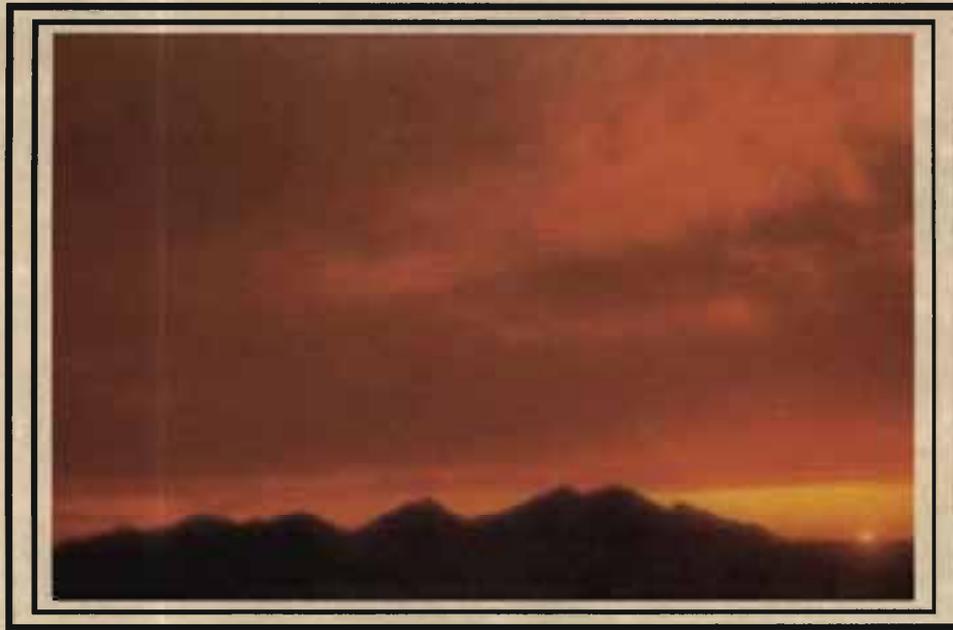


Santa Cruz Village



**Preliminary Development Plan
and
Development Guide
for a
Planned Area Development
Located at the Southwest Corner of
Rodeo Road and Pinal Avenue**

**March 2002
CGPZ – 11 – 02**

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March 2002

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Santa Cruz Village

Preliminary Development Plan and Development Guide for a Planned Area Development

Table of Contents

Section	Title	Page
1.0	Purpose of Request	1
2.0	Land Use Plan/Preliminary Development Plan/Project Description	1
2.1	Residential Subdivision Design	2
2.2	Open Space	3
2.3	Neighborhood Commercial Development	5
3.0	Relationship to City of Casa Grande General Plan	7
4.0	Existing Site Conditions	9
5.0	Relationship to Surrounding Properties	9
6.0	Accessibility	9
7.0	Circulation System and Street Improvements	10
8.0	Public Facilities	12
9.0	Phasing Plan	13
10.0	Utilities	13
10.1	Sewer	13
10.2	Potable Water	14
10.3	Electrical Power	14
10.4	Natural Gas	14
10.5	Telephone	14
10.6	Sanitation	14
11.0	Grading and Drainage Concept	14
12.0	Tree Preservation	15
13.0	Residential Covenants, Conditions, and Restrictions	15
14.0	Homeowner's Association	16
15.0	Development Team	16
16.0	Conclusion	16

Appendix A

1.0	Residential Development Standards	18
1.1	Mandatory PAD Layout and Design Standards	18
1.1.1	Open Space	18
1.1.2	Multi-Story Homes	19
1.1.3	Streetscapes and Entrances	19
1.1.4	Front Yard Landscaping	19
1.1.5	Miscellaneous	20
1.2	Additional Requirements for PAD Layout and Design	20
2.0	Mandatory Residential PAD Architectural Standards	21
2.1	Floor Plans and Elevations	22
2.2	Roofs	22

	2.3	Garages	23
	2.4	Additions and Modifications	23
3.0		Additional Requirements for PAD Architecture	23

Exhibits

Exhibit	Description
A	Preliminary Development Plan
B	Conceptual Landscape Plan
C	Conceptual Pocket Park Exhibit
D	Walls and Entry Feature
E	Conceptual Wall Exhibit
F	Conceptual Neighborhood Commercial Site Plan
G	Topographical Exhibit
H	Phasing Exhibit

List of Tables

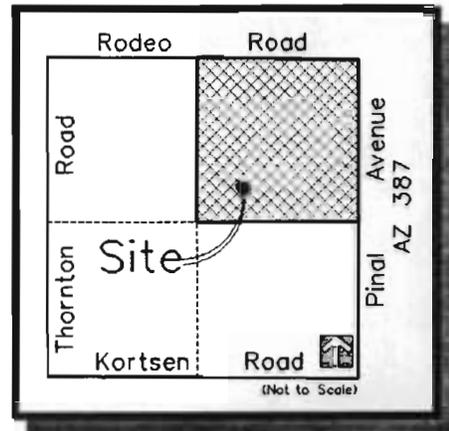
Table	Description
1	Percentage of Yield by Lot Size

Santa Cruz Village

Preliminary Development Plan and Development Guide for a Planned Area Development

1.0 Purpose of Request

Santa Cruz Village is a proposed 163-acre mixed-use community located at the southwest corner of Rodeo Road and Pinal Avenue as illustrated on the attached vicinity map. This Development Guide is being submitted to the City of Casa Grande as a supplement to the Zoning application and is intended to demonstrate the quality of subdivision design intended for the new community.



The site was originally zoned in Pinal County. Comparable zoning categories of B-2, R-1, R-2 and R-3 were adopted when the site was annexed into the City of Casa Grande. The purpose of the zoning application is to request a zone change for the **Santa Cruz Village** site from the property's current zoning to Planned Area Development (PAD) zoning. The PAD zoning has the overall effect of concentrating commercial uses to a more appropriate location and reducing the overall intensity and density for the proposed residential uses.

2.0 Land Use Plan/ Preliminary Development Plan/ Project Description

Santa Cruz Village has been carefully planned to create a high-quality living environment within the City of Casa Grande, and to eliminate land use incompatibilities that exist under the existing and approved zoning for the site. Although the site is presently zoned for single-family residential (R-1), multi-family (R-2 and R-3) and commercial uses (B-2), the configuration of this approved zoning creates incompatibilities by placing commercial uses within the interior of the site, essentially surrounded by proposed residential uses. In addition, the current configuration, places higher-density residential uses adjacent to existing low-density residential uses within

the Casa Grande Lakes development. Additionally, the existing zoning pattern for this site does not take into account the existing access and topographical conditions of the site and provides for an excessive amount of land for multi-family residential use.

As proposed, the **Santa Cruz Village** residential community serves to simply rearrange the commercial uses and reduce the intensity of the residential uses that could otherwise occur on this site due to the approved zoning. This is accomplished by concentrating the commercial uses to the northeast portion of the site and eliminating multi-family residential uses.

The **Santa Cruz Village** residential community will consist of a maximum of 387 site-built single-family detached lots/homes, along with significant open space (over 26.7%), which ties into the open space and trail system proposed in the Santa Cruz Wash floodway located along the southern portion of the property. A 20-acre net site is proposed as a neighborhood commercial center at the corner of Rodeo Road and Pinal Avenue.

The residential portion of the site has been designed with three lot sizes, offering a mix of housing opportunities, income levels and lifestyles within one community. Parcel A contains lots with a minimum lot area of 6,050 square feet and a 55-foot width by 110-foot deep minimum lot size. Parcels B, C and D contains lots with a minimum lot area of 7,000 square feet and a 60-foot width by 117-foot depth minimum lot size. Parcel E contains lots with a minimum lot area of 8,050 square feet and a 70-foot width by 115-foot depth minimum lot size. Table 1 illustrates the percentage of the project's yield by lot size. As Table 1 illustrates, only 20% of the proposed lots are less than 7,000 square feet in size.

Minimum Lot Size	Yield	Percentage of Total Yield
6,050	78	20%
7,000	257	66%
8,050	52	14%
Total	387	100%

2.1 Residential Subdivision Design

The design of a subdivision is critical to the success of a “visually diverse” community. **Santa Cruz Village** has been designed with curvilinear streets, and centralized, useable

and highly visible open space. Visual interest along the residential collector road running through the site has been created by providing a combination of siding and backing lots along the collector as well as a large amount of open space located along the roadway. All of the local roads access onto the collector roadway instead of Pinal Avenue and Rodeo Road, which are more high-volume roads. This helps to create a hierarchy of street systems in which the local streets access the collector roads and the collector road access the high volume arterial roadways. In addition, the local streets are designed in a discontinuous manner so as to discourage cut-through traffic and as a traffic-calming measure.

To maximize visual impact for the community, the majority of the local roads terminate with views into the centralized open space areas. Providing views into the open space areas encourages the use and supervision of the areas. In order to improve the overall appearance of the community as well as create a unifying design element, all corner lots are designed with a landscape tract adjacent to the street. This landscape tract is to be maintained by the master homeowner's association. The entry monumentation and theme wall design for **Santa Cruz Village** creates an additional unifying element.

Details regarding the specific subdivision and home development standards, as well as a discussion of this project's conformance to Casa Grande's PAD Residential Design Standards, are noted in Appendix 'A' to this Development Guide.

2.2 Open Space

Approximately 43.6 acres of open space is proposed within **Santa Cruz Village** to be landscaped as inviting recreational areas and pedestrian corridors. This open space equates to approximately 26.7% of the overall project or 31.6% of the residential portion of the project. The 420-foot wide Santa Cruz Wash floodway is located along the southern portion of the site and will remain in its natural condition. The floodway accounts for approximately 15.7% of the site's open space area. Approximately 17.9 acres of the site's open space is located interior to the project and is exclusive of the floodway, which equates to 11% of the overall site and 15.9% of the residential portion of the project exclusive of the floodway.

The internal open spaces are strategically located for high visibility and many of the local roads terminate with views into open space areas. In addition, the open spaces serve as pedestrian/bike connections through the site as well as connections to the City's regional trail system in the Santa Cruz Wash floodway. The open spaces are connected by 10-foot wide multi-use pathways and 5-foot wide walkways that meander through the open space corridors as illustrated on the Site Plan and the Conceptual Landscape Exhibit. This trail system serves to physically and visually tie the various neighborhoods into a community. The internal 10-foot wide multi-use path and 5-foot wide walkway network will be designed to provide safe and convenient connections/linkages to all open spaces. All walkways and paths will be constructed of concrete and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director and shall be covered by pedestrian and multi-use public access easements.

The open space areas are designed to retain storm water generated on the site in an aesthetically-pleasing design. The landscape design concept for the open space areas will include the use of shade trees, shrubs, ground cover, and areas of turf for passive recreation. Plant material selections reflect the native vegetation of Arizona and are drought tolerant. Open space tracts for the PAD shall be improved (i.e., landscaped, paths installed, etc.) concurrent with the phase in which it is located. Final landscape and amenity plans are subject to review and approval of the City's Planning Director.

The developer will offer to the homebuyer a selection of front yard landscape packages. The front-yard landscaping will be installed by the developer within three weeks of home occupancy and will be maintained by the individual homebuyer. Front yard landscape packages will include a variety of water-conserving plants, ground covers, and vines. A minimum of two fifteen-gallon trees, eight five-gallon shrubs or accent plants, and twelve one-gallon ground cover plants, plus an irrigation system and granite rock topping is required for each lot. Turf will not be offered by the developer/homebuilder as a front-yard landscape option. Decomposed granite or river rock will cover all exposed areas. A minimum of four standard landscape plans shall be offered and one plan shall include river run design that uses 3"-8" river rock or fractured granite.

2.3 Neighborhood Commercial Development

An approximately 20-acre net site along the Pinal Avenue frontage is proposed for a neighborhood commercial development with uses limited in intensity and characteristics to the B-2 (General Business) and CO (Commercial Office) zoning districts.

The site is presently designated for Commercial uses on the recently Council-approved update/amendment to the Casa Grande General Plan. The final layout and site plan of the commercial portion of the development is not known at this time. A conceptual plan is included within this Development Guide, which outlines a potential development plan for the site. Uses within the commercial parcel shall be limited to indoor retail, office, and professional service uses allowed in the City's B-2 and CO zoning districts. The indoor requirement shall not exclude garden sales areas or incidental outdoor eating areas or drive-thru's associated with an otherwise allowable use. Setbacks and building heights will be per the B-2 zone standards.

The development of any portion or phase of this commercial shopping center area will undergo the Major Site Plan review process. The Major Site Plan review process, which involves review and recommendation by the Planning Department staff and review and approval by the Casa Grande Planning and Zoning Commission, addresses issues such as site design and layout, building design and appearance, access, signs, lighting, landscaping, parking arrangement, etc.

As a basis for the development of the commercial shopping center site, the following development performance standards will be applied for any phase or portion of the development:

- All buildings and structures within the commercial shopping center will use exterior treatments and colors designed to be compatible with the adjacent residential development.
- All four exterior elevations of any detached ('pad') building will be finished.
- A minimum setback of 45-foot will be maintained along the west and south boundaries of the commercial site, between any building within the commercial development and the property line of any adjacent residential lot/use. Circulation areas, parking areas, loading areas and trash dumpster enclosures may be allowed

to be placed in this setback area, but will maintain minimum B-2 setbacks and a 15-foot setback from the commercial boundary.

- The site will be screened from the proposed adjacent residential uses (to the west and south) by a 7-foot high block wall as illustrated on the Development Plan and the Wall Exhibit. A minimum 15-foot wide landscaping buffer placed along the commercial side of the wall will be designed and will be landscaped with screening plant material such as trees or shrubs.
- Architectural accent towers will be limited to a height of 45'-0".
- Trash compactors and loading areas will be located and screened so as to minimize potential noise to adjacent residential uses.
- A coordinated landscape plan and landscaping theme will be utilized throughout the entire commercial site.
- Driveway locations and roadway improvements will be determined in cooperation with ADOT and/or the City of Casa Grande.
- Continuous vehicular connectivity via cross-access easements and shared parking is required within the commercial parcel. Parking and loading requirements will be in accordance with Zoning Ordinance requirements (including provisions for handicapped-accessible spaces).
- All on-site circulation, drive areas and parking areas are to be paved and landscaped, with concrete vertical curbing provided. Parking area screening will be in accordance with City of Casa Grande requirements.
- Sign structures will be designed to be compatible with the buildings within the commercial development. Detached signs will be limited to low profile, monument-style signs. Prior to the approval of any Major Site Plans for the PAD, the developer/builder shall submit for the review and approval of the Planning Director and the Planning and Zoning Commission a Comprehensive Sign Guide for the PAD. The Plan will set forth the requirements for sign locations, heights, styles, sizes, areas, colors, designs, lighting, and other pertinent issues.
- On-site lighting will be designed so as to not 'fall' onto adjacent residential uses and will comply with the City's Light Control Ordinance.
- The first commercial Major Site Plan request shall be required to submit a conceptual (final if request if for full parcel) site plan layout, meeting the approval of the Planning and Zoning Commission, for the entire commercial parcel.

3.0 Relationship to City of Casa Grande General Plan

(Note: An update to the Casa Grande General Plan has recently been approved by the Mayor and City Council of Casa Grande, and is expected to be approved by the voters at an election scheduled for March 5, 2002. This update is referenced within this section for the purposes of this development.)

The Casa Grande General Plan update indicates that the site is appropriate for Low-density residential (1 – 4.0 dwelling units per acre) and Commercial uses. **Santa Cruz Village** conforms with the land uses and land use policies of the Casa Grande General Plan update.

Within the residential portion of this development, **Santa Cruz Village** proposes single-family residential uses at a density of 2.4 gross / 2.8 net dwelling units per acre and is, therefore, in conformance with the low-density residential land use designation. With only 387 proposed dwelling units, this project generates significantly fewer dwelling units than what could otherwise occur under the Low Density Residential (LDR) designation (approximately 878 units).

With the commercial portion of this development, **Santa Cruz Village** proposes to develop a 20 net acre site located at the northeast corner of the development, for neighborhood commercial uses. The Casa Grande General Plan indicates that this same general location is appropriate for commercial uses, and is, therefore, in conformance with the commercial land use designation. Additionally, the proposed commercial uses conform with a number of the commercial land use policies as noted within the General Plan update. These include the following (conformance is noted after each policy in *italics*):

10.21. The Commercial uses are intended to be located to have direct access to major roadways.

The commercial uses have direct access to both Pinal Avenue (State Route 387) and Rodeo Road, both of which are arterial roadways.

10.2.3 Strip commercial development patterns along transportation corridors shall be discouraged. Clustering of commercial developments with strategic located access points is desired.

The location of this commercial, as well as the intended size, provides for sufficient commercial opportunities to negate the possible need for additional commercial in the immediate area. Additionally, no additional commercial could occur directly to the south of this commercial site as residential uses are proposed. Thereby eliminating the possibility for commercial use.

10.2.4 Neighborhood commercial, including small-scale commercial office uses, not indicated on the land use plan will be encouraged in close proximity to residential development providing that certain criteria is met, such as providing for uses that support the immediate neighborhood, providing a design and buffering that is compatible with the proposed neighborhood, no negative traffic impacts, that the commercial uses are designed as part of a mixed-use master planned project, and that neighborhood commercial uses not be located on all four corners of an intersection.

Although no definitive end-users are secured for the commercial development, it is intended that commercial uses within Santa Cruz Village include uses such as general retail, service and office uses (i.e., supermarket, dry cleaner, professional offices and/or restaurant uses). As part of this mixed-use master planned development, this neighborhood commercial center will be designed to offer compatibility and sufficient buffering to the proposed residents within this development. This will be exhibited and ensured both by the developer and the City of Casa Grande as this portion of Santa Cruz Village proceeds through the major site plan review process. Additionally, traffic will be designed to access the center directly from the adjacent arterial roadways and not through the residential portions of this development. Finally, commercial development cannot occur at all four corners of the intersection of Pinal and Rodeo due to the existence of the park at the northwest corner of the intersection.

Finally, as noted previously, this site is presently zoned for commercial uses at a size relatively equal to what is proposed under this size relatively equal to what is proposed under this Planned Area Development.

4.0 Existing Site Conditions

As shown on the vicinity map, **Santa Cruz Village** consists of approximately 163 acres located at the southwest corner of Rodeo Road and Pinal Avenue. The site is presently undeveloped, with no improvements other than five existing billboard signs along the Pinal Avenue frontage, which are to be removed upon development of the phase upon which they lie and an existing well site in the northeast corner of the site, which will be abandoned upon development of the commercial site. The remnants of an existing home and well will be removed from the site prior to residential development.

The site slopes gradually from northeast to southwest. The Santa Cruz Wash transverses the site along the southern boundary of the property. The floodway is approximately 420 feet wide. No other washes cross the site and there is no significant off-site drainage on this property.

5.0 Relationship to Surrounding Properties

The primary character of the area is scattered residential and commercial uses and vacant land. The character of the surrounding properties are as follows:

- North of the site is the Ed Hopper Park, which is zoned UR. The development is within the jurisdiction of the City of Casa Grande.
- Areas to the east are mixed commercial, residential, and vacant land. The areas are zoned UR, B-1, B-2 and RV and are located within the jurisdiction of the City of Casa Grande.
- Areas to the west of the site are vacant, currently zoned UR, and are within the jurisdiction of the City of Casa Grande.
- The Casa Grande Lakes single-family development is located to the south, across the wash, and is zoned PAD and are located within the jurisdiction of the City of Casa Grande.

6.0 Accessibility

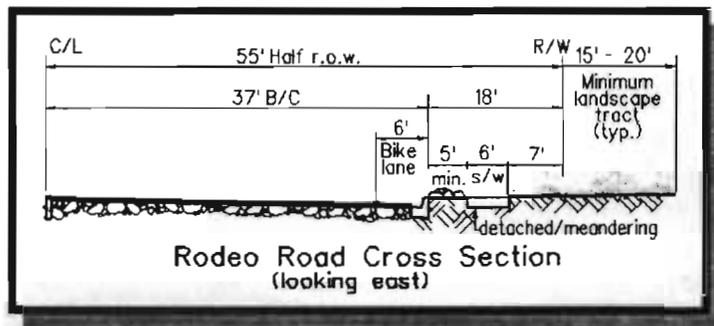
The principal access to **Santa Cruz Village** will be from Rodeo Road and Pinal Avenue. Rodeo Road is an east/west section line arterial that is an existing dirt road (west of

Pinal Avenue) at this time. Pinal Avenue (also known as State Route 387) is a paved five-lane roadway, which provides access to Interstate 10 approximately four miles north of the site.

7.0 Circulation System and Street Improvements

Final traffic reports and plans, meeting the approval of the City Engineer, are required prior to the approval of any Final Subdivision Plats for this project. The Traffic study will determine the traffic impact of this project and any need for additional traffic and roadway improvements that the developer will be required to provide and/or be partially financially responsible for based on the amount of traffic generated by **Santa Cruz Village**.

The developer will be responsible for the engineering and construction of the south half of Rodeo Road adjacent to **Santa Cruz Village**. They will dedicate 55-foot half right

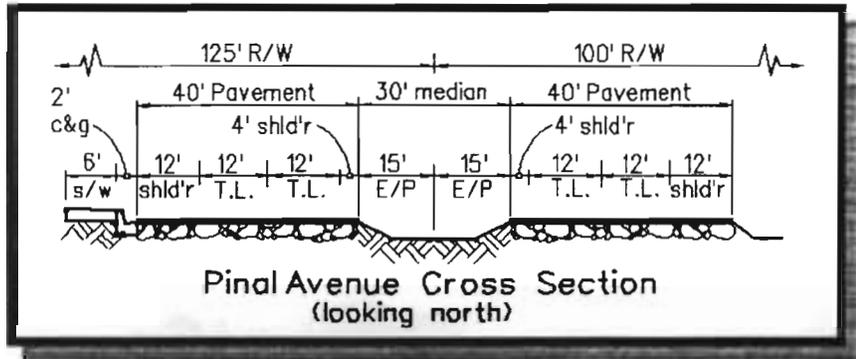


of way and install paving, curb, gutter, median, striped bike lane, 6-foot wide detached, meandering sidewalk, and landscaping within the right of way. Sidewalks along all collector and arterial roadways shall be detached from the curb, except at intersections, and meander within the right of way. Cross sections and striping plans for arterial and collector roadways are subject to the review and approval of the City Engineer. Striped bike lanes, meeting AASHTO standards and the recommendations of the City Engineer, shall be provided on all collector and arterial roadways. Upon completion of construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande except for the maintenance of landscaping within right-of-way, which will be maintained by the project's Homeowner's Association.

Pinal Avenue rights-of-way dedication and street improvements are existing. The road is currently a five-lane paved roadway adjacent to the eastern boundary of the site. The developer does not anticipate further construction responsibilities except that the developer/builder shall be responsible for the addition of a 6' wide detached and

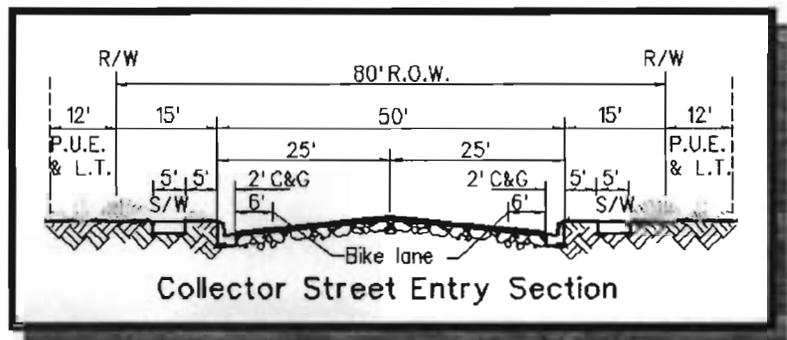
meandering concrete sidewalk, curb and gutter, and street frontage landscaping adjacent to Pinal Avenue upon development of the adjacent phase. All work within the State right-of-way is subject to ADOT approval. Maintenance of improvements within the right-of-way will

be the responsibility of ADOT and/or the City of Casa Grande except the maintenance of landscaping within



the right-of-way, which will be maintained by the project's Homeowner's Association. The existing raised center median within Pinal Avenue has a median "cut" at the Rodeo Road intersection. An additional cut is proposed for the collector road alignment approximately 1966 feet south of Rodeo Road. This cut will allow for left hand turns into **Santa Cruz Village** for north-bound traffic along Pinal Avenue. Additional median cuts may be proposed to allow for left hand turns for north-bound traffic into the commercial center. All proposed median cuts will require approval by ADOT. In addition, a right-turn deceleration lane will be constructed at the entrance to the site as illustrated on the Preliminary Development Plan. These modifications will be coordinated with ADOT and the City Engineer and is subject to the review and approval of the City Planning and Zoning Commission. The raised median does not extend the entire length of the property and the center lane tapers to no lane at the existing bridge at the south of the property.

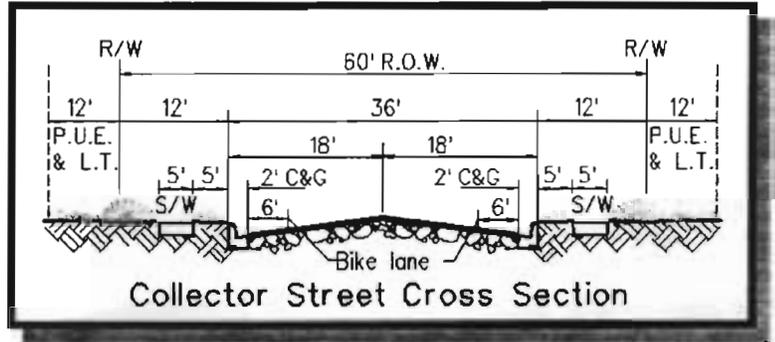
The developer will be responsible for the engineering and construction of collector streets within **Santa Cruz Village**. They will dedicate 80-foot right-of-way at



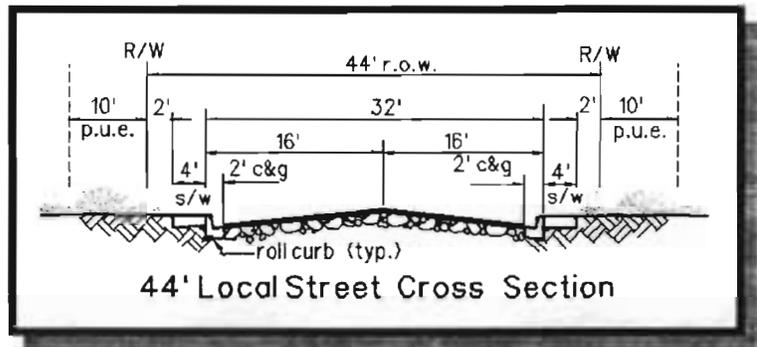
arterial intersections and 60-foot right-of-way internally as a function of neighborhood traffic needs. Collector street improvements will include paving, curb, gutter, bike lanes

and a detached 5-foot wide sidewalk on both sides of the rights-of-way. Upon completion of construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande.

The developer will be responsible for the engineering and construction of local streets and cul-de-sacs within **Santa Cruz Village**. They



will dedicate 44-foot right-of-way. Local street improvements will include paving, curb, gutter and an attached 4-foot wide sidewalk on both sides of the rights-of-way. Upon completion of construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande.



The homeowner's association will maintain all landscaping within the public right-of-way except for any landscaping occurring within arterial road medians.

8.0 Public Facilities

Police and fire protection will be provided by the City of Casa Grande. Refuse collection will be provided by the City of Casa Grande.

Santa Cruz Village is located within both the Casa Grande Elementary School District and the Casa Grande Union High School District. The high school facility is located approximately one and a half miles away, at the intersection of McCartney and Trekill Roads.

This residential development will include usable open space areas and other passive recreational amenities as noted previously throughout this document. Active recreational amenities are proposed within **Santa Cruz Village**. In addition to these amenities, the

Ed Hopper Park is located directly north of the site and the Dave White Regional Park is located south of **Santa Cruz Village**. No other public recreational areas or parks exist near the site.

9.0 Phasing Plan

The project will be developed in four phases as illustrated on the Phasing Exhibit included within this document. However, the phasing plan is preliminary at this time and is subject to modifications depending on market conditions and absorption rates. A more detailed phasing plan, meeting the approval of the City Engineer, Planning Director and Planning and Zoning Commission will be established during the Preliminary Plat review process.

10.0 Utilities

Any utilities running through the site or any utilities that need to be relocated for development of the property will be placed underground. Sewer facilities, street lights, and fire hydrants will be provided according to City of Casa Grande codes and per the recommendations of the Engineering and Fire Departments. Upon completion of construction and acceptance, operation and maintenance of all utilities and facilities will rest with the appropriate operating agency.

10.1 Sewer

At the request of the City of Casa Grande, the proposed sewer improvements will provide service for this site by tying into the existing 30-inch sewer line located approximately one-half mile west of the site along the Thornton Road alignment. The proposed sewer system will be sized to accommodate all onsite generated flows with considerations for the flows from the parcel of property to the west that must be crossed in order to reach the Thornton Road alignment sewer. The developer/builder will be responsible for extending City sewer service to this development in accordance with City Engineer approved final sewer reports and plans and all applicable City codes. The sewer proposals included in this Development Guide cannot be fully evaluated or approved without thorough analysis of the required sewer reports and plans for this development. A Preliminary Sewer Report will be submitted to and approved by the City Engineer

prior to approval of the Preliminary Plat for the site. Final sewer reports and plans, meeting the approval of the City Engineer, are required prior to the approval of any Final Subdivision Plats or Major Site Plans for this project.

10.2 Potable Water

Potable water for **Santa Cruz Village** will be provided by the Arizona Water Company. The company's water system will serve the site with an existing 12" water line located in Pinal Avenue and any required waterline improvements within Rodeo Road. A Preliminary Water Report will be submitted to and approved by the Arizona Water Company and the City Engineer prior to approval of the Preliminary Plat for the site. Final Water reports and plans, meeting the approval of the City Engineer and Arizona Water Company, are required prior to the approval of any Final Subdivision Plats or Major Site Plans for this project. The developer will provide a 100-year Assured Water Supply Certificate prior to Final Plat approval.

10.3 Electrical Power

Electrical service will be provided by Arizona Public Service Company.

10.4 Natural Gas

Natural gas service will be supplied by Southwest Gas Company.

10.5 Telephone

Telephone services will be provided by Qwest Communications.

10.6 Sanitation

Waste disposal services will be provided by the City of Casa Grande.

11.0 Grading and Drainage Concept

The site drains to the existing Santa Cruz Wash located along the southern boundary of the site. The grading and drainage concept for **Santa Cruz Village** consists of providing retention basins within the proposed open space areas as required. The property will be

graded to drain toward the retention basins. The streets will be designed per the City of Casa Grande criteria to convey all on-site storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. Off-site storm drainage will be accommodated through adequately designed water conveyance systems. A Conceptual Grading and Drainage Design Report will be submitted under separate cover. Final drainage reports and plans, meeting the approvals of the City Engineer, are required prior to the approval of any Final Subdivision Plats for this project.

A Conditional Letter of Map Revision (CLOMR) which modifies the Santa Cruz Wash floodplain has been approved by FEMA. However, the City of Casa Grande recently revoked their approval of the CLOMR. Upstream studies are currently underway and the developer/builder's engineer will complete further hydraulic analysis to the City of Casa Grande's approval. The project will be graded in such a way as to alleviate the floodplain from the proposed residential lots but not disturb the existing floodway. The developer/builder will apply for a Letter of Map Revision (LOMR) which will require approval by the City of Casa Grande and FEMA. A complete hydraulic analysis will be performed on the wash along the south boundary of the project when information for the re-study of the Santa Cruz Wash upstream of the project is complete and available for an engineer's analysis.

12.0 Tree Preservation

The only significant vegetation existing on the site is within the Santa Cruz Wash floodway and the floodway will not be disturbed and, therefore, the plant material will remain in it's natural condition.

13.0 Residential Covenants, Conditions, & Restrictions

In order to assure residents that their investment in the community and home will endure, **Santa Cruz Village** will be controlled by a strong set of Covenants, Conditions, and Restrictions (CC&Rs). The CC&R's will incorporate the design principals as outlined in this document and will promote diversity in home sites, color, texture, and streetscapes, not only from neighborhood to neighborhood but also from neighbor to

neighbor. The CC&R's will be presented to the City Planning Director for review and approval prior to the approval of any Final Subdivision Plats.

14.0 Homeowners Association

A homeowners association will be formed with the development of **Santa Cruz Village** which will maintain all landscape tracts, perimeter walls, paver/stamped asphalt treatments (may be maintained by City upon approval of City Engineer), and open space areas including drainageways, perimeter walls and landscaping within rights-of-ways (except arterial roadway medians).

15.0 Development Team

The owner has assembled a development team to design **Santa Cruz Village** as a community any homebuyer would be proud to live within. A community which attracts, meets the needs of, and is accessible to a variety of homebuyers. The development team consists of the following:

Owner:

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Contact: David Lipinski
Phone: 602.279.0004
Fax: 602.279.0005

16.0 Conclusion

Santa Cruz Village is a community which invites its residents to walk, run, ride, play and mingle. The open space areas are strategically located for high visibility and centrally located for high usability. Additional design features such as significant entry monumentation and attractive perimeter theme wall design as illustrated within this PAD

booklet combine to create a high quality residential community, which the owner is proud to develop within the City of Casa Grande.

Development of **Santa Cruz Village** will be in accordance with applicable code requirements of the City of Casa Grande, the City's Residential Design Standards for PAD's and the approved Development Guide, and any other conditions deemed necessary by the City of Casa Grande Council.

Santa Cruz Village

Appendix A Residential Development Standards

Appendix A

1.0 Residential Development Standards

Santa Cruz Village has been designed to incorporate as many of the City of Casa Grande's Residential Design Standards for Planned Area Developments as possible. The following outlines how the design of **Santa Cruz Village** has met or exceeded these standards.

1.1 Mandatory PAD Layout and Design Standards

1.1.1 Open Space

Approximately 43.6 acres of open space is to be landscaped as inviting recreational areas and pedestrian corridors. The open space equates to approximately 26.6% of the total site or 31.1% of the residential portion of the site. This open space percentage is almost twice the 15% open space required by the City for PAD's. The floodway accounts for approximately 15.7% of the site's open space area. Approximately 11% of the overall site and 15.9% of the residential portion of the project is open space exclusive of the floodway. The internal open space areas are centralized as much as possible to maximize use by all of the community. Every home within **Santa Cruz Village** will be within 1000 feet of a pathway or open space area. A Homeowners Association will be formed to maintain all landscape tracts.

The open spaces are strategically located for high visibility and serve as pedestrian/bike pathways through the site. Numerous interior roads terminate with views into open space areas. These open spaces are connected by a series of pedestrian pathways and paths, which serve to physically and visually tie the neighborhood together.

The open space areas were designed to retain storm water generated on the site in an aesthetically-pleasing design. Many of the proposed open space areas will provide retention for the project. Creatively designed, these retention basins will utilize varied side slopes, varied plant massing, and curvilinear pedestrian pathways in order to make the basins pleasant open space and recreational

areas. At least 15% of the retention basins that are designed for recreational usage will be elevated above the 25-year flood-water surface elevation. Drywells will be utilized in all retention basins and will be in sufficient number to comply with the City of Casa Grande drainage design guidelines.

A final landscape and open space amenity plan, meeting the approval of the City Planning and Development Director, shall be submitted prior to the approval of any Final Subdivision Plats for the property.

1.1.2 Multi-Story Homes

No multi-story homes shall be built on corner or end lots.

1.1.3 Streetscapes and Entrances

The perimeter wall design as depicted in this document illustrates the use of varied material including block and cultured stone. The theme wall will consist of smooth and split-face 8" x 8" scored CMU block with stone veneer pop-outs located approximately 180 feet on center. See Wall Exhibit included in this Development Guide. In addition, the walls will have 2-foot horizontal offsets approximately 120 – 180 feet apart in order to create visual "stagers" in the wall. Wall details and colors shall be submitted for the review and approval of the City Planning and Development Director.

A minimum 12' wide landscape tract shall be provided adjacent to arterial and collector roadways. Attractive entry monumentation similar to the features depicted in this document will be installed by the developer and will promote the sense of arrival and a high-quality residential community. Stamped and colored concrete or pavers will be installed at the entries from the arterial roadways.

1.1.4 Front Yard Landscaping

The developer will offer to the homebuyer a selection of front yard landscape packages. The front-yard landscaping will be installed by the developer within three weeks of home occupancy and will be maintained by the individual homebuyer. Front yard landscape packages will include a variety of water-

conserving plants, ground covers, and vines. A minimum of two fifteen-gallon trees, eight five-gallon shrubs or accent plants, and twelve one-gallon ground cover plants, plus an irrigation system and granite rock topping is required for each lot. Turf will not be offered by the developer/homebuilder as a front-yard landscape option. Decomposed granite or river rock will cover all exposed areas. A minimum of four standard landscape plans shall be offered and one plan shall include river run design that uses 3"-8" river rock or fractured granite.

1.1.5 Miscellaneous

Side yard fence returns for all interior lot walls shall extend to within 10 feet (10') of the front corner of the homes. All walls exposed to the public shall be painted the color of the primary decorative theme or perimeter walls, except walls for individual home lot may be the color of the residence.

1.2 Additional Requirements for PAD Layout and Design

The following seven additional development standards will be utilized at **Santa Cruz Village**.

- Curvilinear street system. The project has been designed with a curvilinear street system. The streets were designed in a discontinuous manner so as to discourage cut-through traffic and as a traffic slowing measure. In addition, numerous cul-de-sac designs have been utilized.
- Stamped concrete. Pavers or colored stamped concrete will be located at the entries into the development at the arterial intersections and at multi-use path crossings as depicted on the Site Plan. All paver or colored stamped concrete treatments shall be maintained to the City Engineer's satisfaction by the homeowner's association or may be maintained by City upon approval of City Engineer.
- Stagger front yard setbacks. The developer proposes to vary the building relationship to the street by providing alternating setbacks on every third or fourth lot with a front-loaded garage. Front-loaded garages will vary in setback from 20 feet to 23 feet. The minimum setback for front porches, side-entry garages and livable areas, which project in front of the front-loaded garage, shall be 15 feet.

- Multi-Use Path. A 10-foot wide concrete path and 5-foot wide concrete walks will meander through the development's proposed open space corridors physically tying the community together. The internal path (10-foot wide) and walkway (5-foot wide) network shall be designed to provide safe and convenient connections/linkages to all open space amenities and the adjacent school site. All walkways and paths will be constructed of concrete and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director. Except for those located within public right-of-way, all paths and walks shall be covered by pedestrian public access easements, if requested by the City.
- Enhanced Subdivision Entries. The entrances to **Santa Cruz Village** shall be designed to create a sense of arrival. Attractive entry monumentation as depicted in this document will be installed by the builder/developer and will promote the sense of a high-quality residential and commercial development.
- Landscape Buffers. Landscape tracts/buffers are provided along all arterial and collector roadways as depicted in this document.
- Enhanced Perimeter Wall Design. The perimeter wall design as depicted in this document illustrates the use of varied materials including block and cultured stone. The theme wall will consist of smooth face 8" x 8" scored CMU block with a 8" x 8" split-face block band and decorations and cultured stone veneer pop-outs located approximately 180' on center. In addition, the walls will have 2' horizontal offsets approximately 120' – 180' apart in order to create visual "stagers" in the wall.

2.0 Mandatory Residential PAD Architectural Standards

The residential product for **Santa Cruz Village** has not been determined at this time. As the developer is not a homebuilder and an actual homebuilder has not be established for the site, actual building elevations and floor plans are not included in this document. The product, once established will have architectural diversity while still maintaining a cohesive architectural theme and character. The product built at **Santa Cruz Village** will incorporate architectural elements that will help create a diverse and aesthetically pleasing street scene. Product elevations and floor plans will be presented to the City of Casa Grande Planning and Development Department and City Planning and Zoning

Commission for review and approval prior to City Council approval of the final subdivision plats.

2.1 Floor Plans and Elevations

- A minimum of five home floor plans, each with three distinct elevations, will be offered within each definitive housing price range or product type.
- A minimum of five distinct home color schemes will be offered within each definitive housing price range or product type.
- The developer/homebuilder will not allow two homes with the same front elevation or color schemes to be located on adjacent lots or across from each other within **Santa Cruz Village**. A variety of architectural design features will be incorporated into each home elevation to promote diversity from home to home.
- There will not be any more than three consecutive similar rear home elevations for homes backing on Rodeo Road or Pinal Avenue.
- Emphasis will be placed on the front elevations of homes. Front entries will be visible from the street.
- Emphasis will be placed on all elevations facing roadways and open space areas. Window pop-outs and/or similar architectural embellishments will be provided on all front, rear and side elevations where visible from the street or open space.

2.2 Roofs

- A variety of home roofing colors, shapes and/or textures will be offered. Concrete tile shall be utilized for all sloped roofs. The Planning and Zoning Commission may give consideration to alternate durable roof materials that are consistent with the housing theme of **Santa Cruz Village**.
- Unique roof colors will be matched to each home color scheme.
- Residential dwelling units and accessory buildings/structures will have no roof-mounted or wall-mounted mechanical equipment including HVAC, or evaporative coolers. All such equipment must be ground-mounted.
- Covered patio areas shall be incorporated into the architecture of the home.

- Stuccoed patio cover columns will be provided. Patio roofs will use the same materials as on the remainder of the home's roof. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Development Director.

2.3 Garages

- On lots that are at least typically seventy feet (70') wide, at least one elevation per floor plan per parcel or product type will be designed with a standard side entrance garage.
- No garage will extend forward of a home's livable area or covered front porch by more than ten feet (10').
- At least one elevation per floor plan per parcel or product type will have the livable area of the home forward of the garage.
- Front-loaded garage doors will not exceed fifty percent (50%) of the house width (frontage). Where more than a two-car wide front-entry garage can be accommodated under this requirement, the additional garage bay shall be architecturally designed to appear separate and distinct from the remainder of the garage. In addition, pavers or landscaping shall be used to separate the driveway for the third garage bay.

2.4 Additions and Modifications

- All additions to homes shall be constructed of the same building materials as the principal residence and painted to complement the home.
- Garages shall not be converted or enclosed for other uses.
- Accessory buildings shall be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence.

2.1 Additional Requirements for PAD Residential Architecture

Four of the standards listed below will be mandatory for the developer to implement at **Santa Cruz Village**. These additional requirements for PAD residential architecture will

be presented to the Planning and Zoning Commission prior to approval of the final subdivision plats.

- Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
- Provide unique architectural features, such as covered front porches, and front and corner side bay windows as a standard features on at least one elevation per floor plan.
- Reduce the number of standard front-loaded garages. At least one elevation per floor plan per product type shall have the garage located behind the livable area of the home as a standard feature. In addition, the number of floor plans using side-loaded garages as standard features shall be increased from the minimum required.
- Provide covered rear patios as standard features on all homes.
- Applicant's choice. An opportunity for creativity and design innovation is provided here.

Santa Cruz Village

Exhibit A Preliminary Development Plan

Preliminary Development Plan For

Santa Cruz Village

Developer/Owner:

Casa Grande Land
Equity Investors, L.P.
9735 North 90th Place, #150
Scottsdale, Arizona 85258
Phone: 480.314.4222
Fax: 480.314.4333
Contact: John Deakin

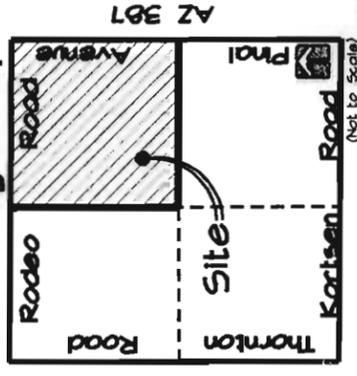
Land Planner:

Arizona Land Design
5202 E. Oakhurst Way
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Phone: 480.951.6410
Fax: 480.315.8698
Contact: Christine Taratsas, R.L.A.

Engineer:

Humm & Associates, Inc.
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Phoenix, AZ 85012
Phone: 602.279.0004
Fax: 602.279.0005
Contact: Dave Lipinski

Vicinity Map

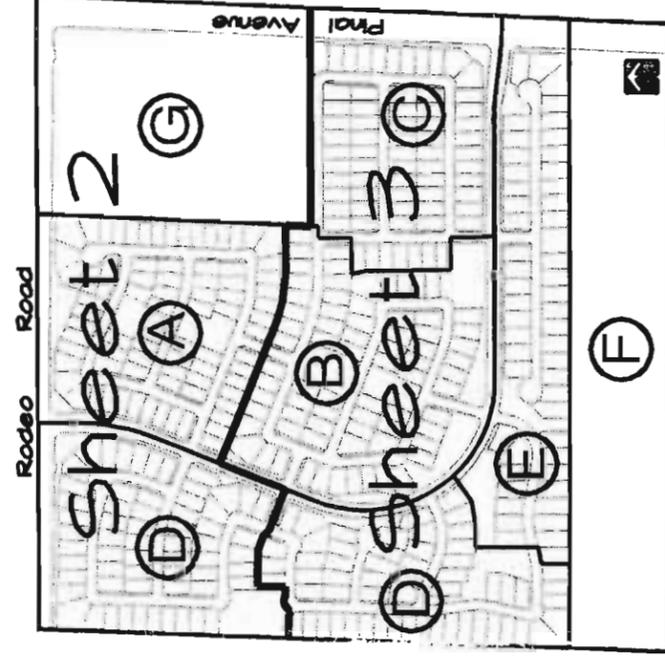


JOB# 01.27
DATE: 12/05/01
REV.: 02/04/02
REV.: 02/28/02

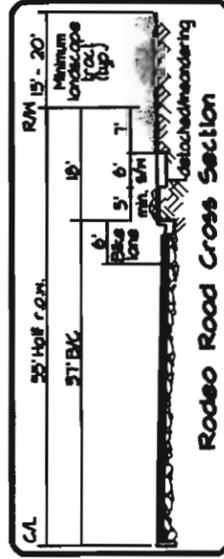
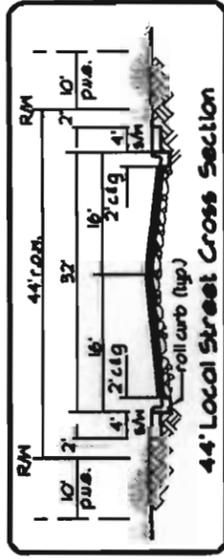
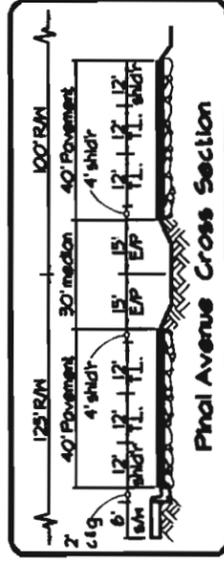
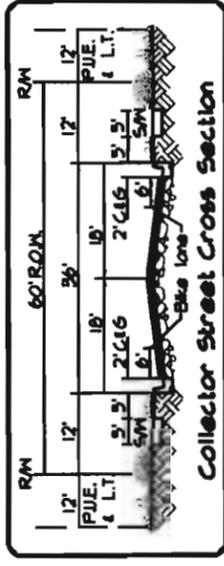
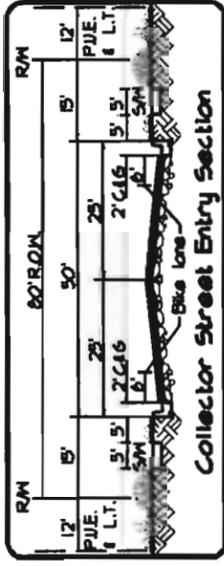


Tract Table

TRACT	AREA	PROPOSED USE	TRACT	AREA	PROPOSED USE
2	11 AC.	18'-20' LANDSCAPE TRACT/OPEN SPACE	26	65 AC.	RETENTION/OPEN SPACE
3	75 AC.	RETENTION/OPEN SPACE	27	05 AC.	10' SIDE YARD LANDSCAPE TRACT
4	07 AC.	10' SIDE YARD LANDSCAPE TRACT	28	129 AC.	LANDSCAPE TRACT/OPEN SPACE
5	05 AC.	10' SIDE YARD LANDSCAPE TRACT	29	05 AC.	10' SIDE YARD LANDSCAPE TRACT
6	10 AC.	10' SIDE YARD LANDSCAPE TRACT	30	01 AC.	13'-15' x 18'-20' LANDSCAPE TRACT/0.5
7	46 AC.	RETENTION/OPEN SPACE	31	05 AC.	10' SIDE YARD LANDSCAPE TRACT
8	05 AC.	10' SIDE YARD LANDSCAPE TRACT	32	03 AC.	13'-15' LANDSCAPE TRACT/OPEN SPACE
9	04 AC.	13'-15' LANDSCAPE TRACT/OPEN SPACE	33	05 AC.	10' SIDE YARD LANDSCAPE TRACT
10	02 AC.	10' SIDE YARD LANDSCAPE TRACT	34	05 AC.	10' SIDE YARD LANDSCAPE TRACT
11	02 AC.	10' SIDE YARD LANDSCAPE TRACT	35	22 AC.	13'-15' LANDSCAPE TRACT/OPEN SPACE
12	05 AC.	10' SIDE YARD LANDSCAPE TRACT	36	13 AC.	RETENTION/OPEN SPACE
13	02 AC.	10' SIDE YARD LANDSCAPE TRACT	37	05 AC.	10' SIDE YARD LANDSCAPE TRACT
14	02 AC.	10' SIDE YARD LANDSCAPE TRACT	38	05 AC.	10' SIDE YARD LANDSCAPE TRACT
15	14 AC.	13'-15' LANDSCAPE TRACT/OPEN SPACE	39	50 AC.	13'-15' LANDSCAPE TRACT/OPEN SPACE
16	05 AC.	10' SIDE YARD LANDSCAPE TRACT	40	10 AC.	RETENTION/OPEN SPACE
17	05 AC.	10' SIDE YARD LANDSCAPE TRACT	41	14 AC.	RETENTION/OPEN SPACE
18	02 AC.	10' SIDE YARD LANDSCAPE TRACT	42	05 AC.	10' SIDE YARD LANDSCAPE TRACT
19	03 AC.	10' SIDE YARD LANDSCAPE TRACT	43	11 AC.	13'-15' LANDSCAPE TRACT/RETENTION/0.5
20	05 AC.	10' SIDE YARD LANDSCAPE TRACT	44	21 AC.	RETENTION/OPEN SPACE
21	05 AC.	10' SIDE YARD LANDSCAPE TRACT	45	60 AC.	13'-15' LANDSCAPE TRACT/OPEN SPACE
22	47 AC.	10' 13'-15' 18'-20' SIDE YARD L.T./0.5	46	30 AC.	10' 13'-15' LANDSCAPE TRACT/0.5
24	17 AC.	LANDSCAPE TRACT/OPEN SPACE	47	24.5 AC.	RETENTION/OPEN SPACE
25	05 AC.	10' SIDE YARD LANDSCAPE TRACT	48	0.1 AC.	10' 13'-15' LANDSCAPE TRACT/0.5
					TOTAL OPEN SPACE=44.3 ACRES



Parcel Location Map



TYPICAL STREET SECTIONS

Residential Development Guidelines

Parcel	Proposed Zoning	Minimum Lot Area	Lot Size	Minimum Yard Setbacks			Maximum Bldg. Height	Maximum Lot Coverage	P.A.D. Perimeter
				Front	Rear	Side (Interior) (Corner)			
A	P.A.D.	6,050 s.f.	50' x 110'	15'-25'	20'	5' x 10'	28'-2 story	50%	10'
B	P.A.D.	7,000 s.f.	65' x 117'	15'-25'	20'	5' x 10'	28'-2 story	50%	10'
C	P.A.D.	7,000 s.f.	65' x 117'	15'-25'	20'	5' x 10'	28'-2 story	50%	10'
D	P.A.D.	7,000 s.f.	65' x 117'	15'-25'	20'	5' x 10'	28'-2 story	50%	10'
E	P.A.D.	8,250 s.f.	70' x 115'	15'-25'	20'	5' x 10'	28'-2 story	50%	10'

- 15' to livable portion of home or covered porches 20'-29' min. to front loaded garage.
- Side loaded garages can be setback a minimum of 15'.
- Landscape tracts provided adjacent to all corner lots. Minimum of 10' Tracts and minimum of 5' Building setback from tract.
- A minimum of 15' separation shall be provided between a multi-story home and any other home.

Site Summary Table

Parcel	Existing Zoning	Proposed Zoning	Proposed Use	Gross Area	Net Area	Yield	Gross Density	**Net Density
A	R-1R-2R-3	PAD	Single Family	20.31 AC.	14.17 AC.	78 Lots	3.8 DU/AC	4.1 DU/AC
B	B-2R-3	PAD	Single Family	23.02 AC.	23.02 AC.	73 Lots	3.2 DU/AC	3.2 DU/AC
C	B-2R-3	PAD	Single Family	10.46 AC.	10.14 AC.	68 Lots	3.7 DU/AC	4.2 DU/AC
D	R-1	PAD	Single Family	33.64 AC.	32.44 AC.	116 Lots	3.4 DU/AC	3.6 DU/AC
E	B-2	PAD	Single Family	17.42 AC.	16.81 AC.	52 Lots	3.0 DU/AC	3.1 DU/AC
F	R-1	PAD	Floodway/oa.	25.67 AC.	24.46 AC.	0 Lots	0.0 DU/AC	0.0 DU/AC
Subtotal				136.57 AC.	131.84 AC.	367 Lots	2.8 DU/AC	2.9 DU/AC
Non-Residential Total				25.07 AC.	20.22 AC.	0 Lots	0.0 DU/AC	0.0 DU/AC
Total				163.64 AC.	151.84 AC.	367 Lots	2.4 DU/AC	2.5 DU/AC

*OPEN SPACE AREA EQUATES TO 26.6% OF TOTAL SITE, OR 31.8% OF RESIDENTIAL PORTION OF SITE.
 **NET DENSITY INCLUDES ALL LANDSCAPE TRACTS.
 ***YIELD MAY VARY BASED ON FINAL FLAT APPROVAL.

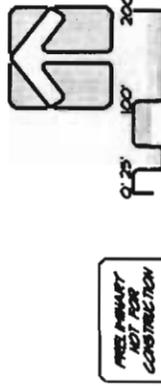
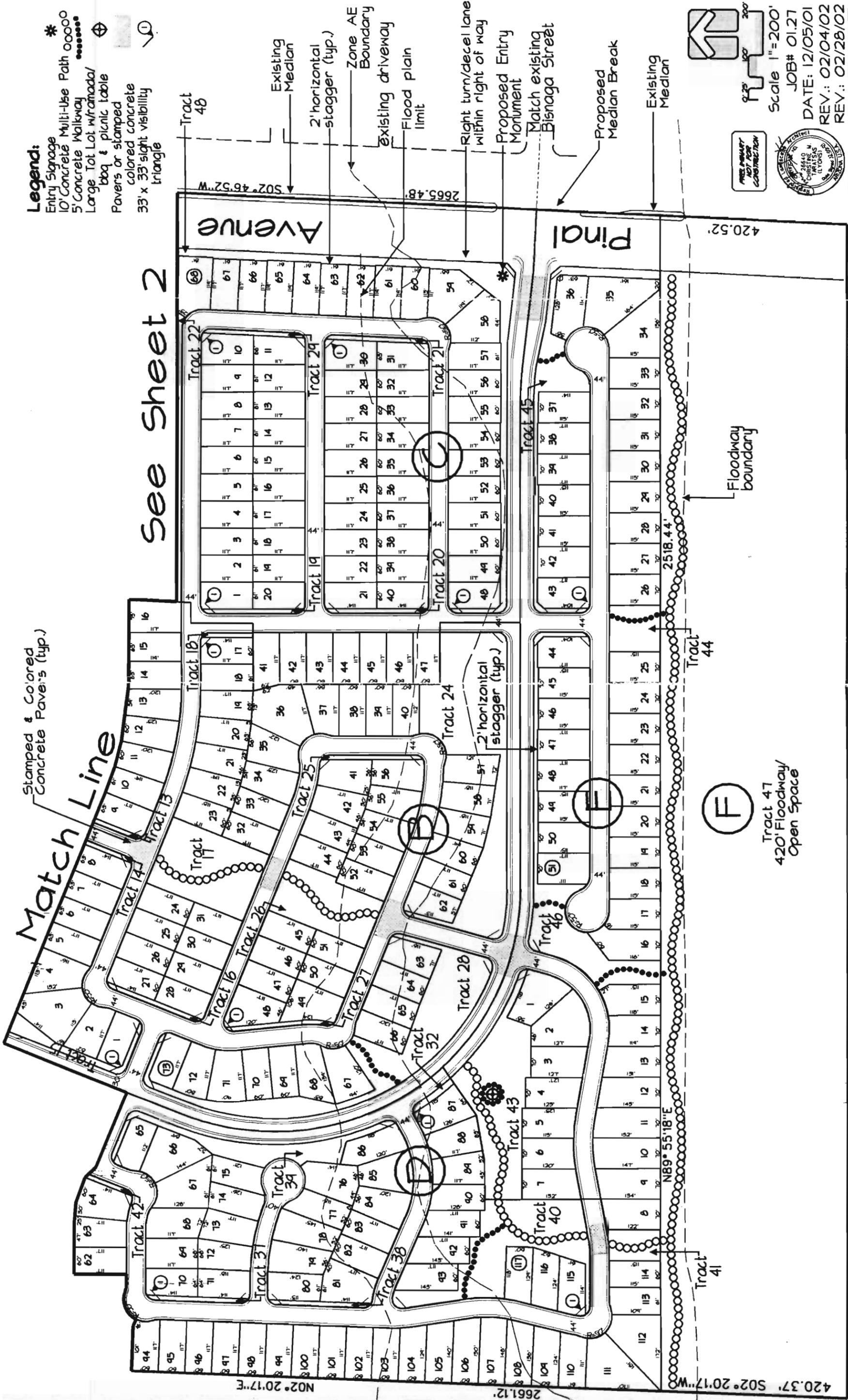
Legend:

- Entry Signage *
- 10' Concrete Multi-Use Path ○○○○○○
- 5' Concrete Walkway ●●●●●●●●
- Large Tot Lot w/framada/ bbq & picnic table
- Pavers or stamped colored concrete
- 33' x 33' sight visibility triangle

Stamped & Colored Concrete Pavers (typ.)

Match Line

See sheet 2



Scale 1" = 200'
 JOB# 01.27
 DATE: 12/05/01
 REV.: 02/04/02
 REV.: 02/28/02



2660.37'

NB9° 55'18"E

420.52'

F

Tract 47
 420' Floodway/
 Open Space

F

F

F

F

Santa Cruz Village

Exhibit B Conceptual Landscape Plan



SITE PLAN
12.14.01
10P
DP



CONCEPTUAL SITE PLAN*
SCALE: 1" = 60'-0"
NORTH



*Subject to Major Site Plan review and approval by City and ADOT approval

SITE DATA

TOTAL SITE AREA NET	880,000 S.F. (20.20 AC.)
PHARMACY SITE	81,650 S.F. (1.87 AC.)
RETAIL SITE	798,350 S.F. (18.33 AC.)
BUILDING AREAS	
PHARMACY	15,083 SF
RETAIL	152,650 SF
RESTAURANT	20,000 SF
TOTAL	192,733 SF
% COVERAGE	
PHARMACY SITE	18.47%
RETAIL SITE	22.25%
TOTAL	21.90%
PARKING REQUIRED	
PHARMACY	61 SPACES
RETAIL	631 SPACES
RESTAURANT	280 SPACES
TOTAL	952 SPACES
PARKING PROVIDED	
PHARMACY	80 SPACES
RETAIL/RESTAURANT	880 SPACES
TOTAL	960 SPACES

Santa Cruz Village

Exhibit C Conceptual Pocket Park Exhibit



Santa Cruz Village

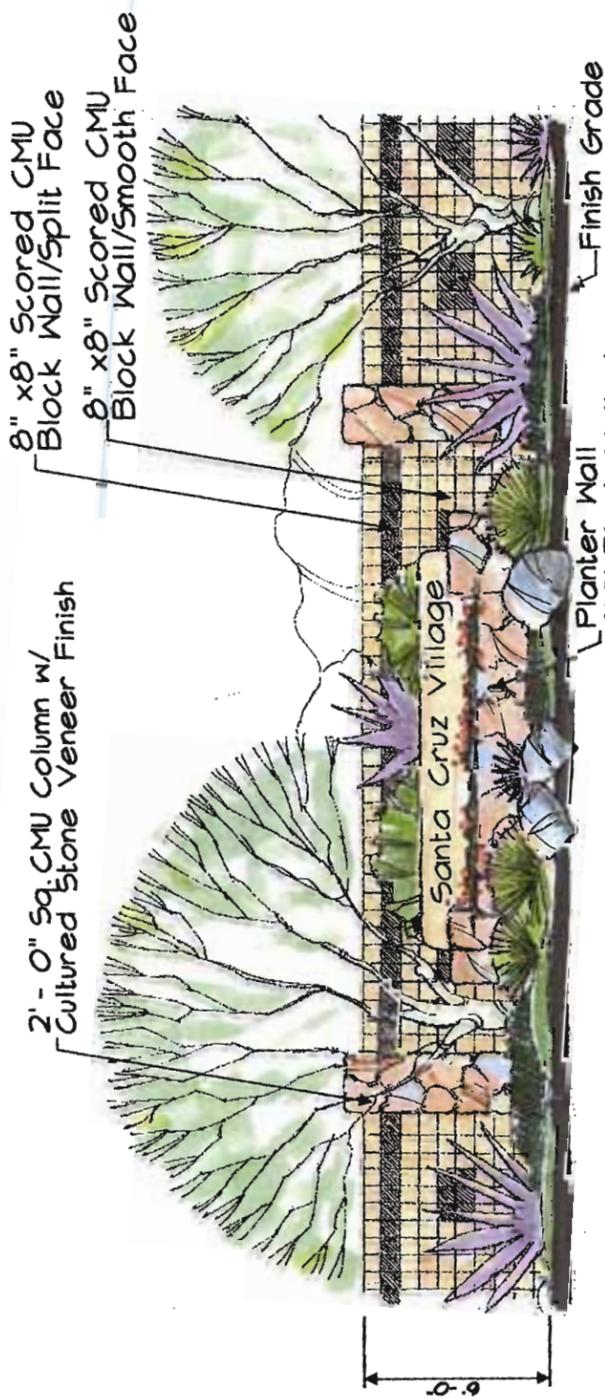
Pocket Park Exhibit



JOB# 0137
 DATE: 12/05/01
 REV: 02/04/02

Santa Cruz Village

Exhibit D Walls/Entry Feature



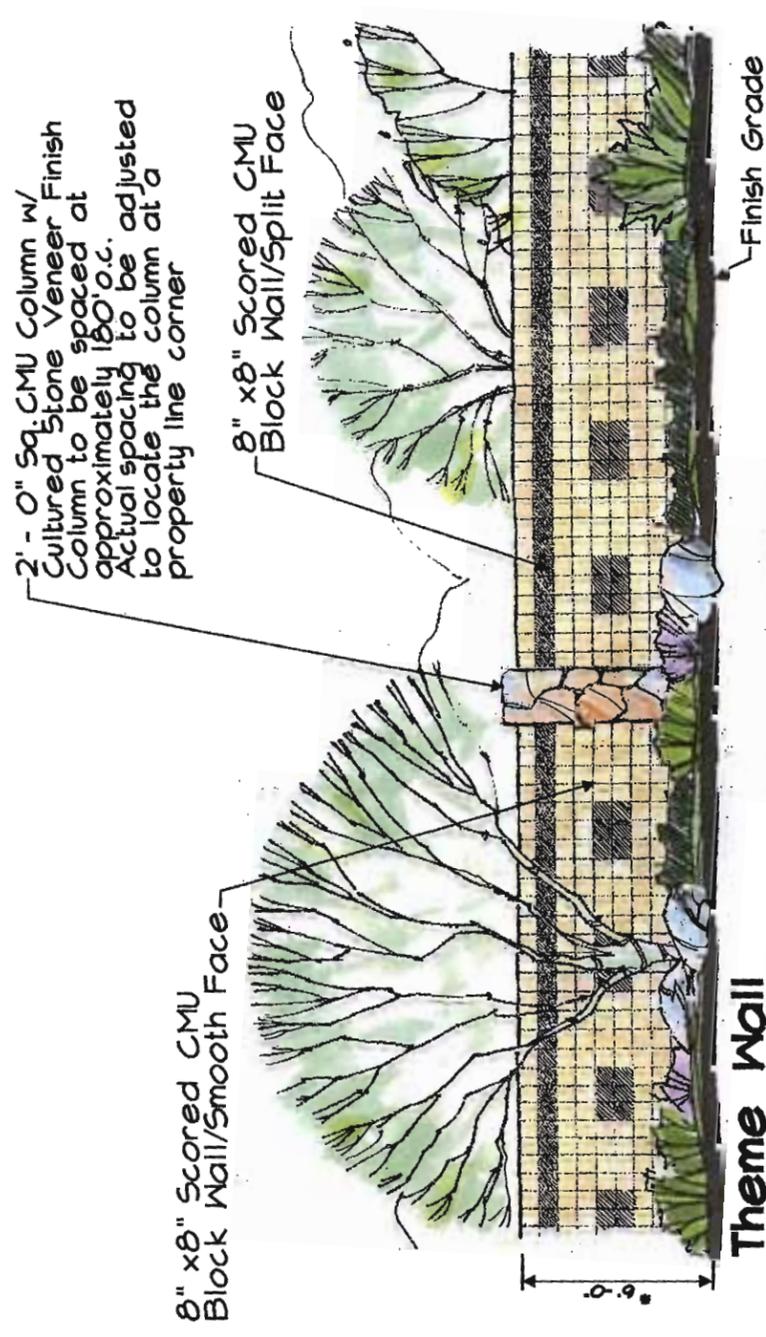
Subdivision Entry Signage

Not to Scale



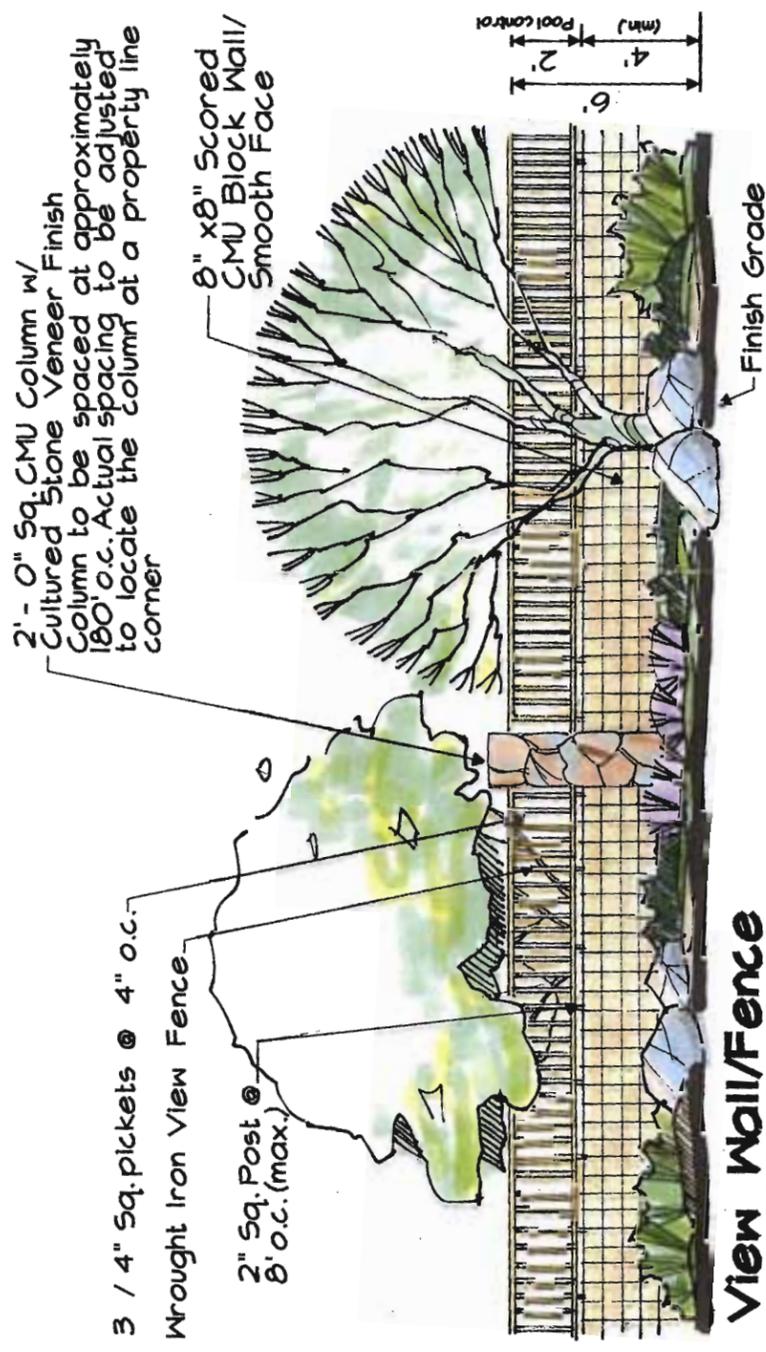
Subdivision Block Wall

*1' on portion adjacent to commercial lot



Theme Wall

*1' on portion adjacent to commercial lot



View Wall/Fence

Not to Scale

2'-0" Sq. CMU Column w/ Cultured Stone Veneer Finish Column to be spaced at approximately 180" o.c. Actual spacing to be adjusted to locate the column at a property line corner

2'-0" Sq. CMU Column w/ Cultured Stone Veneer Finish Column to be spaced at approximately 180" o.c. Actual spacing to be adjusted to locate the column at a property line corner

3 / 4" Sq. pickets @ 4" o.c.
Wrought Iron View Fence
2" Sq. Post @ 8' o.c. (max.)

8" x 8" Scored CMU Block Wall/Smooth Face

8" x 8" Scored CMU Block Wall/Smooth Face

Santa Cruz Village

Typical Wall Elevations/ Entry Monument Exhibit



Santa Cruz Village

Conceptual Landscape Exhibit

Developer/Owner:

Casa Grande Land
Equity Investors, L.P.
9135 North 90th Place, #150
Scottsdale, Arizona 85258
Phone: 480.314.4222
Fax: 480.314.4333
Contact: John Deakin

Land Planner:

Arizona Land Design
5202 E. Oakhurst Way
Scottsdale, AZ 85254
Phone: 480.951.6410
Fax: 480.315.8698
Contact:
Christine Taratsas, R.L.A.

Engineer:

Hunn & Associates, Inc.
2901 N. Central Ave. #1644
Phoenix, AZ 85012
Phone: 602.279.0004
Fax: 602.279.0005
Contact: Dave Lipinski

Trees (min. 24" box)

 CERICIDIUM SP.
 PROSORPIS SP.
 OLNEYA SP.
 IRONWOOD
 ACACIA SP.

Shrubs/Accents (min. 5 gallon)

 LEUCOPYLLUM SP.
 CAESALPINIA SP.
 SALVIA SP.
 RUELLIA SP.
 DALEA SP.
 TELOMA SP.
 CALLIANDRA SP.
 CASSIA SP.

Groundcovers (min. 1 gallon)

 LANTANA SP.
 VERBENA SP.
 GAZANIA SP.

Turf Areas

 ALL TURF TO BE SEEDED BERMUDA



Notes:

- *ALL IDECOMPOSED GRANITE TO BE 1/2" MINUS OR LARGER DESERT GOLD.
- *ALL RIVER ROCK TO BE 6" - 8" SALT RIVER TYPE.



Right turn/decel lane

Stamped & Colored Concrete Pavers (typ.)

Proposed Entry Monument

Right turn/decel lane

Neighborhood Commercial

small tot lot

ramada w/ barbecue picnic tables

turf

10' concrete multi use trail (typ.)

turf

ramada w/ barbecue picnic tables

turf

bench

5' concrete walkway

5' concrete walkway

large tot lot

Stamped & Colored Concrete Pavers (typ.)

Right turn/decel lane within right of way

Proposed Entry Monument

Stamped & Colored Concrete Pavers (typ.)

5' concrete walkway

5' concrete walkway

420' Floodway Open Space

1' sidewalk (typ.)

concrete header (typ.)

10' concrete multi use trail (typ.)

Santa Cruz Village

Exhibit E Conceptual Wall Exhibit

Santa Cruz Village Conceptual Wall Exhibit

Developer/Owner:

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Equity Investors, L.P.
9755 North 90th Place, #150
Scottsdale, Arizona 85258
Phone: 480.314.4222
Fax: 480.314.4333
Contact: John Deakin

Land Planner:

Arizona Land Design
5202 E. Oakhurst Way
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Phone: 480.951.6410
Fax: 480.315.8698
Contact:
Christine Taratsos, R.L.A.

Engineer:

Hunn & Associates, Inc.
2901 N. Central Ave. #1644
Phoenix, AZ 85012
Phone: 602.279.0004
Fax: 602.279.0005
Contact: Dave Lipski

Legend:

- Theme Wall 
- View Wall 
- 7' Block Wall 
- Block Subdivision Wall 

Note:

Wall and sign designs and colors subject to the review & approval of the Planning & Development Director



JOB# 0127
DATE: 12/05/01
REV.: 02/04/02



Santa Cruz Village

Exhibit F Conceptual Neighborhood Commercial Site Plan

Santa Cruz Village

Exhibit G Topographical Exhibit

Santa Cruz Village Topographical Exhibit

Developer/Owner:

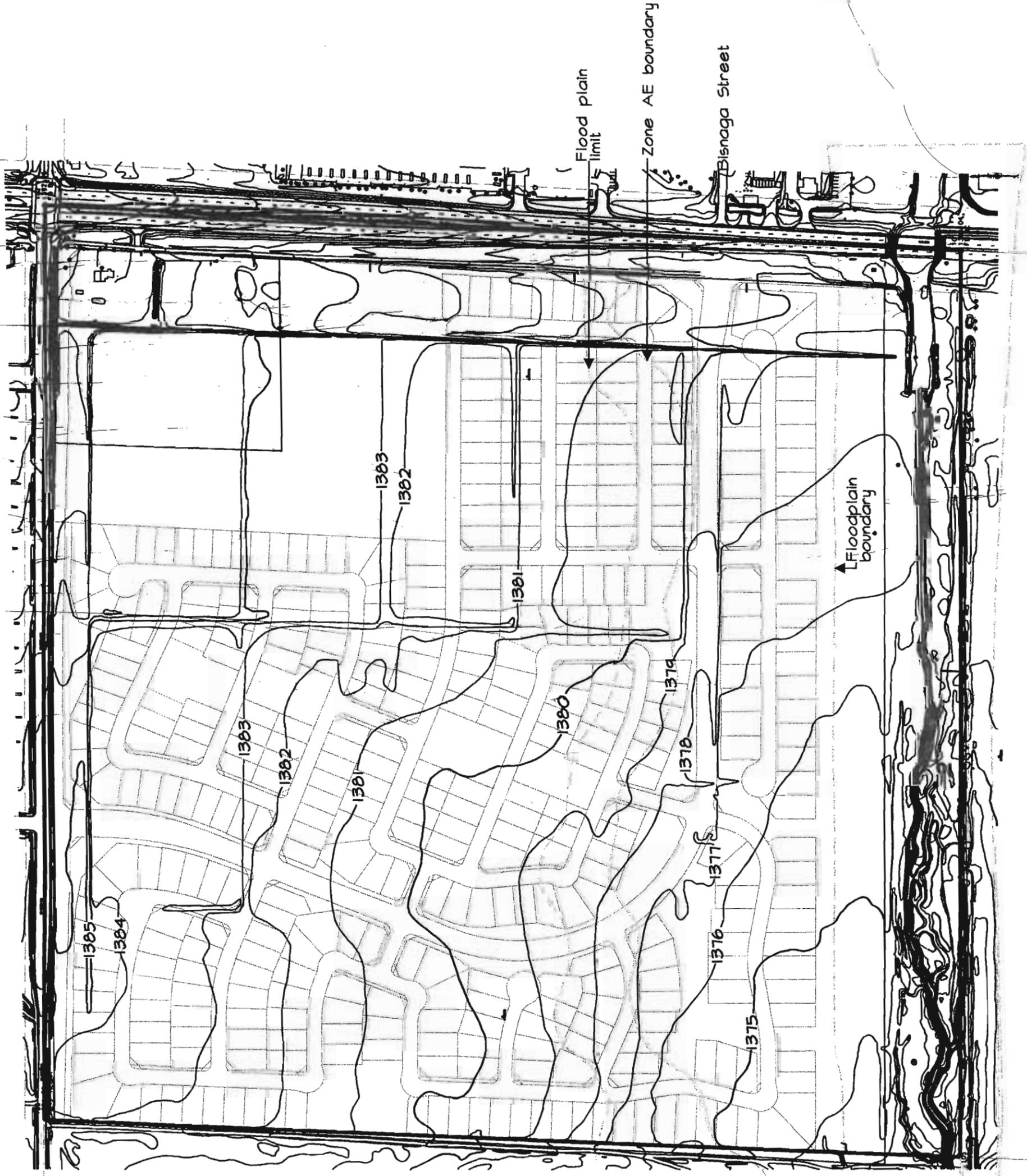
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Engineer:

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Phoenix, AZ 85012
Phone: 602.279.0004
Fax: 602.279.0005
Contact: Dave Lipinski



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DATE: 12/05/01
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REV.: 02/28/02



Santa Cruz Village

Exhibit H Phasing Exhibit

Santa Cruz Village Phasing Exhibit

Developer/Owner:

Casa Grande Land
Equity Investors, L.P.
9735 North 90th Place, #150
Scottsdale, Arizona 85258
Phone: 480.314.4222
Fax: 480.314.4333
Contact: John Deakin

Land Planner:

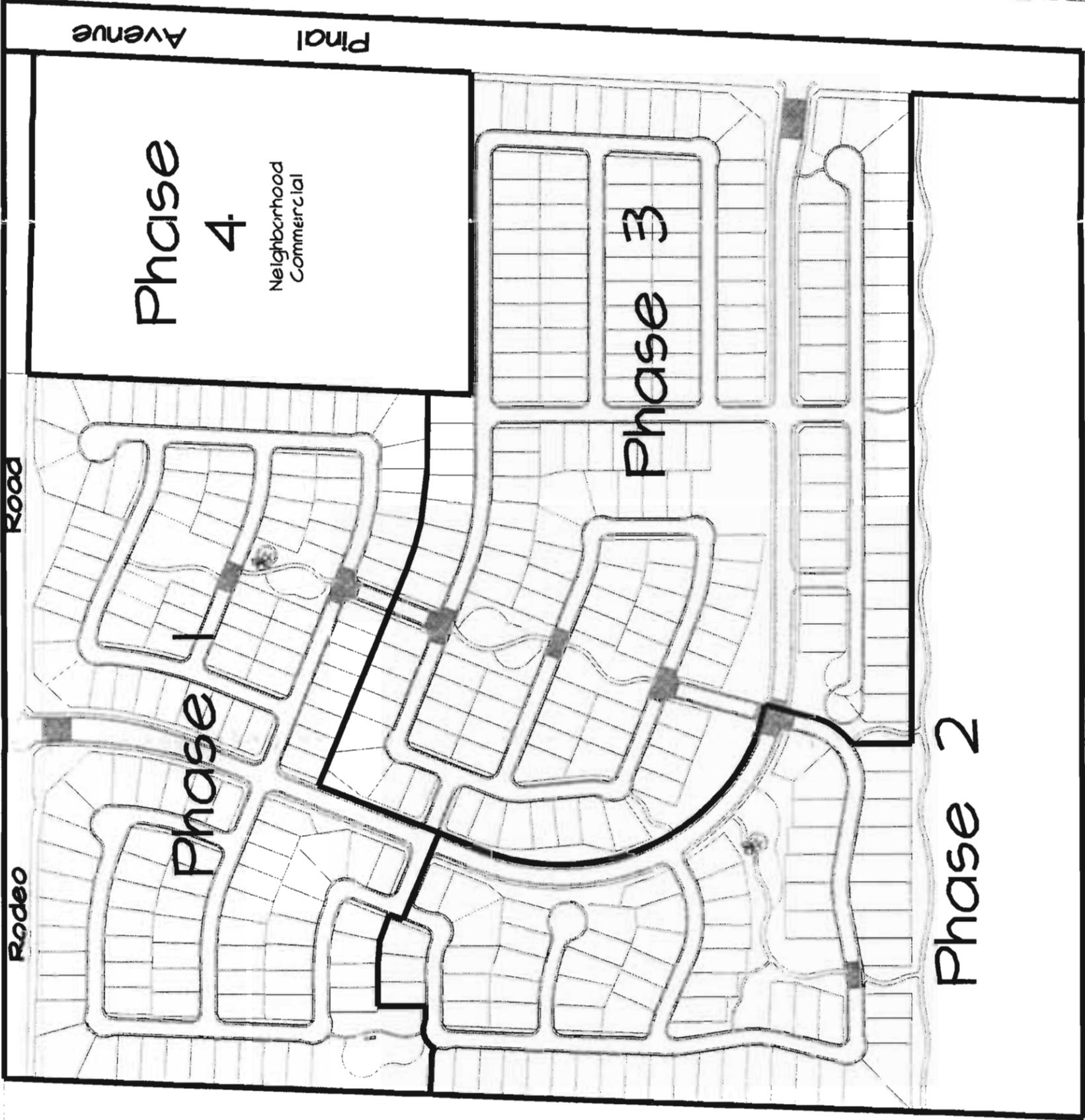
Arizona Land Design
5202 E. Oakhurst Way
Scottsdale, AZ 85254
Phone: 480.951.6410
Fax: 480.315.8698
Contact:
Christine Taratsos, R.L.A.

Engineer:

Hunn & Associates, Inc.
2901 N. Central Ave. #1644
Phoenix, AZ 85012
Phone: 602.279.0004
Fax: 602.279.0005
Contact: Dave Lipinski

Notes:

- All Pinal Avenue Improvements to be completed with Phase 3
- All Rodeo Road Improvements to be completed within Phase 1



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