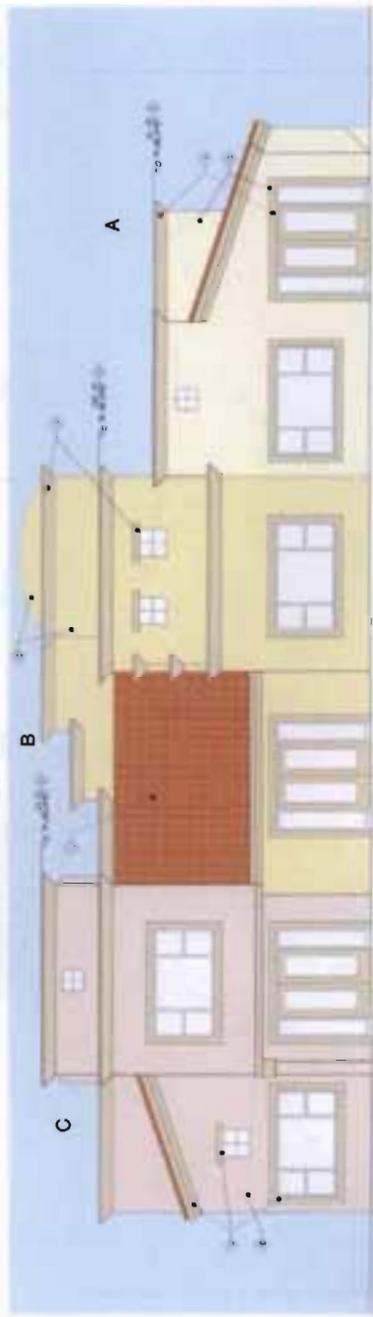


FRONT ELEVATION
 SCALE: 1/4" = 1'-0"
BUILDING #2

© 2010 SAEMJSCH • Di Bella Architects, Inc.
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM SAEMJSCH • Di Bella Architects, Inc.
 1000 N. CENTRAL AVENUE, SUITE 1000, DENVER, CO 80202
 TEL: 303.733.8888 FAX: 303.733.8889
 WWW.SAEMJSCH.COM



UNIT A SIDE ELEVATION
 SCALE: 1/4" = 1'-0"
BUILDING #2



BACK ELEVATION
 SCALE: 1/4" = 1'-0"
BUILDING #2

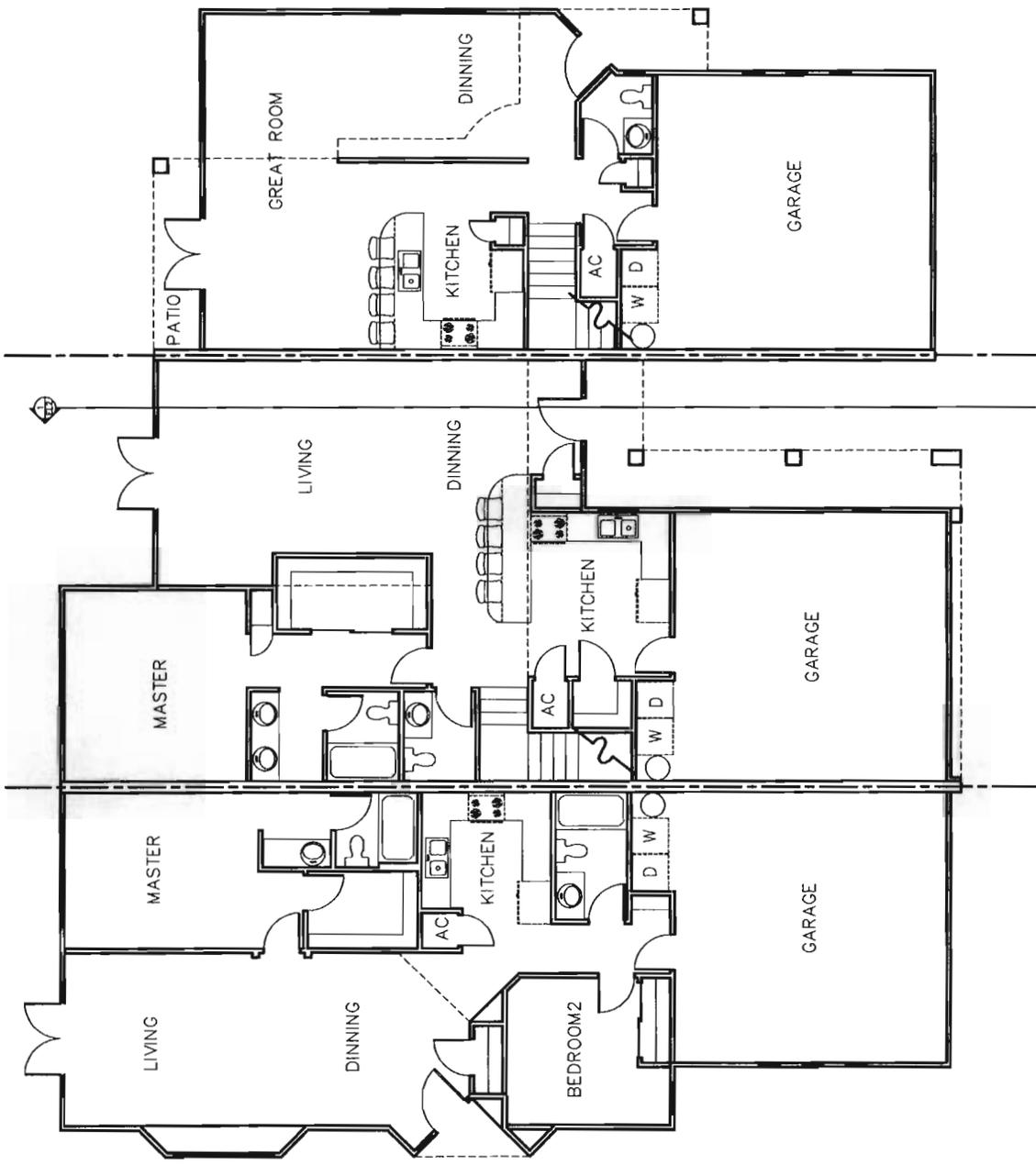
SIERRA RANCH TOWNHOMES
CASA GRANDE, ARIZONA

SAEMJSCH • Di Bella Architects, Inc.

SIERRA RANCH TOWNHOMES
CASA GRANDE, ARIZONA

Sierra Homes, Inc.
Architects, Inc.
D. J. Bello
11/06/02
JOB NUMBER 0231
DRAWING # 0232 V2-1
DATE 11/06/02
54 N. High Street
Suite 200
Mesa, Arizona 85201
Tel: (480) 945-3032
Fax: (480) 945-3032
SEAL
PRELIMINARY
CONSTRUCTION
OF RECORDING
SHEET NUMBER
10 H
BUILDING 2
1ST FLOOR PLAN

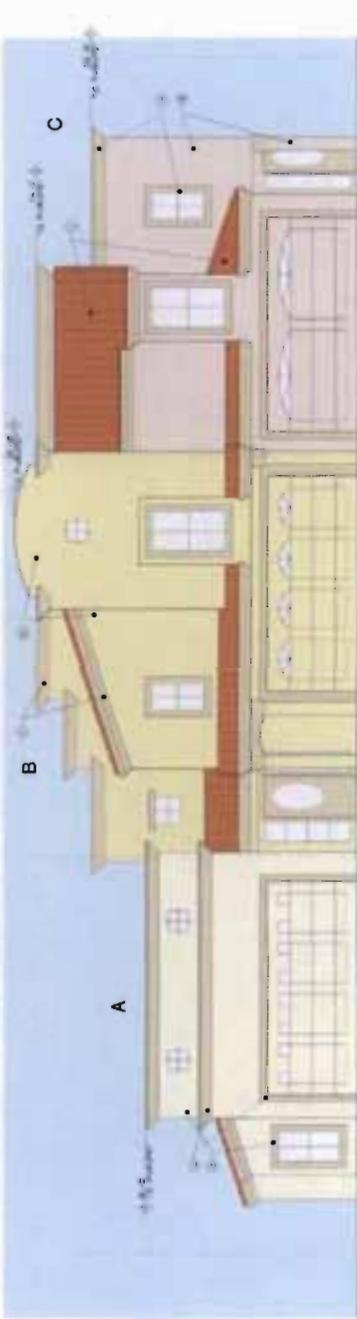
1st FLOOR A 999 SF
SCALE: 1/4" = 1'-0"
TOTAL : 1,777 SF



1st FLOOR B 1,091 SF
SCALE: 1/4" = 1'-0"
TOTAL : 1,777 SF

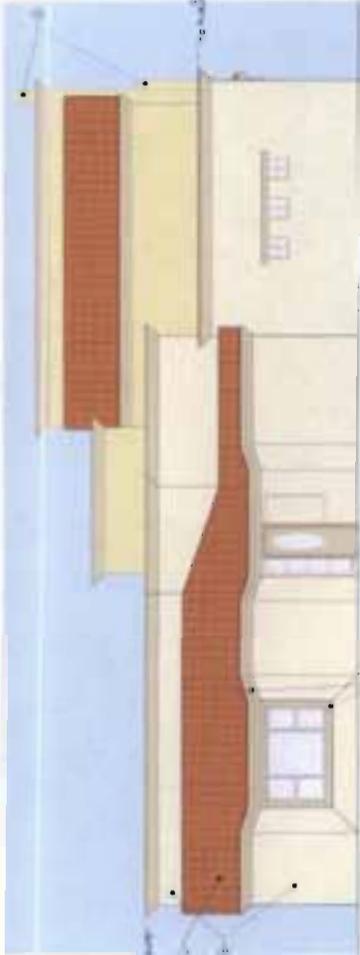
1st FLOOR C 724 SF
SCALE: 1/4" = 1'-0"
TOTAL: 1,547 SF

1st FLOOR A 999 SF
SCALE: 1/4" = 1'-0"
TOTAL : 1,777 SF
BUILDING #2



FRONT ELEVATION
SCALE: 1/4" = 1'-0"
BUILDING #3

- 1. SEE PLAN FOR WINDOW SIZES
- 2. SEE PLAN FOR DOOR SIZES
- 3. SEE PLAN FOR ROOF SLOPE
- 4. SEE PLAN FOR BALCONY RAILING
- 5. SEE PLAN FOR LIGHT FIXTURES
- 6. SEE PLAN FOR LANDSCAPE
- 7. SEE PLAN FOR SIGNAGE
- 8. SEE PLAN FOR UTILITY
- 9. SEE PLAN FOR ELECTRICAL
- 10. SEE PLAN FOR MECHANICAL
- 11. SEE PLAN FOR PLUMBING
- 12. SEE PLAN FOR FINISHES



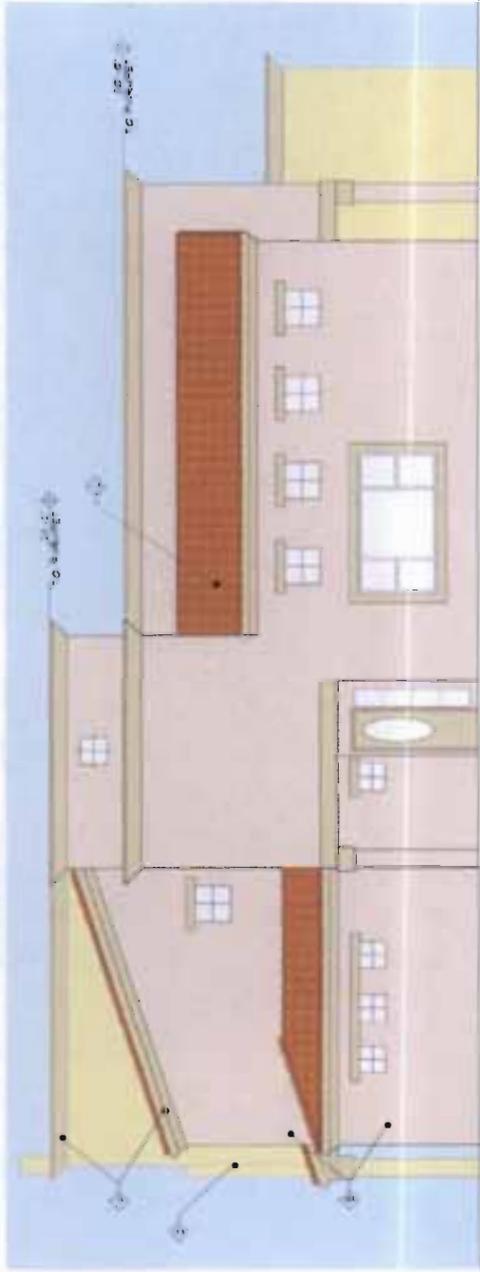
UNIT A SIDE ELEVATION
SCALE: 1/4" = 1'-0"
BUILDING #3



BACK ELEVATION
SCALE: 1/4" = 1'-0"
BUILDING #3

SIERRA RANCH TOWNHOMES
CASA GRANDE, ARIZONA

Saemjisch • Di Bella • Architects, Inc.



C UNIT ELEVATION
 SCALE: 1/4" = 1'-0"
 BUILDING #3

SECTION NOTES:
 1. ALL MATERIALS TO BE AS SHOWN UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE AS SHOWN UNLESS NOTED OTHERWISE.
 3. SEE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND FINISHES.
 4. SEE ARCHITECT'S SPECIFICATIONS FOR CONSTRUCTION DETAILS.
 5. SEE ARCHITECT'S SPECIFICATIONS FOR LIGHTING FIXTURES.
 6. SEE ARCHITECT'S SPECIFICATIONS FOR MECHANICAL SYSTEMS.
 7. SEE ARCHITECT'S SPECIFICATIONS FOR ELECTRICAL SYSTEMS.
 8. SEE ARCHITECT'S SPECIFICATIONS FOR PLUMBING SYSTEMS.
 9. SEE ARCHITECT'S SPECIFICATIONS FOR ROOFING SYSTEMS.
 10. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIOR WALLS AND FOUNDATIONS.



UNIT B SIDE ELEVATION / SECTION
 SCALE: 1/4" = 1'-0"
 BUILDING #3

SIERRA RANCH TOWNHOMES
CASA GRANDE, ARIZONA

Saemisch • Di Bella • Architects, Inc.

SIERRA RANCH TOWNHOMES
CASA GRANDE, ARIZONA

Architects, Inc.
D. B. E. L. I. A.
48 W. Main Street
Suite 200
Tucson, AZ 85701
Tel: (480) 855-0033
Fax: (480) 855-0032
SCALE

SHEET NUMBER
0033

PROJECT NUMBER
W.0033X-1

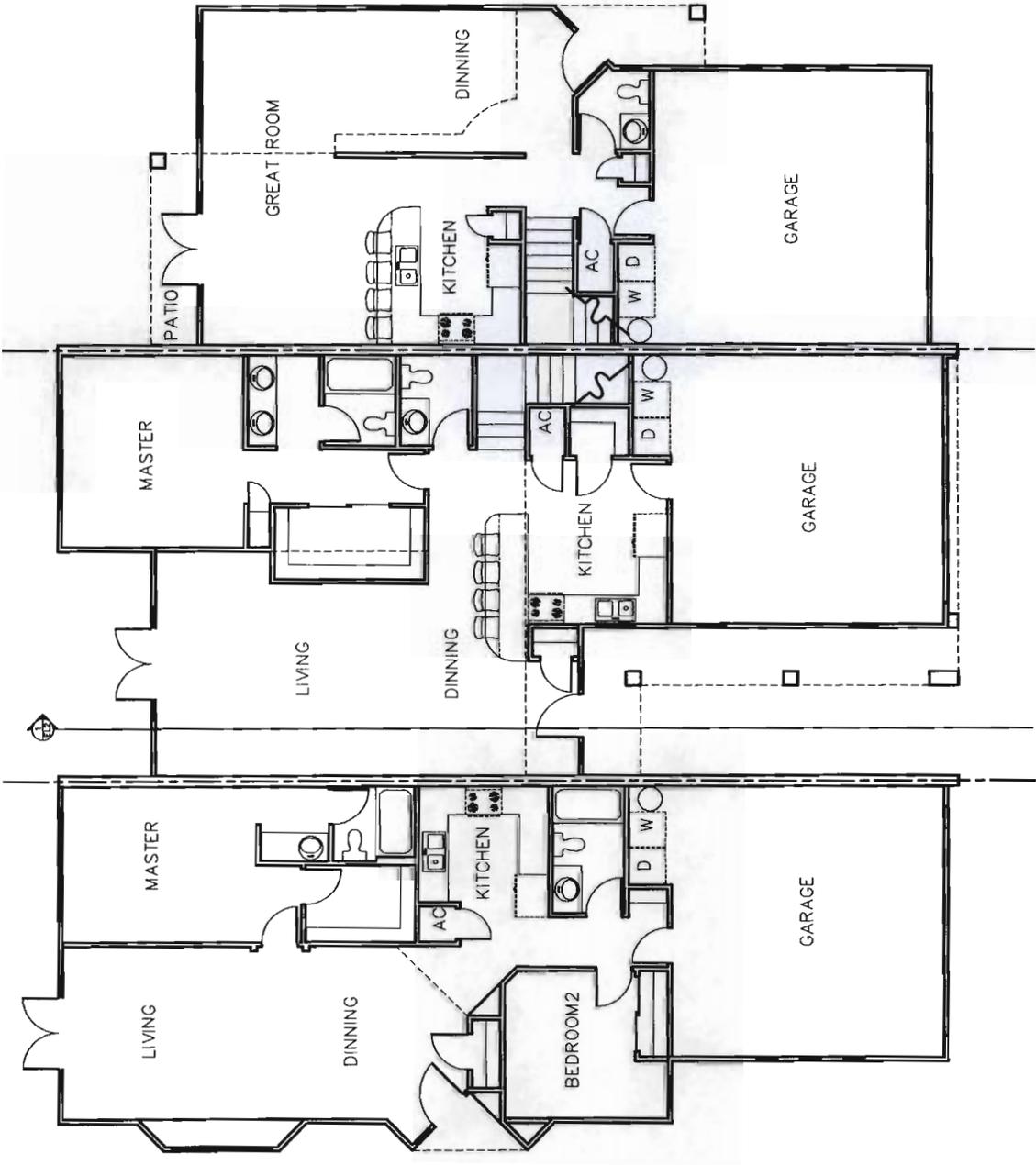
DATE
1/09/02

PRELIMINARY
NOT FOR
CONSTRUCTION
OR RECORDING

SHEET NUMBER
10 L

SHEET TITLE
BUILDING 3
1ST FLOOR PLAN

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
3. ALL WALLS TO BE 1/2" GYP BOARD ON STUDS.
4. ALL FLOORS TO BE 1/2" GYP BOARD ON JOISTS.
5. ALL CEILING TO BE 1/2" GYP BOARD ON JOISTS.
6. ALL DOORS TO BE 1 3/4" MINIMUM CLEARANCE.
7. ALL WINDOWS TO BE 1 3/4" MINIMUM CLEARANCE.
8. ALL STAIRS TO BE 1 3/4" MINIMUM CLEARANCE.
9. ALL BATHS TO BE 1 3/4" MINIMUM CLEARANCE.
10. ALL KITCHENS TO BE 1 3/4" MINIMUM CLEARANCE.
11. ALL LIVING AREAS TO BE 1 3/4" MINIMUM CLEARANCE.
12. ALL BEDROOMS TO BE 1 3/4" MINIMUM CLEARANCE.
13. ALL MASTER BEDROOMS TO BE 1 3/4" MINIMUM CLEARANCE.
14. ALL GARAGES TO BE 1 3/4" MINIMUM CLEARANCE.
15. ALL PATIOS TO BE 1 3/4" MINIMUM CLEARANCE.
16. ALL AC UNITS TO BE 1 3/4" MINIMUM CLEARANCE.
17. ALL WASHING MACHINES TO BE 1 3/4" MINIMUM CLEARANCE.
18. ALL DRYERS TO BE 1 3/4" MINIMUM CLEARANCE.
19. ALL CLOSETS TO BE 1 3/4" MINIMUM CLEARANCE.
20. ALL BUILT-IN APPLIANCES TO BE 1 3/4" MINIMUM CLEARANCE.
21. ALL COUNTERTOPS TO BE 1 3/4" MINIMUM CLEARANCE.
22. ALL SINKS TO BE 1 3/4" MINIMUM CLEARANCE.
23. ALL STOVES TO BE 1 3/4" MINIMUM CLEARANCE.
24. ALL REFRIGERATORS TO BE 1 3/4" MINIMUM CLEARANCE.
25. ALL DISHWASHERS TO BE 1 3/4" MINIMUM CLEARANCE.
26. ALL CUPBOARDS TO BE 1 3/4" MINIMUM CLEARANCE.
27. ALL DRAWERS TO BE 1 3/4" MINIMUM CLEARANCE.
28. ALL CABINETS TO BE 1 3/4" MINIMUM CLEARANCE.
29. ALL BENCHES TO BE 1 3/4" MINIMUM CLEARANCE.
30. ALL SEATING TO BE 1 3/4" MINIMUM CLEARANCE.
31. ALL TABLES TO BE 1 3/4" MINIMUM CLEARANCE.
32. ALL CHAIRS TO BE 1 3/4" MINIMUM CLEARANCE.
33. ALL SOFAS TO BE 1 3/4" MINIMUM CLEARANCE.
34. ALL COUCHES TO BE 1 3/4" MINIMUM CLEARANCE.
35. ALL BENCHES TO BE 1 3/4" MINIMUM CLEARANCE.
36. ALL STOOLS TO BE 1 3/4" MINIMUM CLEARANCE.
37. ALL BARSTOOLS TO BE 1 3/4" MINIMUM CLEARANCE.
38. ALL CHAIRS TO BE 1 3/4" MINIMUM CLEARANCE.
39. ALL TABLES TO BE 1 3/4" MINIMUM CLEARANCE.
40. ALL CHAIRS TO BE 1 3/4" MINIMUM CLEARANCE.



1st FLOOR C 724 SF
SCALE: 1/4" = 1'-0" TOTAL: 1,547 SF

1st FLOOR B 1,091 SF
SCALE: 1/4" = 1'-0" TOTAL: 1,777 SF

1st FLOOR A 999 SF
SCALE: 1/4" = 1'-0" BUILDING #3

SIERRA RANCH TOWNHOMES CASA GRANDE, ARIZONA

Sierra Architects, Inc.

PROJECT NUMBER
0232

PERMITS
W023213-2

DATE
11/08/02

48 W. Mohr Street,
Suite 202, Mesa, AZ 85201
Tel: (480) 835-0833
Fax: (480) 835-0832

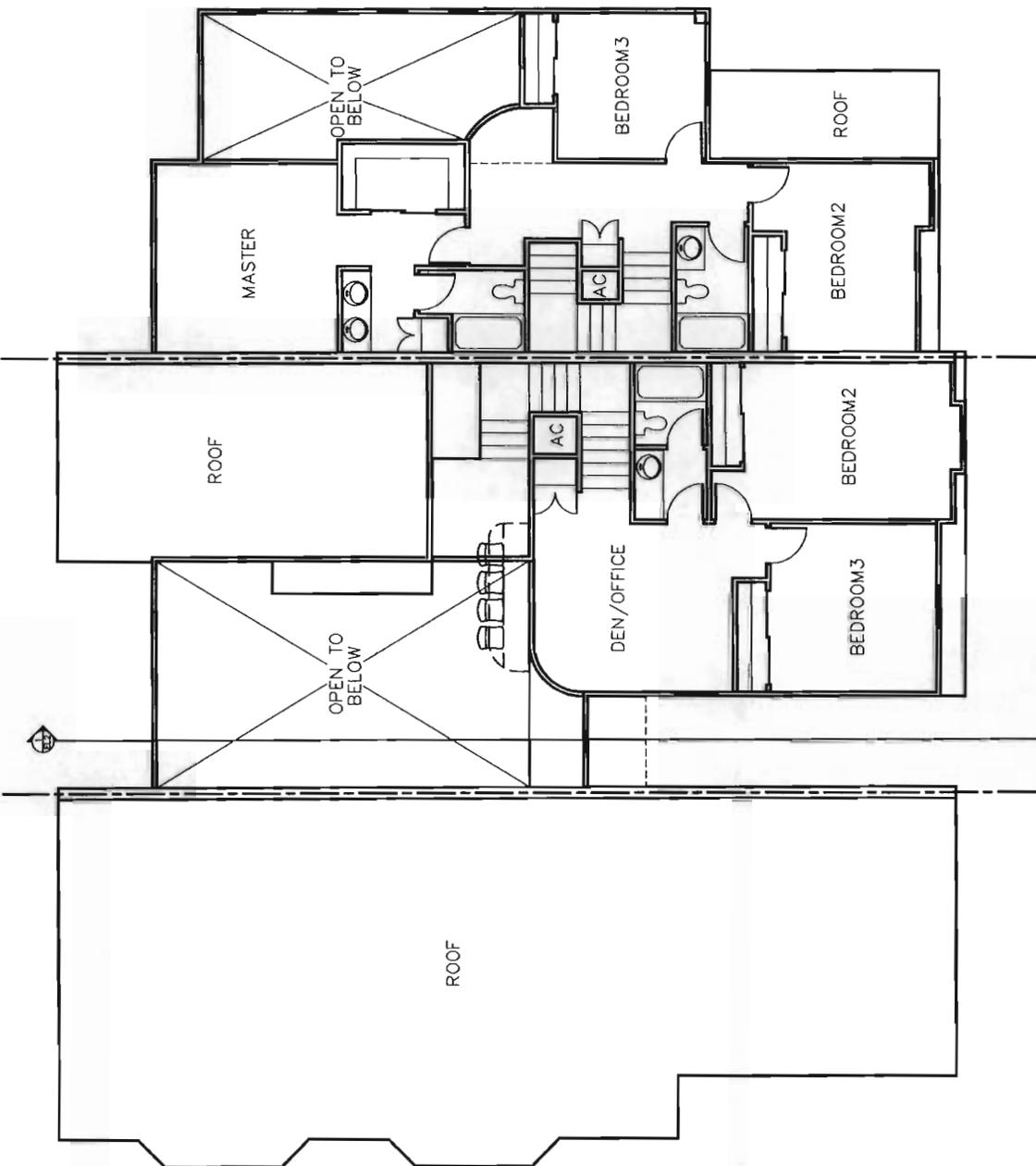
SEAL

PRELIMINARY
NOT FOR
CONSTRUCTION
OR RECORD

SHEET NUMBER
10 M

SHEET TITLE
BUILDING 3
2ND FLOOR PLAN

THIS PLAN IS THE PROPERTY OF SIERRA ARCHITECTS, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND PHASE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, TRANSMITTED, OR IN ANY MANNER DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF SIERRA ARCHITECTS, INC. ANY SUCH REPRODUCTION OR DISCLOSURE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SIERRA ARCHITECTS, INC. THE USER AGREES TO HOLD SIERRA ARCHITECTS, INC. HARMLESS FROM AND AGAINST ALL SUCH REPRODUCTION OR DISCLOSURE. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECT OR PHASE WITHOUT THE WRITTEN CONSENT OF SIERRA ARCHITECTS, INC. ANY SUCH REPRODUCTION OR DISCLOSURE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SIERRA ARCHITECTS, INC. THE USER AGREES TO HOLD SIERRA ARCHITECTS, INC. HARMLESS FROM AND AGAINST ALL SUCH REPRODUCTION OR DISCLOSURE.



2nd FLOOR C 823 SF
SCALE: 1/4" = 1'-0"

2nd FLOOR B 686 SF
SCALE: 1/4" = 1'-0"
BUILDING #3

VI. ON-SITE SERVICES

A. PROPERTY OWNERS ASSOCIATION

The Property Owners Association to be established at Sierra Ranch II will be an incorporated entity created in accordance with Arizona State Statutes. Initially, the Property Owners Association will be managed by the Sierra Ranch II developer with the governance of the Association being transferred to the residents of Sierra Ranch II as the project builds out. The Association will have a variety of responsibilities, the most significant of which are described as follows:

1. **Property Ownership:** Lands committed to the common use and benefit of the residents of Sierra Ranch II may be transferred to and administered by the Association. These lands could include areas such as common open space.
2. **Maintenance:** The Association would maintain common use elements such as parklands and open space including associated facilities.
3. **Protective Covenants:** The Association will be provided specific responsibilities in the enforcement of the adopted protective covenants.

In the event the Association fails in its responsibilities to maintain the common areas as outlined in the adopted protective covenants, the city of Casa Grande will have the right to maintain these areas and bill the Sierra Ranch II Property Owners Association for that cost. Should payment not occur by any member of the Property Owners Association, the City of Casa Grande will have the right to place a lien on the delinquent members property within the platted area or initiate any appropriate action it deems necessary.

Final documents on the Property Owners Association at Sierra Ranch II will be filed with the final plat, and will include the maintenance agreement and other specific rights and requirements for association members.

Upon the development of the various Phases of Sierra Ranch II, Homeowners Associations will be formed in each Phase to provide the above described services for that Phase and relieve the Property Owners Association described of those responsibilities.

B. ARCHITECTURAL REVIEW COMMITTEE

There will be the formation of an Architectural Review Committee. This Committee will consist of members appointed by the owners from their staff, the development team, and residents of Sierra Ranch II until such time that membership is transferred directly to the Sierra Ranch II residents. They will be responsible for the review and approval of all residential site and architectural plans as well as the selection of architectural building materials. The architectural review committee will assure that all plans meet the established design guidelines prior to the submission of such plans to the City for approval. This Architectural Review Committee is one of the major steps to insure the project will be developed as originally intended.

The building elevations for homes and recreational buildings will be designed to express individuality within a development area while simultaneously maintaining the overall character of this community. Careful attention to all aspects of the building designs will be studied to create the individuality desired. The building elements to be studied include roofs, walls and openings, foundations, chimney materials, patios and decks. Even though building appearance will vary throughout the development, continuity will be provided through the utilization of additional architectural and non-architectural elements such as lighting, signage, paving and landscaped plant material. All houses shall be constructed of durable materials, including concrete roof tiles, with the intent of long-term sustainability. A variety of home plans, elevations and color palettes shall be offered and will be subject to the review and approval of the Planning Commission. The intent of the City's Residential Design Standards for PADs will be demonstrated in the homes for Sierra Ranch II. Home plans, elevations, and colors for the single-family detached housing product shall be subject to the review and approval of the City Planning and Zoning Commission. The following requirements shall apply to the single-family detached homes: front entry garages shall not extend more than ten feet forward of the home's livable area or covered front porch, nor shall they be more than 55 percent of the front plane of the home; pop-outs and/or similar architectural embellishments shall be used on all second story windows and all first story windows facing streets or open space tracts that are not screened/blocked by rear/side yard walls; and the same elevation or color scheme shall not be used on homes adjacent to or across from each other. All development will comply with applicable Building, Fire, and other City Codes.

C. AMENITIES AND ROADWAYS

All landscaping (including right-of-way landscaping) and amenities constructed in Phase five will be maintained by the Homeowners Association for that Phase. The interior roadway and community parking stalls constructed in Phase five will be private road and maintained by the Homeowners Associations.

A second Homeowners Association will be established for Phases one, two, three, and four to maintain all open space (except City parks) and amenities. All landscaping (including right-of-way landscaping), signs, perimeter walls, etc., will be maintained by the Homeowners Association.

VII. CONCLUSION

The Sierra Ranch II project develops the balance of the original Sierra Ranch master plan as approved in 1987. In coordination with the City of Casa Grande Engineering Department and the City of Casa Grande Planning and Zoning, improvements have been made to the existing PAD to make Sierra Ranch II a successful project and a project desirable to the community.

Leading the selection of this site were the sites accessibility to the existing Casa Grande infrastructure, including utilities and roadway. Through the use of planned open space, medium density residential units, preservation of environment, and quality of the architectural design, Sierra Ranch II has the unique qualities that will allow this project to stand out in an area of high growth.

This project has provided an opportunity for many individuals from diverse disciplines to contribute to this PAD document. The Sierra Ranch II team is proud to be a part of the Casa Grande community and the developers will strive, through well, crafted CC&Rs, to protect the image, which is presented in this document.

