

# SK RANCH

## AMENDED P.A.D. DEVELOPMENT GUIDE

JULY, 1999

**TABLE OF CONTENTS**

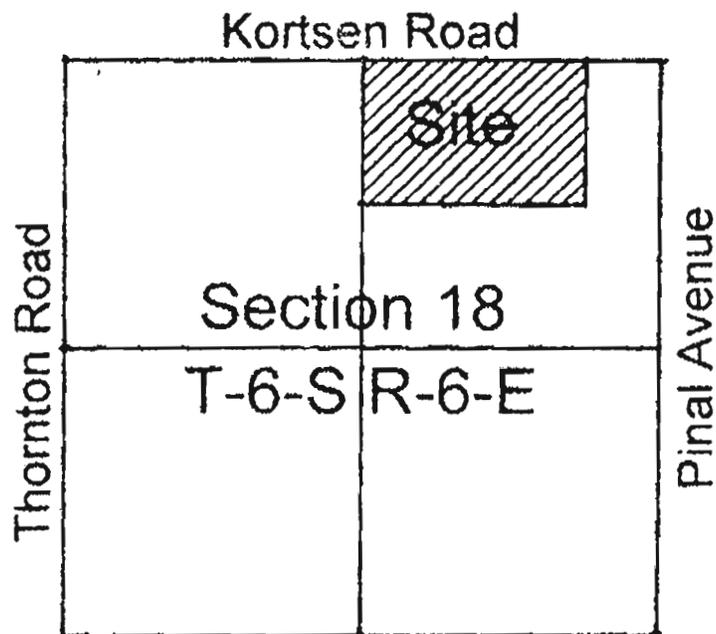
1.	Introduction .....	1
2.	Conformance with General Plan .....	2
3.	Plan Data .....	2
4.	On and Off-Site Improvements .....	3
5.	Open Space and Common Facilities .....	4
6.	Phasing .....	4
7.	Architectural Style/Materials .....	4
8.	Landscape Theme .....	5
	A. Trees .....	5
	B. Shrubs .....	6
	C. Groundcovers/Herbaceous Plants .....	7
	D. Succulents .....	8
	E. Annuals/Perennials .....	8
9.	Walls .....	9
	A. Perimeter Wall .....	9
	B. View Wall .....	9
10.	Internal Path System .....	9
11.	Signs .....	10
	A. Subdivision/Project Entry Signs .....	10

## EXHIBITS

- Exhibit A - Concept Landscape Development Plan
- Exhibit B - Typical Lots and Setbacks
- Exhibit C - Collector and Local Streets
- Exhibit D - Central Open Space Corridor
- Exhibit E - Perimeter Open Spaces
- Exhibit F - Phasing
- Exhibit G - Project Perimeter Walls
- Exhibit H - Solid Perimeter and View Walls
- Exhibit I - Signage and Trails
- Exhibit J - Drainage/Open Space Detail
- Exhibit K - Entry Signage Wall

## 1. Introduction

"SK Ranch" is an existing Residential P.A.D. zoned community in the City of Casa Grande, which contains 60.14 acres of land lying on the south side of Kortsen Road and west of Pinal Avenue. This Amended P.A.D. Development Guide for SK Ranch is prepared for the purpose of amending the existing approved Land Use Site Plan prepared by G. William Larson Associates, dated July 31, 1997, on file with the City of Casa Grande, and its associated development guidelines, zoning and stipulations. Under the current P.A.D. zoning approval, the subject property consists of a combination of single-family, multi-family and patio home dwelling units. Under the Amended P.A.D., the entire property will be developed as single-family detached homes. A conceptual landscape development plan is attached hereto as **Exhibit A**.



**Location Map: Not to Scale**

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## 2. Conformance with General Plan

The General Plan recommends a land use classification of Medium and High Density Residential. The SK Ranch Amended P.A.D. consists of 4.67 d.u./acre, which conforms with the General Plan.

## 3. Plan Data

The current P.A.D. zoning for this property includes multi-family, patio homes and single family detached units as follows:

- ▶ Multi-Family - 144 units
- ▶ Patio Homes - 95 lots @ 40 ft. x 100 ft.
- ▶ Single-Family - 142 lots @ 55 ft. x 110 ft. and 65 ft. x 110 ft.

The total number of dwelling units allowed under existing zoning is 381, for a total gross density of 6.30 d.u./acre. The total open space provided under the current zoning is 4.8 acres, or 7.9% of the project area.

This Amended P.A.D. consists of all single family detached dwelling units on 45 ft. x 110 ft. and 55 ft. x 110 ft. lots. See **Exhibit B**. The total number of dwelling units proposed is 281, for a gross density of 4.65 d.u./acre. This results in a decrease in overall gross density of 26.2% from the existing P.A.D. zoning in place on the property. Also, the proposed open space area for this project, including landscape, retention, parks and drainage conveyance is 8.21 acres or 13.6% of the project area. This is a 72.2% increase over the existing P.A.D. zoning allowance. A detailed breakdown of the site data is as follows:

### SITE DATA TABLE

<u>Lot Dimensions</u>	<u>No. of Lots</u>	<u>Min. Lot Area</u>	<u>% of Total Lots</u>
45 ft. x 110 ft.	134 lots	4,950 sq. ft.	47.5%
55 ft. x 110 ft.	147 lots	6,050 sq. ft.	52.5%

Total Number of Lots Proposed: 281 lots  
Total Gross Density of Project: 4.65 d.u./acre  
Total Area of Open Space: 8.21 Acres  
Open Space % of Project: 13.6%

## SETBACKS

Minimum Front Setback Proposed: 18 feet to garage face (driveway length no less than 18 feet)  
15 feet to living area

Minimum Rear Setback Proposed: 15 feet (20 feet for perimeter of P.A.D.)

Minimum Side Setback Proposed: 5 feet for one-story homes  
5 and 10 feet for 2-story homes (5 feet on one side and 10 feet on one side)

Minimum Corner Setback Proposed: 15 feet. In the case of a corner lot located adjacent to a landscaped tract which is a minimum of 10 feet in width, the landscaped tract may be included to

Perimeter of P.A.D.: 20 feet satisfy the 15-foot Minimum Corner Setback, provided that the residence on such lot shall set

Maximum Lot Coverage: 50% back 5 feet from the landscaped tract.

### **4. On and Off-Site Improvements**

The Developer shall participate in Improvement District 38 (for Kortsen Road) and/or otherwise be responsible for the construction of the south half of Kortsen Road (dedication of 55 ft. R.O.W. required) along its property, including installation of paving, striped bike lane, curb, gutter, a five foot wide sidewalk, and frontage landscaping. The Developer shall be responsible for the construction of the east half of Schultz Street (dedication of 40 ft. R.O.W. required) along its property, including installation of paving, striped bike lane, curb, gutter, a four foot wide sidewalk, and frontage landscaping. The Developer shall also be responsible for the construction of (and dedication of) all local streets to City standards, including the provision of sidewalks on both sides of the street and a local drive connection to the south. See **Exhibit C**.

The Developer believes that there is existing capacity in the new parallel sewer line recently completed by the City in Kortsen Road. The Developer shall pay to City all applicable connection and capacity fees. If sewer capacity is not available, the Developer will be responsible for the costs of any infrastructure or capacity improvements reasonably necessary to benefit the development. Sewer facilities, street lights, and fire hydrants will be provided according to City codes and per the recommendations of the Engineering and Fire Departments.

Water service will be provided by Arizona Water Company subject to the Developer's compliance with the Arizona Department of Water Resources 100-year assured water supply requirements. Water lines serving the area will be extended to the subject site, subject to engineering plans approved by Arizona Water Company and the City.

The Developer shall be responsible to extend power, telephone, CATV and other dry utilities to the site under private agreements with the various utility providers. Onsite improvements including streets, sewer, water, dry utilities, retention areas, landscaping and park areas shall be constructed by the Developer in accordance with the PAD phasing plan. Any utilities running through the site or any utilities which need to be relocated or installed for the development of the site, shall be placed underground.

## 5. Open Space and Common Facilities

The open space and common areas shall be landscaped and improved by the Developer and shall be conveyed to and operated and maintained by a homeowners association to be formed by the Developer. See **Exhibit D**. Open spaces adjacent to Kortsen Road and Ventura Boulevard will be landscaped to enhance the standard R.O.W. landscape and will alleviate the potential monotony of linear roadway planting. See **Exhibit E**. These parcels will be subjected to a Declaration of Covenants, Conditions, Restrictions and Easements ("*Declaration*") which shall be submitted to the City's Planning Department for prior approval. Approval by the City of the Declaration shall not make the City liable for the content and/or enforcement of the Declaration or lack thereof.

## 6. Phasing

At this time, it is anticipated that SK Ranch will be developed in 3 phases. See **Exhibit F**. Phase I, which will be the model phase, is expected to open in January 2000. Phase II, which will include construction of the central open space area, is expected to open in February 2000. Phase III is expected to open in July 2000. Buildout is anticipated to be complete in late 2000 or early 2001.

## 7. Architectural Style/Materials

The homes shall comply with the following requirements:

- A minimum of 4 home floor plans, each with 3 distinct elevations will be provided.
- A minimum of 3 distinct home color schemes will be provided.
- There shall not be any more than 2 consecutive similar front home elevations.
- There shall not be any more than 3 consecutive similar rear home elevations for homes backing an arterial or collector roadway.

- All homes will have tile roofs and a minimum of 3 distinct tile colors shall be utilized.
- To encourage the development of homes having the livable portion of the home closer to the street than the garage, the home builder shall construct Kaufman and Broad ("K and B") Plan 1160 as a Model Home in Phase One (\*if K and B is not the builder, a similar plan type can be substituted).
- A less garage-dominated home design, such as offered by K and B Plans 1381, 1390, or 1419 shall be offered for the 55 ft. (typ.) wide lots. If any spec or model homes are constructed on the 55 ft. (typ.) wide lots, a home of this style shall be constructed (\*if K and B is not the builder, a similar plan type can be substituted).
- No 2-story homes shall be built on less than 6,000 square feet in area.
- Residential dwelling units shall have no roof-mounted mechanical equipment (e.g., HVAC, swamp coolers).

## 8. Landscape Theme

### A. Trees

#### Botanical Name

#### Common Name

Acacia spp.	Acacia/Wattle
Brachychiton populneus	Bottle Tree
Brahea Armata	Mexican Blue Palm
Caesalpinia spp.	Bird of Paradise
Celtis reticulata	Western Hackberry
Cercidium spp.	Palo Verde
Chamaerops humilis	Mediterranean Fan Palm
Chilopsis linearis	Desert Willow
Eucalyptus spp.	
Geijera parviflora	Australian Willow
Gleditsia triacanthos	Honey Locust
Lysiloma spp.	
Olea Europaea "Swan Hill"	Swan Hill Olive (or other non-pollen producing olive trees)
Oineya tosoa	Ironwood
Pinus canariensis	Canary Island Pine
Pinus eldanca	Afghan Pine

Trees (cont.)

Botanical Name

Common Name

Pistacia spp.  
Pittosporum phillyraeoides  
Prosopis spp.  
Rhus lancea  
Schinus terebinthifolius  
Ulmus parvifolia 'sempervirens'

Pistachio  
Willow Pittosporum  
Mesquite  
African Sumac  
Brazilian Petter  
Evergreen Elm

B. Shrubs

Botanical Name

Common Name

Acacia spp.  
Ambrosia deltoidea  
Anbrisia dumosa  
Atriplex spp.  
Baccaris spp.  
Berberis haematocarpa  
Bougainvillea spp.  
Caesalpinia spp.  
Callistemon citrinus  
Cassia spp.  
Celtis pallida  
Convolvulus cneorum  
Dodonaea spp.  
Encelia spp.  
Erigonum spp.  
Forestiera neomexicana  
Genista hispanica  
Genista hispanica  
Grevillea rosmannifolia varieties  
Hyptis emoryi  
Justicia spp.  
Lantana camara  
Leucophyllum spp.  
Malaleuca spp.  
Nerium oleander (petite salmon)  
Pyracantha spp.  
Rhus virens  
Ruellia californica

Acacia/Wattle  
Triangleleaf Bursage  
White Bursage  
Saltbush  
  
Red Barberry  
Bougainvillea  
  
Lemon Bottle Brush  
Cassia  
Desert Hackberry  
Bush Morning Glory  
Hopbush  
Brittlebush  
Buckwheat  
  
New Mexican Privet  
Spanish Broom  
Rosemary Grevillea  
Desert Lavender  
  
Bush Lantana  
Cresote Bush  
  
Oleander  
Pyracantha  
Evergreen Sumac  
Ruellia

Shrubs (cont.)

Botanical Name

Common Name

Salvia spp. (Shrub only)  
Dececio cineraria  
Simmondsia chinensis  
Tecoma stans  
Teucrium fruticans  
Vauquelinia spp.

Sage  
Dusty Miller  
Jojoba  
Yellow Bells  
Bush Germander  
Rosewood

C. Groundcovers/Herbaceous Plants

Botanical Name

Common Name

Acacia spp.  
Asparagus densiflorus dv. Sprengeri  
Atriplex spp.  
Baccharis spp.  
Centaurea cineraria  
Cephalophyllum spp.  
Convolvulus mauritanicus  
Gazania spp.  
Lantana montevidensis  
Malephora crocea  
Myoporum parvifolium  
Oenothera berlandieri  
Oenothera drummondii  
Rosmarinus officinalis 'prostratus'  
Salvia chamaedryoides  
Santolina chamaecyparissus  
Santolina virens  
Verbena bipinnatifida  
Verbena peruviana  
Verbena pulchella  
Verbena rigida

Sprenger Asparagus  
  
Dusty Miller  
Red Spike Ice Plant  
Ground Morning Glory  
Gazania  
Trailing Lantana  
Ice Plant  
Sandalwood  
Mexican Evening Primrose  
Baja Primrose  
Prostrate Rosemary  
Blue Sage  
Lavender Cotton  
Green Santolina  
Verbena  
Peruvian Verbena  
False Sand Verbena  
Verbena

D. Succulents

<u>Botanical Name</u>	<u>Common Name</u>
Agave spp.	Century Plant/Agave
Aloe spp.	Aloe
Cacti (all)	
Dasyilirion spp.	Desert Spoon
Fouquieria spp.	
Hesperaloe spp.	
Yucca spp.	Yucca

E. Annuals/Perennials

<u>Botanical Name</u>	<u>Common Name</u>
Abronia villosa	Sand Verbena
Arctotis spp.	African Daisy
Baileya multiradiata	Desert Marigold
Cassia covesii	
Catharanthus roseus cultivars	Madagascar Periwinkle
Cosmos spp.	Cosmos
Dimorphoteca spp.	African Daisy
Eschscholzia californica	California Poppy
Eschscholzia mexicana	Mexican Gold Poppy
Kallstroemia grandiflora	Arizona Poppy
Lupinus densiflorus	Lupine
Lupinus sparsiflorus	
Melampodium leucanthum	Blackfoot Daisy
Penstemon spp.	
Tagetes spp.	Marigold

The perimeter landscape will be drought tolerant native plants materials introduced within rights-of-way and adjacent landscape tracts consistent with City ordinance. Interior streets will utilize Algerian Mesquite 35 ft. o/c staggered within all associated landscape tracts. All corner lot landscape tracts will accommodate mesquite trees (theme tree). Entryways will accommodate colorful massings of native shrubs and ground covers. The centrally located park will be turfed which will be accented with deciduous perimeter shade trees. A shade shelter and an adventure play unit shall be included to meet neighborhood needs. The centralized 3.04-acre open space shall serve as both a drainage way/retention basin, and as an active/passive recreation area.

A final landscape plan will be submitted to and approved by the Planning Director. The Developer shall be responsible for completing all landscaping and recreational improvements according to the Final Landscape Plan and this Development Guide. Front yard landscaping shall be installed prior to occupancy.

## 9. Walls

Two types of walls will be utilized at SK Ranch. The location of the walls are shown on **Exhibit G**.

### A. Perimeter Wall

A 6-foot high solid masonry wall shall be constructed and maintained around the perimeter of this P.A.D. community. The masonry wall shall be finished in a desert-type color, such as appropriate shades of brown, red, and green (not gray). These walls will also be used for privacy/security between abutting lots. Perimeter walls along Kortsen Road have been broken by angles and openings to the interior open space areas, with no wall section being more than 500 feet in length. See **Exhibit H** (top).

### B. View Wall

Knee wall with fencing maximum overall height 6 feet. The addition of fencing on top of the knee wall (16 inches allows pools within yards and provides additional security while retaining views into landscaped common areas). The color of the wrought iron fencing shall complement the masonry wall. See **Exhibit H** (bottom).

## 10. Internal Path System

Sidewalks will be provided on both sides of all streets within SK Ranch. To provide an enhanced pedestrian experience, the sidewalk will meander (where possible) outside the right-of-way into adjacent open space areas.

In addition to sidewalks, SK Ranch will provide a walking path within the development with access to a future area path system. See **Exhibit I**.

The walking path will be an asphalt surface with a crowned cross section to encourage positive drainage. Width of the path will vary from 4 feet to 6 feet depending upon the location and projected amount of use. See **Exhibit J**.

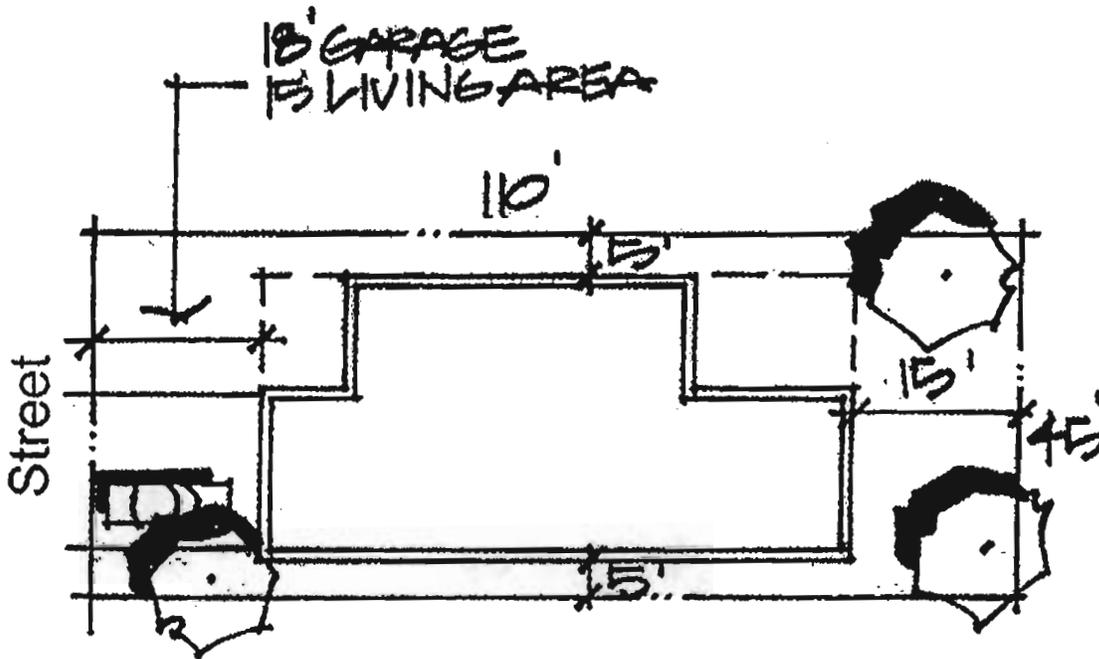
## 11. Signs

### A. Subdivision/Project Entry Signs

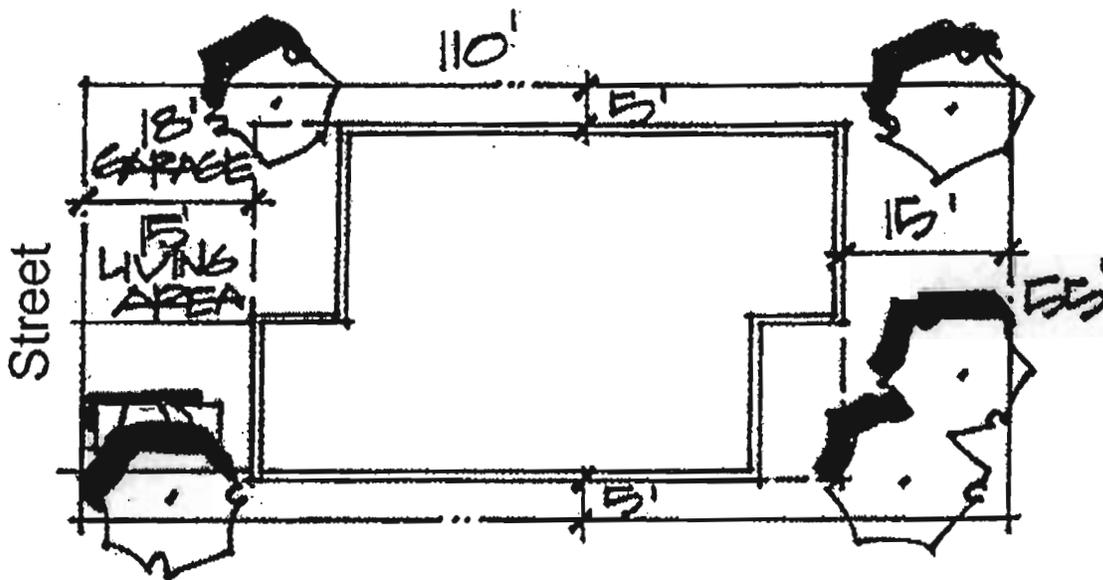
Signage shall be limited to one low profile (5-foot high max) monument (may be 2-sided) or wall sign at each of the 3 locations specified in this Development Guide. See **Exhibit I**. The style and appearance of these signs shall resemble that shown on **Exhibit K**. The entry sign shall be a free-standing monument and/or wall mount. All other signage will meet the requirements set forth in Casa Grande's sign ordinance regarding setback, size and overall area. Sign material, texture and color will match perimeter walls and on site amenities.



# TYPICAL LOTS AND SETBACKS

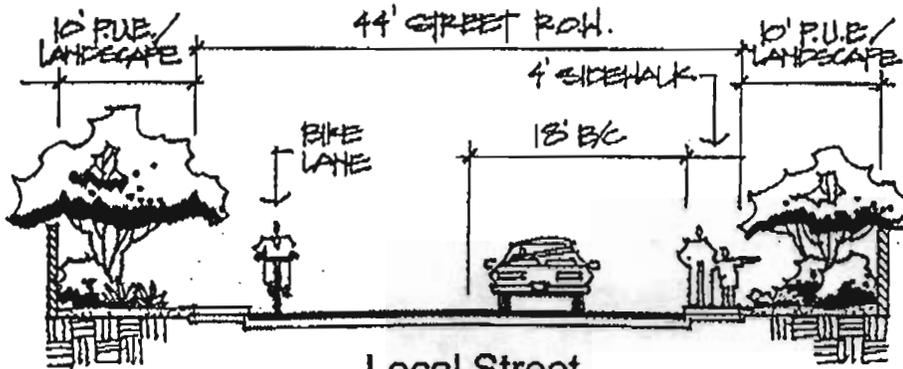


Typical 45' x 110' Lot

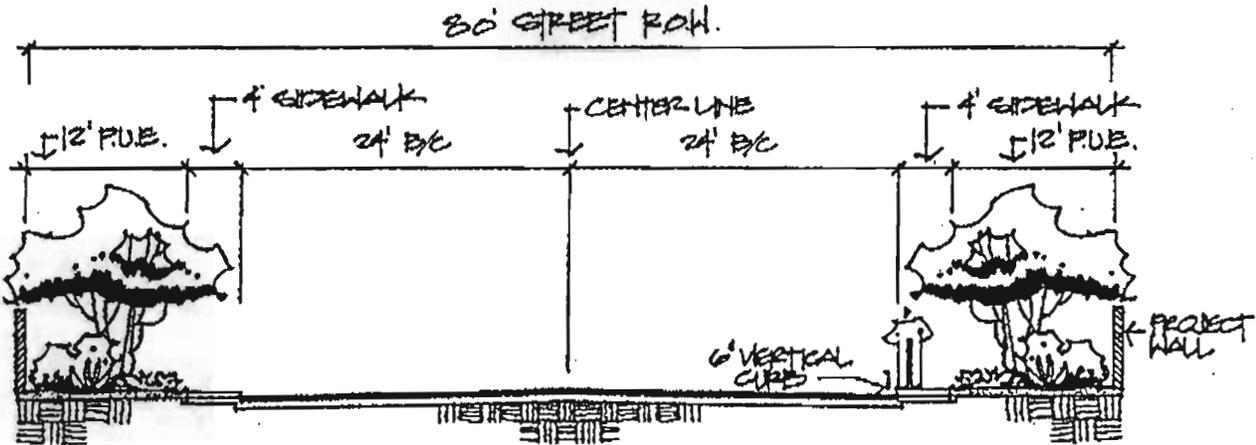


Typical 55' x 110' Lot  
(side yard for 2-story shall be 5'/10')

# COLLECTOR AND LOCAL STREETS



Local Street  
44' Right-of-way



Collector Street  
80' Right-of-way

# CENTRAL OPEN SPACE CORRIDOR

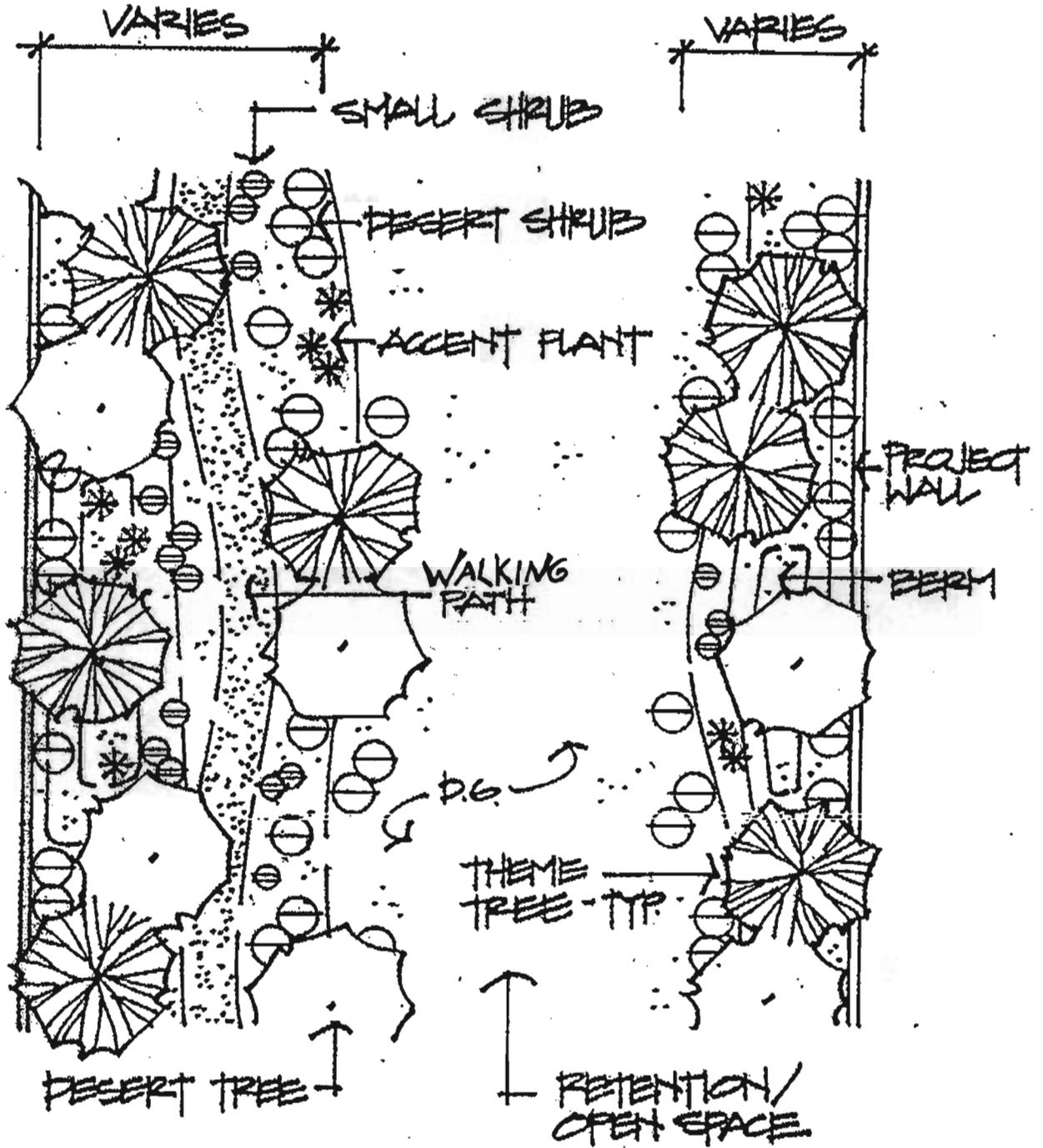


EXHIBIT D

# PERIMETER OPEN SPACES

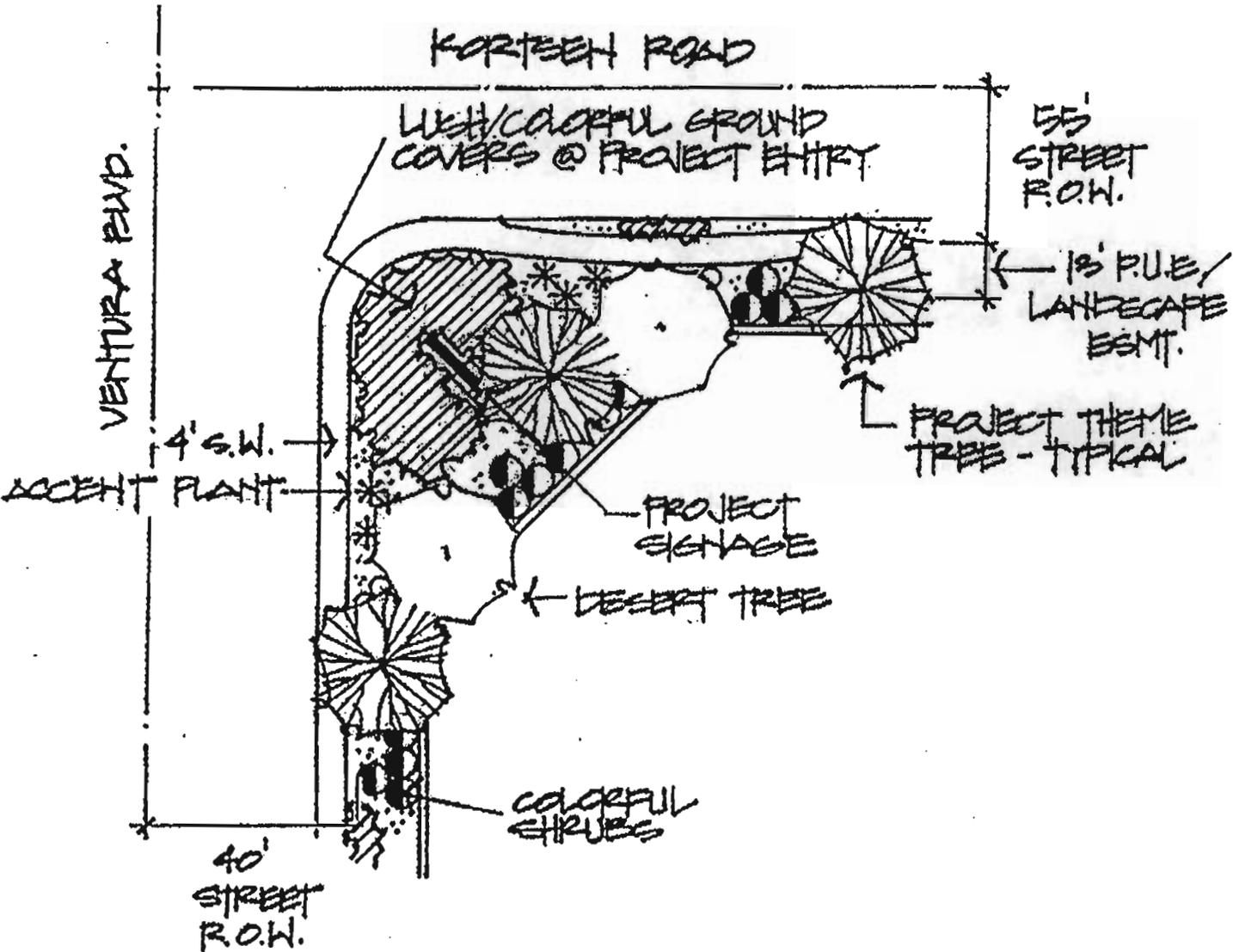
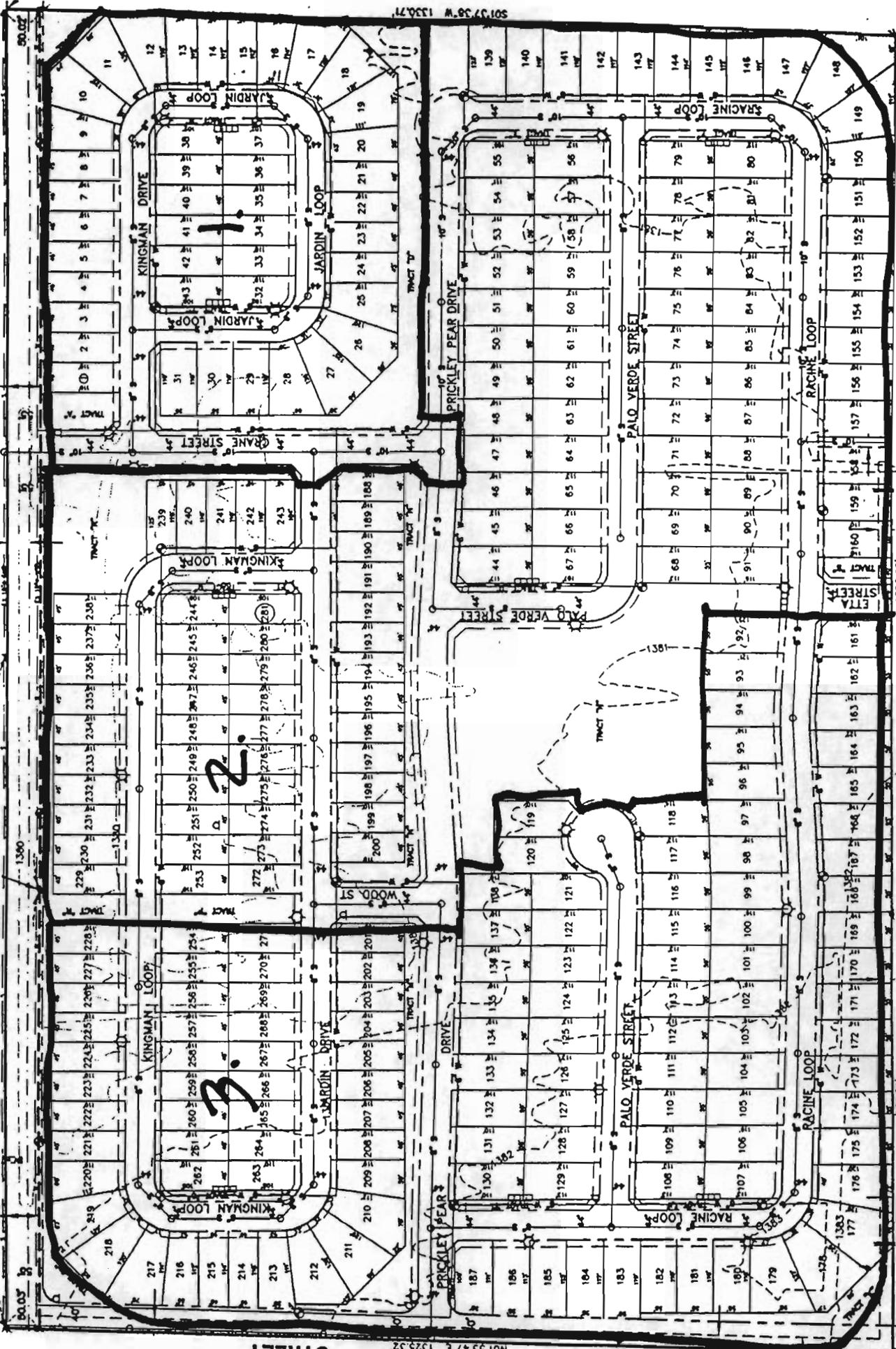


Exhibit E

N90°00'00"E 1979.43'

1011.61' KORTSEN

ROAD NW DIST. P.M.



STREET

N01°34'47"E 1325.52'

SCHULTZ

EXHIBIT E

S01°32'38"W 1330.27'

S61.84'

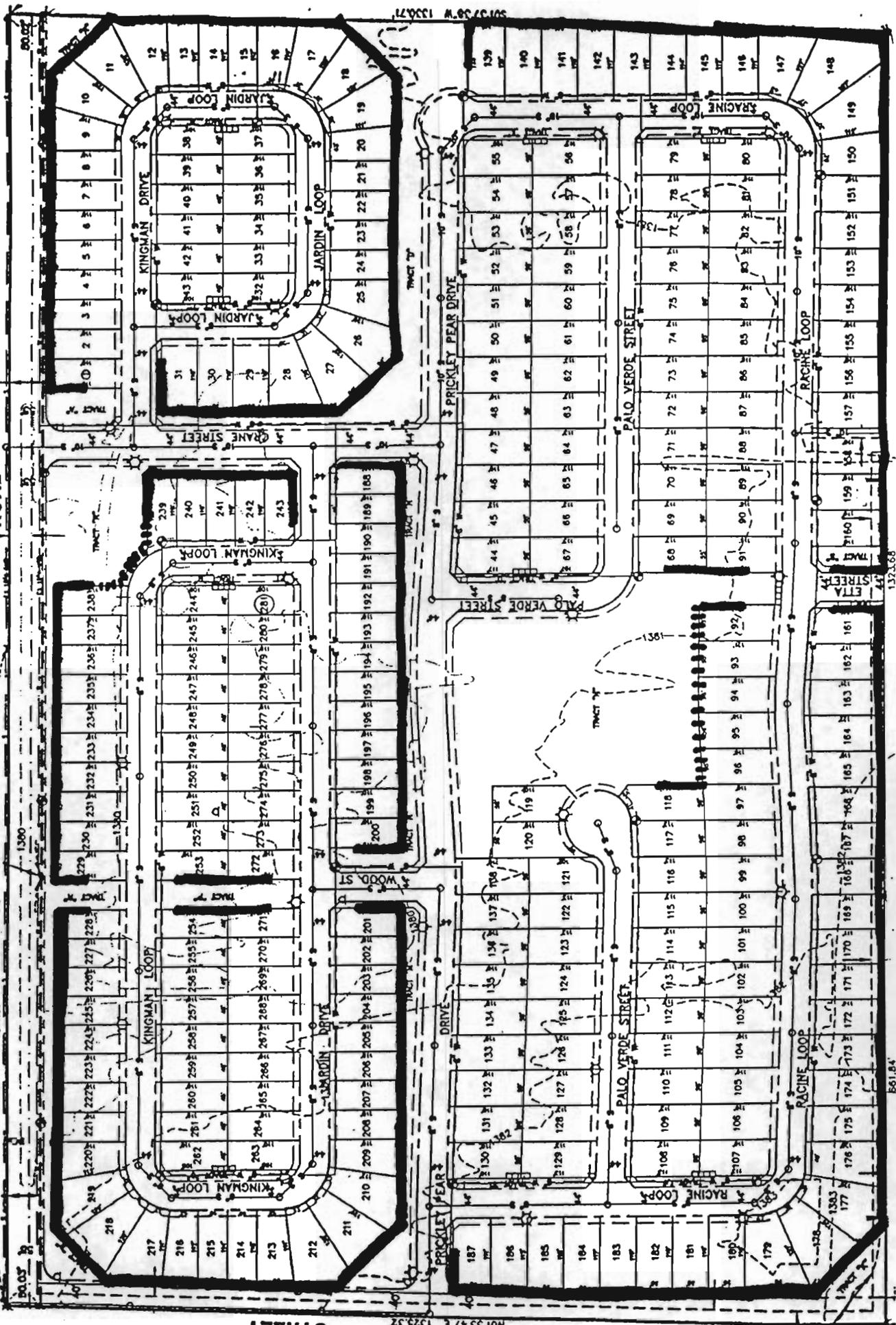
1323.68'

PHASING

19070007L 1979.43

1011.61' KORTSEN

ROAD BY DIST. 47'



**PROJECT PERIMETER WALLS**

**OPEN SOLID**



STREET

SCHULTZ

N01°35'47"E 1323.32'

S61.84'

S132.68'

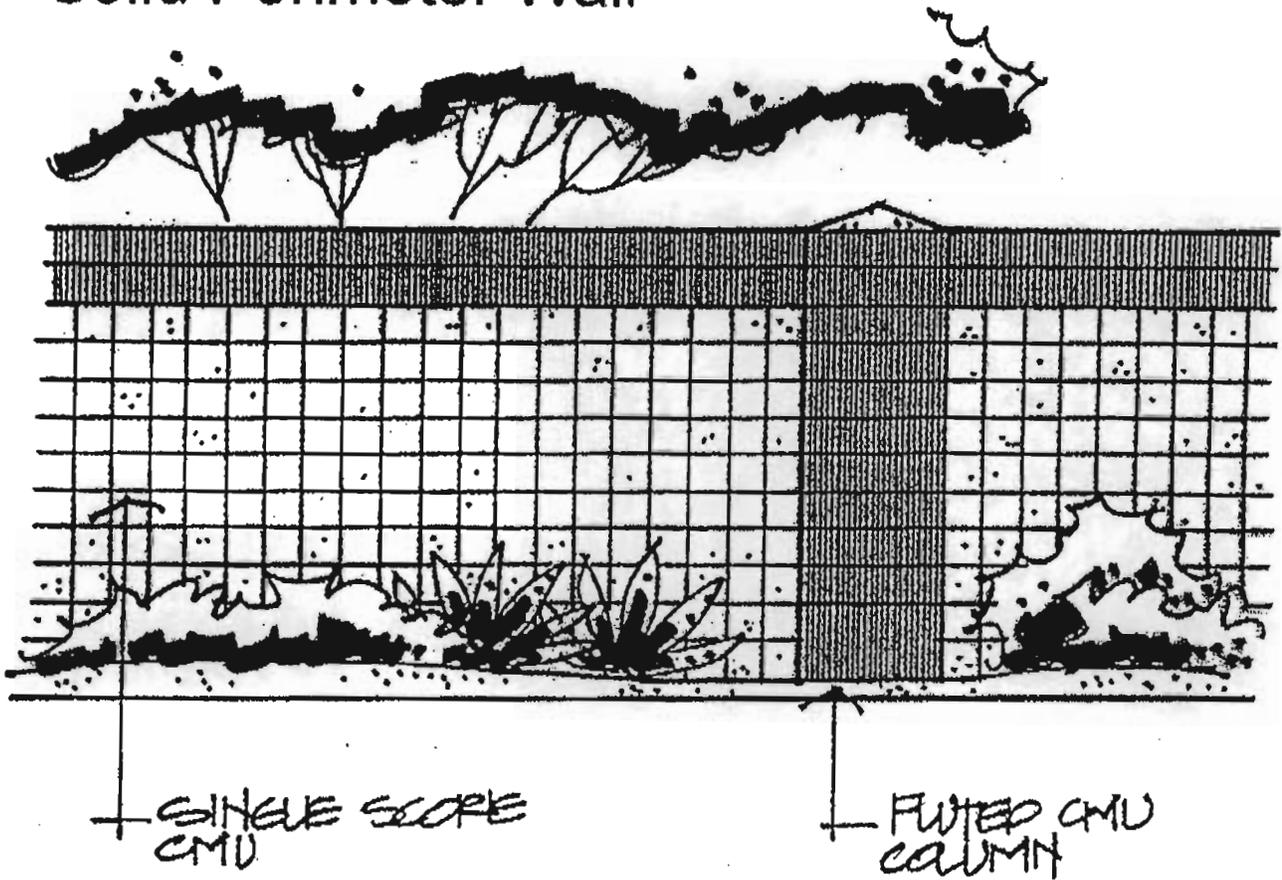
S01°27'38"W 1334.71'

S60.05'

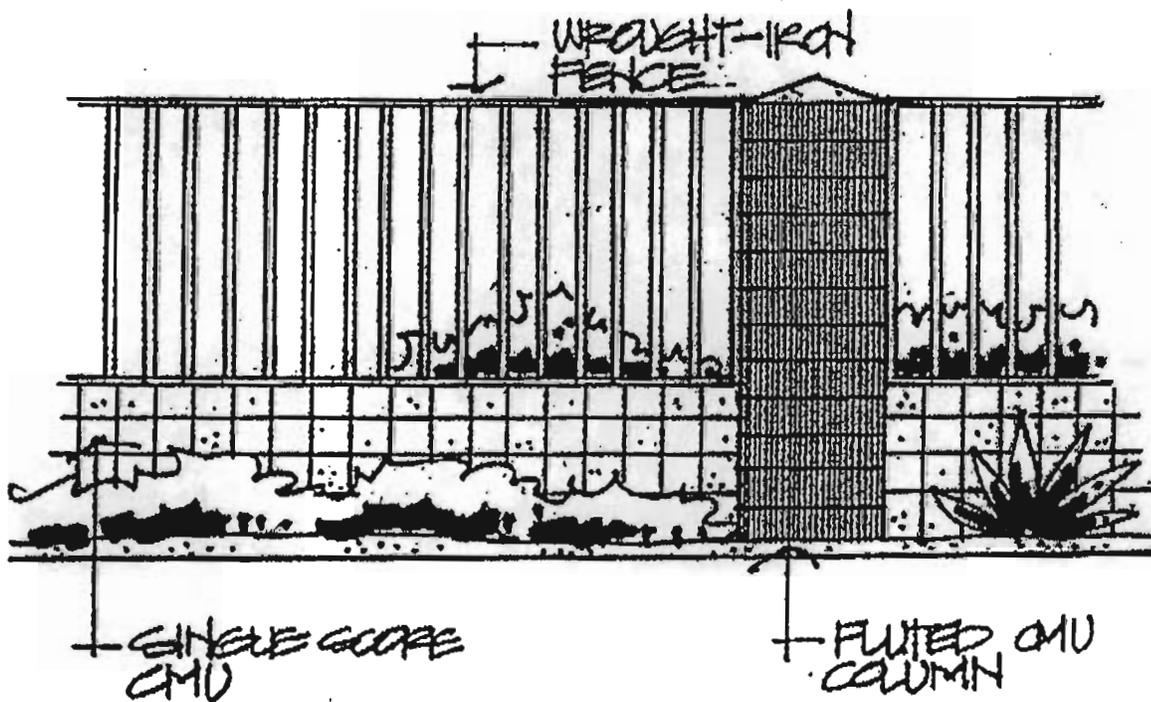
S1300'

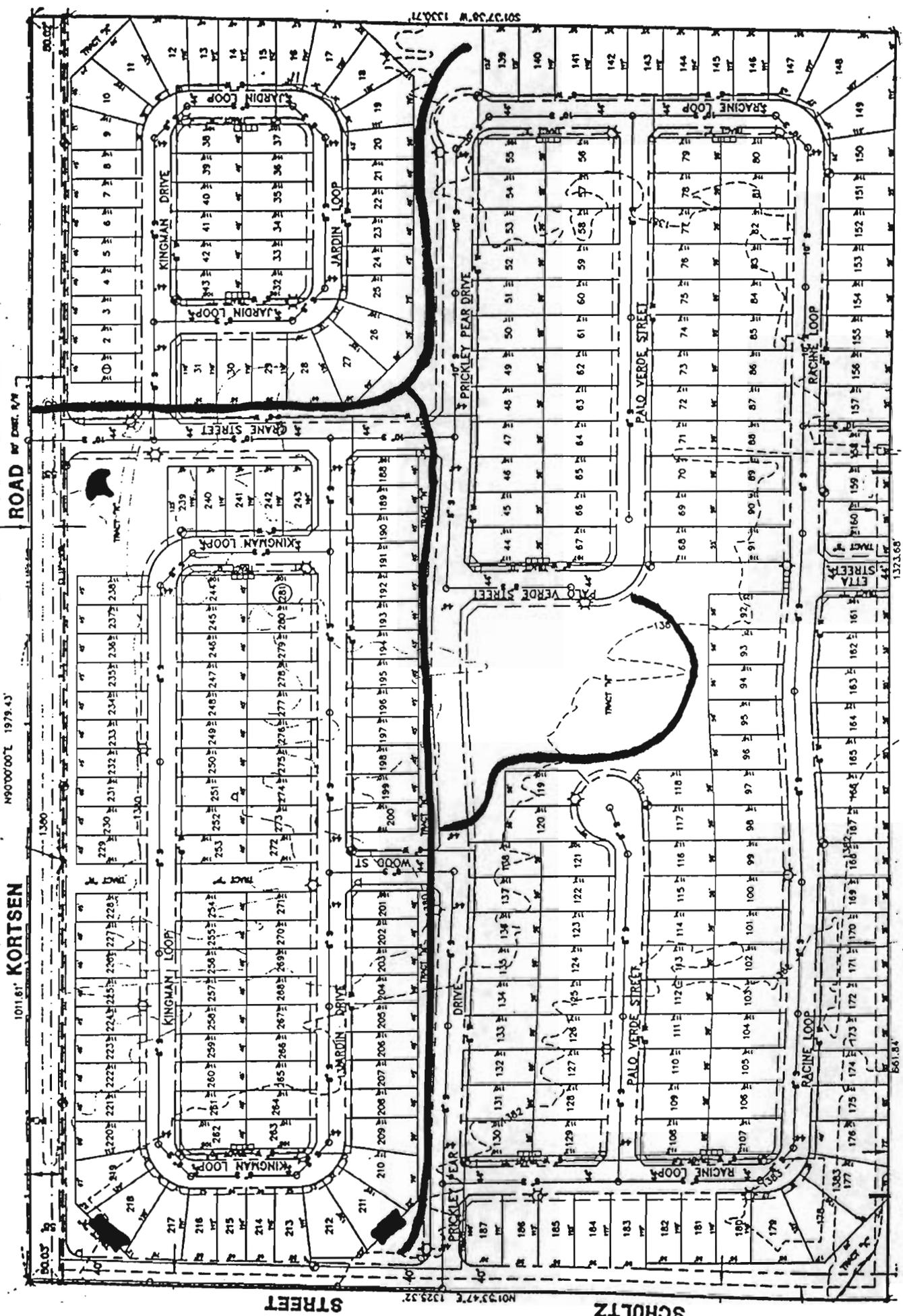
S60.05'

# Solid Perimeter Wall



# View Wall





N90°00'00"E 1979.43'

1011.61' KORTSEN

ROAD W/ DIST. 8.44'

S01°27'36"W 1330.21'

STREET

N01°35'47"E 1329.32'

SCHULTZ

1373.68'

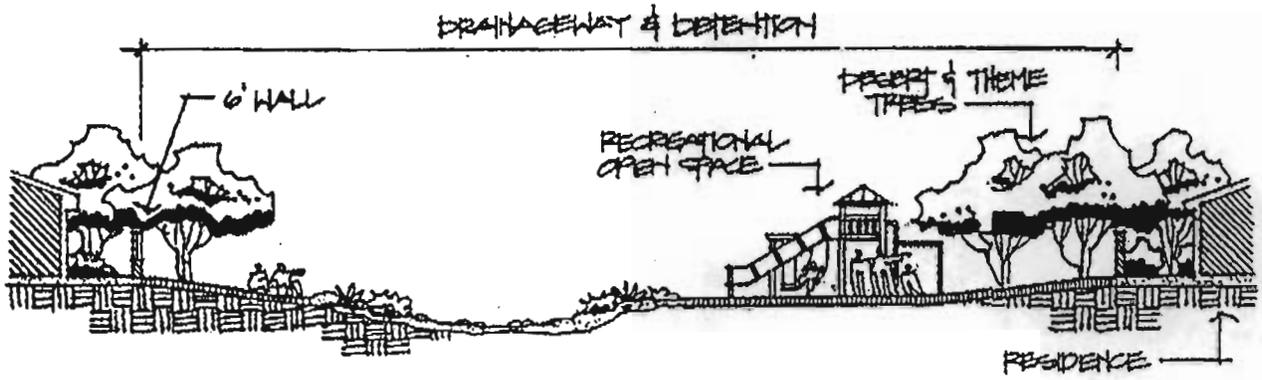
861.84'

EXHIBIT I

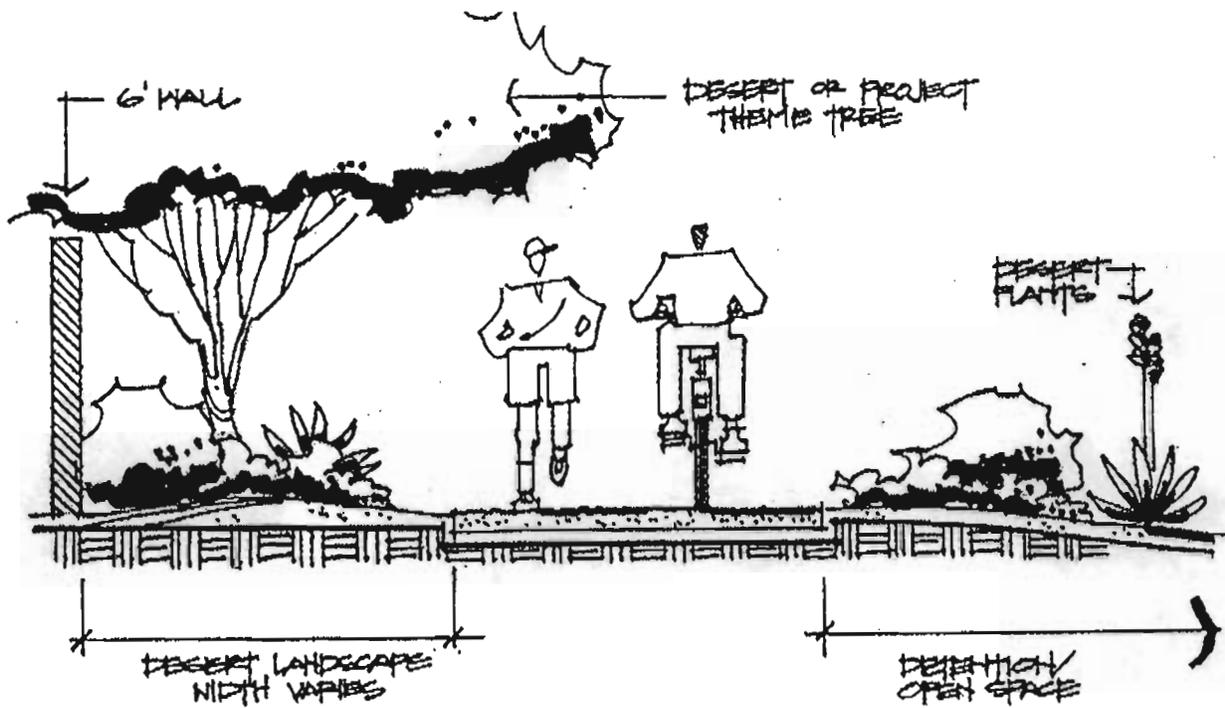
WALKING PATH  
 WALL SIGNAGE  
 MONUMENT SIGN

SIGNAGE & TRAILS

# Drainageway/Open Space



# Open Space Detail



# Entry Signage Wall

