

# GENERAL DEVELOPMENT GUIDE

FOR

## RODEO ESTATES

A Planned Area Development  
in  
Casa Grande, Arizona

*Prepared For:*

**Watson Partners**  
3650 South Point Circle  
Laughlin, Nevada 89028  
Phone: 800-706-3472

*Prepared by:*

**La Marca Engineering Group**  
3101 West Peoria Avenue, Suite B-316  
Phoenix, Arizona 85029  
Phone: 602-896-9696  
Fax: 602-896-9697  
Job # 03-98-100  
Date: May 28, 1999



*APPROVED FOR:*

Planning Commission:

By: \_\_\_\_\_  
Chairman

Date: \_\_\_\_\_

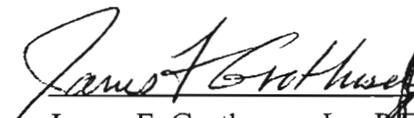
# Table of Contents

PROJECT OBJECTIVE.....	1
Location of Project	
Description of Project	
EXISTING CONDITIONS.....	2
PROPOSED DEVELOPMENT PLAN.....	2
PROPOSED IMPROVEMENTS.....	4
Phasing	
Offsite Improvements	
Onsite Improvements	
Utilities and Services	
EXHIBITS	
Figure 1	Vicinity Map
Figure 2	Existing Conditions
Figure 3	Development Site Plan
Figure 4	Recreation Area and Entrance
Figure 5	Recreation Building Floor Plan
Figure 6	Recreation Building Elevations
Figure 7	Typical space within minimum setbacks
Figure 8	Interior Street Cross Section

## La Marca Engineering Group

3101 W. Peoria Avenue  
Phoenix Arizona, 85029  
(602) 896-9696

Prepared by:

  
James F. Grothusen Jr., P.E.  
Arizona Registration #33137  
May 28, 1999



Reviewed by:

  
David L. Fogt, P.E., R.L.S.  
May 28, 1999

## **PROJECT OBJECTIVE**

It is the intention of the Watson Partners to develop **Rodeo Estates** as a high-quality, manufactured home rental park. The proposed development will consist of 84 spaces on 14.29 Acres, providing an overall density of 5.8 units per acre. A 3,000 Square Foot community social/recreation building will be located on 1/3 acre at the Northeast corner of the site, and 1.5 acres (11%) have been set aside for common open space. The common open space will be extensively landscaped and irrigated.

We believe this project is well situated within the major features and attractions of the City of Casa Grande and will provide quality housing to those who desire manufactured (modular) housing opportunities. This improvement will be a single phase construction project, and will be completed approximately six months from plan approval.

We will agree to the establishment of an improvement district for Rodeo Road and/or Center Avenue, and thus propose to do only the indicated improvements to these streets at this time.

## **LOCATION OF PROJECT**

This project is located within the city limits of Casa Grande, Arizona, approximately 3.5 miles from downtown, and 1/4 mile East of Pinal Avenue on the South side of Rodeo Road, in Section 8, Township 6 South, Range 6 East of the Gila and Salt River Meridian, Pinal County, Arizona. (See *Figure 1*) Access is by Rodeo Road via Pinal Avenue or Trekell Road.

## **DESCRIPTION OF PROJECT BOUNDARIES**

The existing site is currently undeveloped desert land on the South side of Rodeo Road in Casa Grande, Arizona, as indicated in *Figure 2*. The project is bordered on the North by Rodeo Road, a paved, two-lane road which fronts the new Coyote Way Development; on the East by an undeveloped tract zoned UR; on the Southeast by an undeveloped tract zoned UR; on the South by a generally undeveloped tract with an occasional house, zoned R-4; and on the Southwest corner by the Desert Shadows R.V. Resort; and on the West by the Center Avenue Right-of-Way and an existing developed piece of property zoned UR.

## **EXISTING CONDITIONS**

The site has a gentle slope, primarily to the South, with an elevation difference from North to South of approximately 6.4 feet. The mean elevation of the site is approximately 1,390 feet above mean sea level. Vegetation is relatively light with no salvageable plants or trees on the site. Ground cover consists mainly of salt-tolerant desert shrubs.

The soils within this site are the Casa Grande fine sandy loam type. The soil is described as having a light brown fine sandy loam surface layer about 13 inches thick. Below this to a depth of 60 inches or more is reddish brown and pinkish gray, calcareous sandy clay loam. A layer of lime accumulation is at a depth of 4 to 18 inches. Permeability of this soil is moderate. Available water capacity is moderate. Runoff is slow, and the hazard of water erosion is slight. The soil is moderately saline and strongly sodic. The soil contains toxic salts that may be corrosive to uncovered steel and concrete. Any problems with settling and blowing dust during development can be overcome with proper grading procedures and building techniques.

A two-cell, 6-foot wide by 3-foot high, concrete box culvert under Rodeo Road at the approximate center of the property discharges approximately 144 cfs during a 100 year storm event. This storm water flows diagonally to the southwest and exits the property at the southwest corner. The entire property drains naturally to this wash.

An existing Arizona Public Service 3-phase (12.47kv) overhead electrical transmission line is located along the South side of Rodeo Road.

There is an existing 16-inch waterline running in Rodeo Road.

An existing 12-inch sanitary sewer is located in Rodeo Road.

## **PROPOSED DEVELOPMENT PLAN**

Rodeo Estates will be developed under a P.A.D. zoning district. The interior streets will be private. The project will be developed under single ownership with unit spaces to be provided for rent (See *Figure 3* for Development Site Plan). The owner will have full responsibility for the maintenance of all common areas, open spaces and facilities. The project will contain open space and a social/recreation building (See *Figures 4, 5 & 6*).

This property was previously zoned as R4 mobile home residential, which only requires a minimum space size of 4500 S.F. and 7% open space. The proposed P.A.D. will exceed these requirements and in fact meet the requirements of the more restrictive R1A zoning of 5,000 S.F. per space and 10% open space. While the R1A requirements thus allow a net density of 6.4 lots per acre this development has been limited to 5.8 rental spaces per acre. Individual spaces will be 84 to 94 feet deep and 58 to 73 feet wide, providing over 5,000 square feet per space. The spaces are designed to accommodate doublewide homes (28' x 60'), which constitute the majority of the product on the market today. Each space will accommodate off-street parking for two vehicles. The typical space configurations and setbacks are shown in *Figure 7*.

The developer proposes private interior streets 28 feet in width. This will provide 12-foot wide driving lanes with 2-foot rolled curbs (M.A.G. Specification Detail). (See *Figure 8*.)

The main entrance to the project will be from Rodeo Road with a secondary emergency entrance on Center Avenue for use by the fire department and other emergency vehicles. Guest parking will be provided at the social/recreation building as shown.

All dwelling units in this project will be new at the time of installation and will comply with the Uniform Building Code requirements for mobile, modular and manufactured homes along with regulations A-119.1 of the American National Standards Institute. Pads will be excavated to provide for finished floor elevation 1 foot above street grade. Solid in-ground skirting will be provided around each unit. Exterior features of homes permitted will include all of the following:

- 4 in 12 sloped roofs with a variety of designs and colors encouraged
- Colored asphalt / fiberglass composition shingles
- Gable overhangs, carports, and patios with sloped roof covers to match the unit
- Vinyl / hardboard siding in a variety of wood finishes, patterns and textures
- Tricolor exteriors with a variety of colors
- A variety of window and door styles
- Extensive on-lot landscaping

The Owner/Developer will create **Rodeo Estates** Manufactured Home Park Regulations that will establish certain guidelines with which each tenant must comply. These regulations will include the landscaping of the individual lot, the maintenance of the lot, the installation, construction and use of antennas, screens, storage building, patio covers, and window treatment and the placement and use of exterior furniture, vehicles and trash containers. The guidelines will also spell out the responsibilities of the Owner/Developer. These guidelines will be included as a portion of the rental agreement between the tenants and **Rodeo Estates**.

## **PROPOSED IMPROVEMENTS**

### Phasing:

The owner/developer proposes to complete all improvements in the initial construction phase including the social/recreation building within six months.

### Onsite Improvements:

The owner/developer proposes to landscape this project utilizing low water, low maintenance vegetation. Streetlights will be installed to comply with City of Casa Grande standards. Fire hydrants will be installed per Arizona Water Company's Standard Detail. All interior streets will be constructed with 2 inches of asphaltic concrete pavement over 4 inches of aggregate base course on a compacted subgrade. All Sewer and Water Mains will be placed within the Private Street Area, which is being dedicated as a Public Utilities Easement. All work and materials will comply with M.A.G. standards.

A 6-foot high CMU perimeter wall will define the entire project. The wall will be aesthetically pleasing with a smooth face/split face design complemented with and accented by the adjacent landscaping. The Rodeo Road face will receive the lion's share of design and landscaping innovations in order to present the best view to the public, and to compliment the excellent precedent set across Rodeo Road by developers of Coyote Way. Extensive Landscaping, Screening and dramatic Lighting will accentuate the entrance to this development.

### Offsite Improvements

The City is Currently planning Rodeo Road Improvements. The owner/developer will agree to an improvement district for this work in exchange for deferring the improvements until the entire district is ready to build. All overhead power lines will be placed underground at that time.

Center Avenue Improvements, are being installed as required to provide a secondary emergency equipment access point only. The owner/developer will agree to an improvement district for the remainder of the Center Avenue improvements at such time as the remaining ROW becomes available and improvements can be made to the entire roadway.

Offsite stormwater will be routed around through the project as shown on the preliminary site plan. The velocity of the water exiting the channel will be reduced as the water passes through the retention basin to the outlet weir, where it will exit the property. Onsite water will be retained in the retention basins shown on the same drawing.

Utilities and Services:

All electrical power along Rodeo Road will be placed underground when the improvement district is completed. Electric within the park will be placed underground during construction. Each lot in the project will be provided with the following services:

Water	Sewer
Trash Collection	Cable TV
Mail Service	Electric
Telephone	Street lighting

Water service will be provided by a private system; owned, operated and maintained by the owner. Residential water and Fire protection will be provided through a 6-inch line. This line will be metered from an existing 16-inch water line in Rodeo Road.

The sewer system design will be a gravity system, draining to an existing 12-inch sanitary sewer located at the Northwest corner of the site.

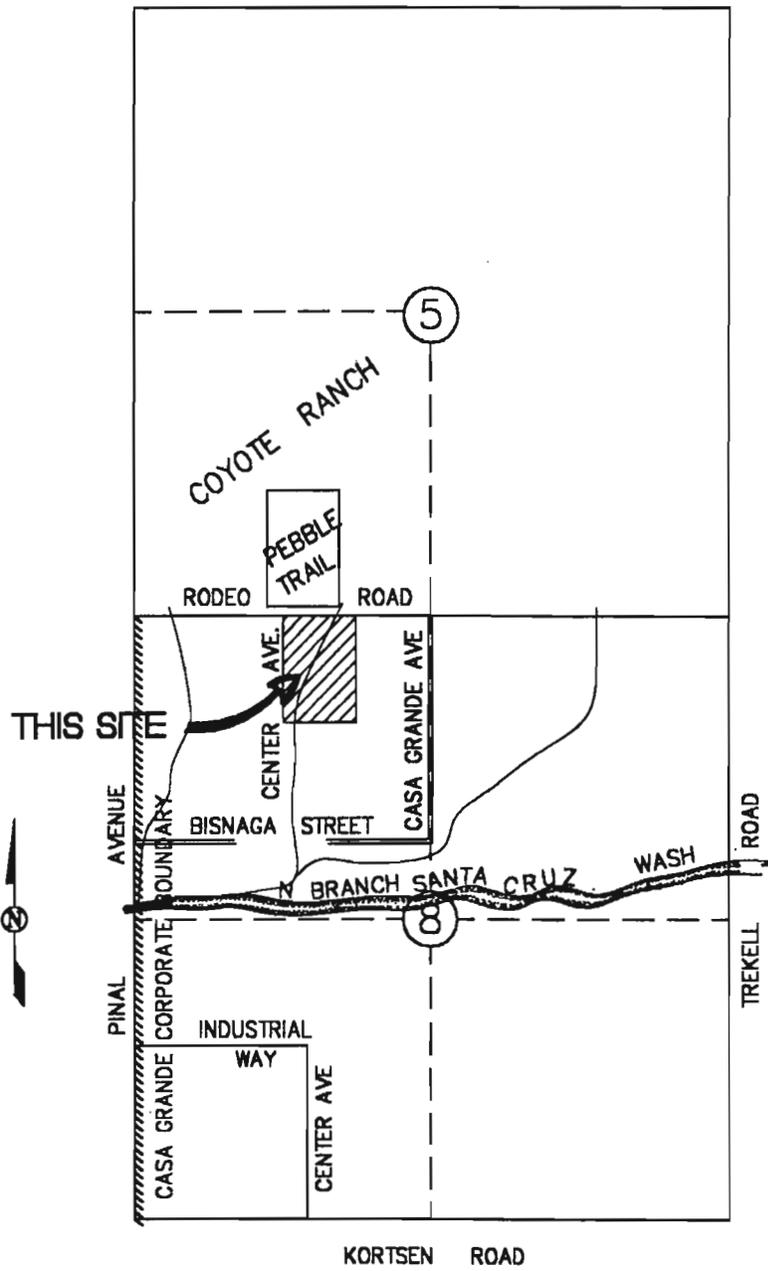
Telephone service will be provided to each rental space and Social/Recreation building by U S West Communications. Each tenant will be responsible for their own hookups, services and billings.

Cable TV services will be provided by Cox Communications to each rental space and to the Social/Recreation building.

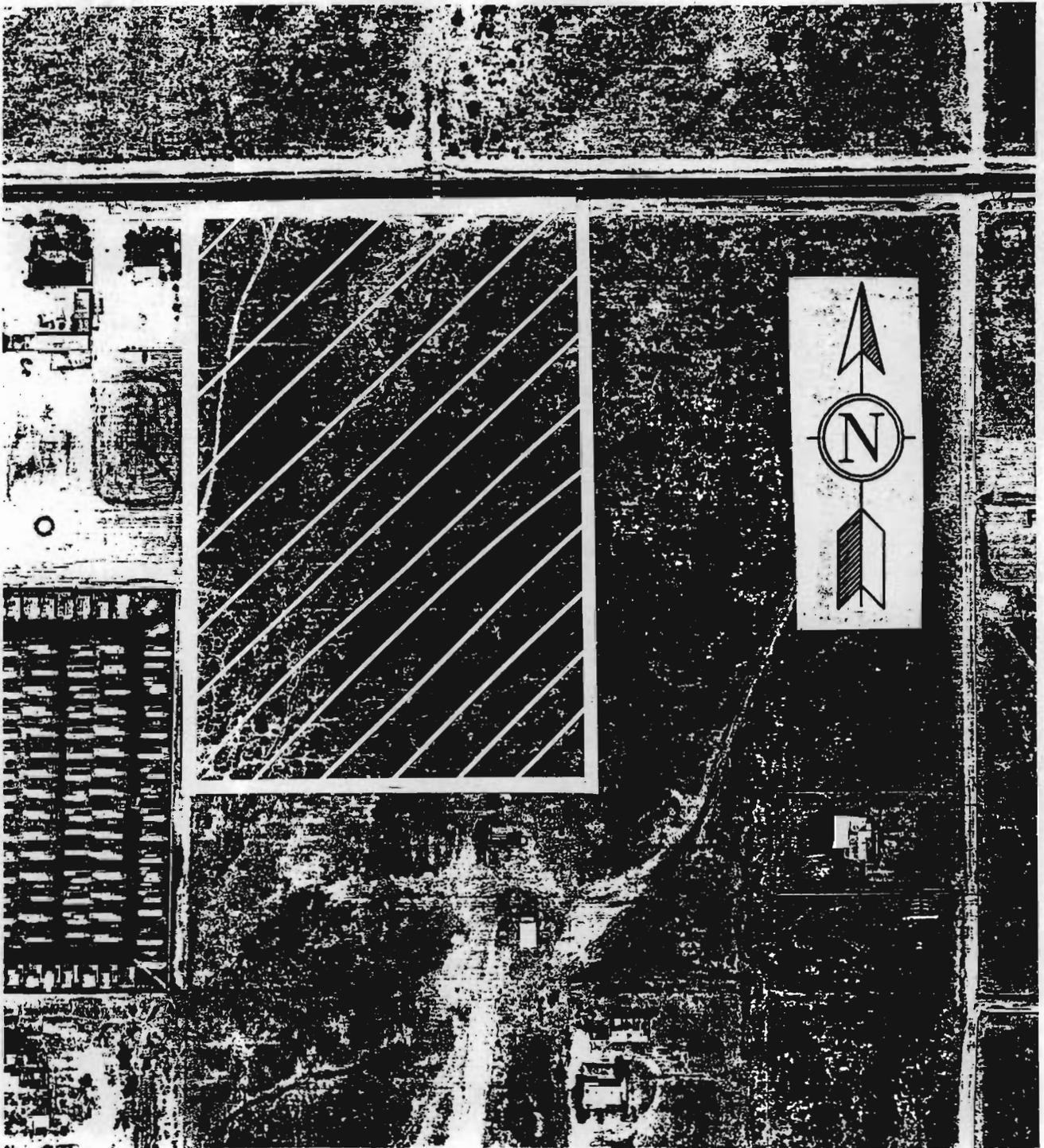
Trash and recyclable collections will be provided by the City of Casa Grande's city wide collection system. Appropriate containers and enclosures will be provided by the management.

All utilities will be located on the street side of the lots.

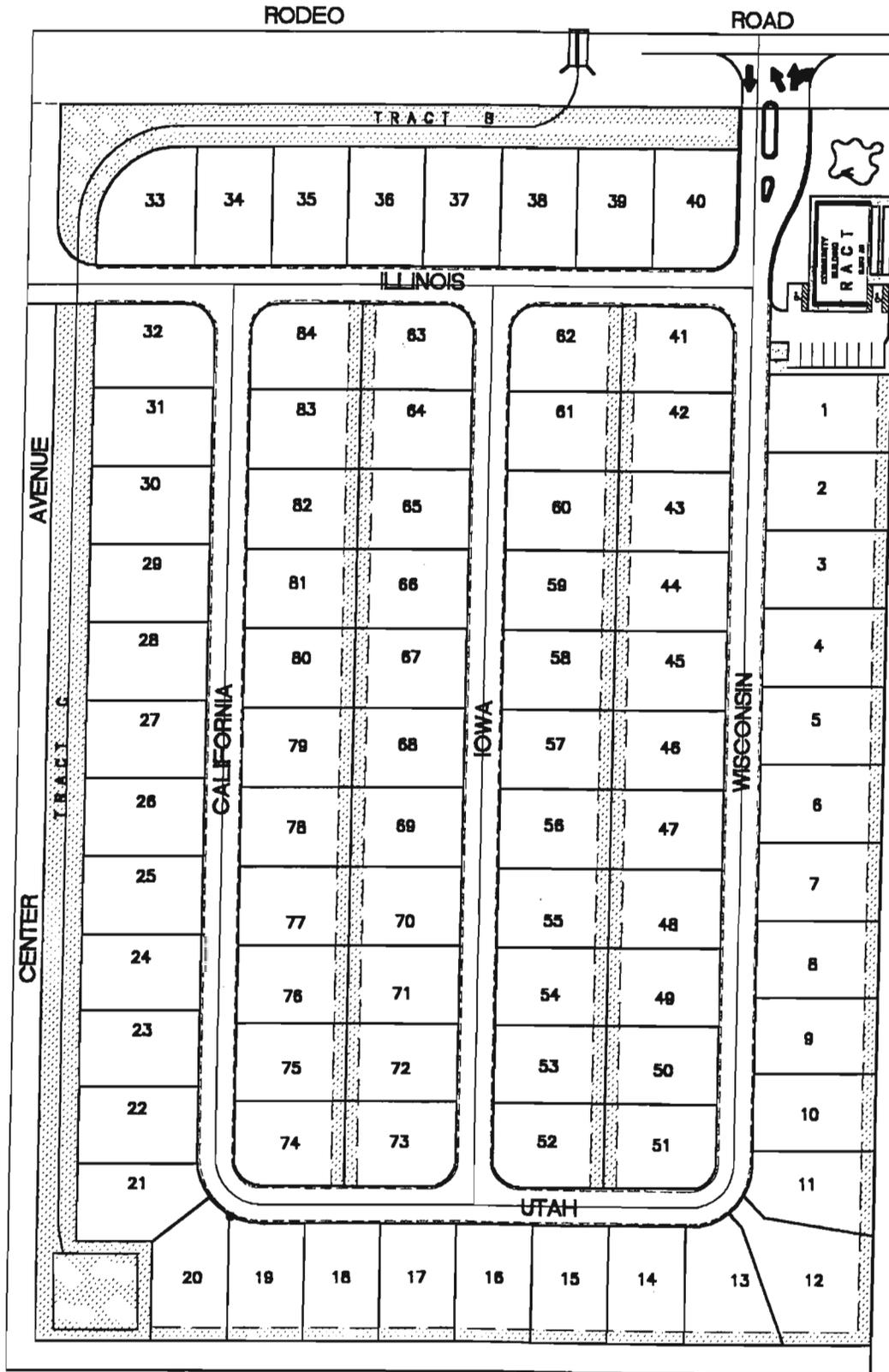
Mail service will be provided at a central collection and individual distribution box area located at the Social/Recreation building. The distribution area will be outside in a well-lit area for the convenience of 24-hour pick-up capability by each resident.



VICINITY MAP  
Figure 1

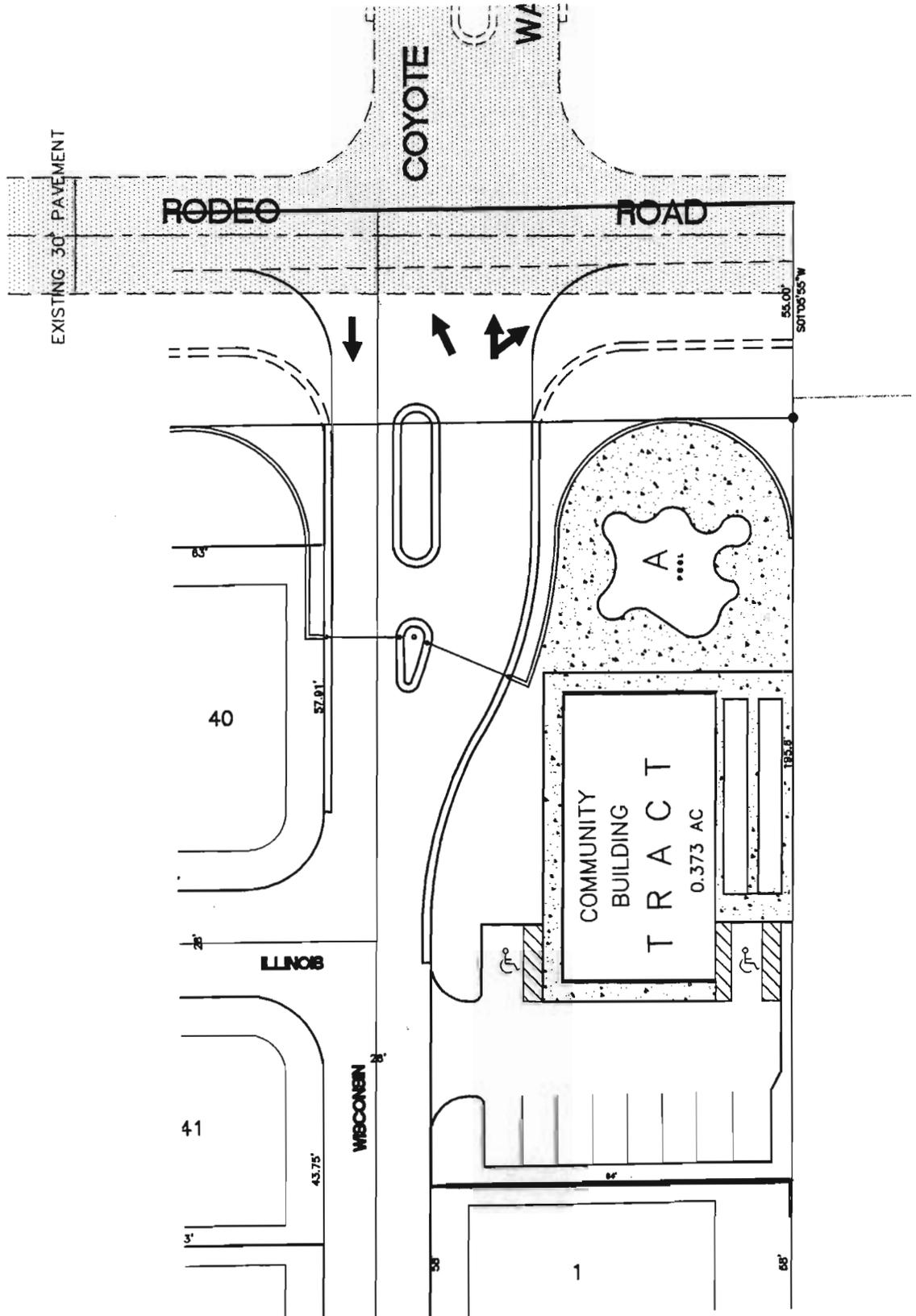


EXISTING CONDITIONS MAP  
Figure 2

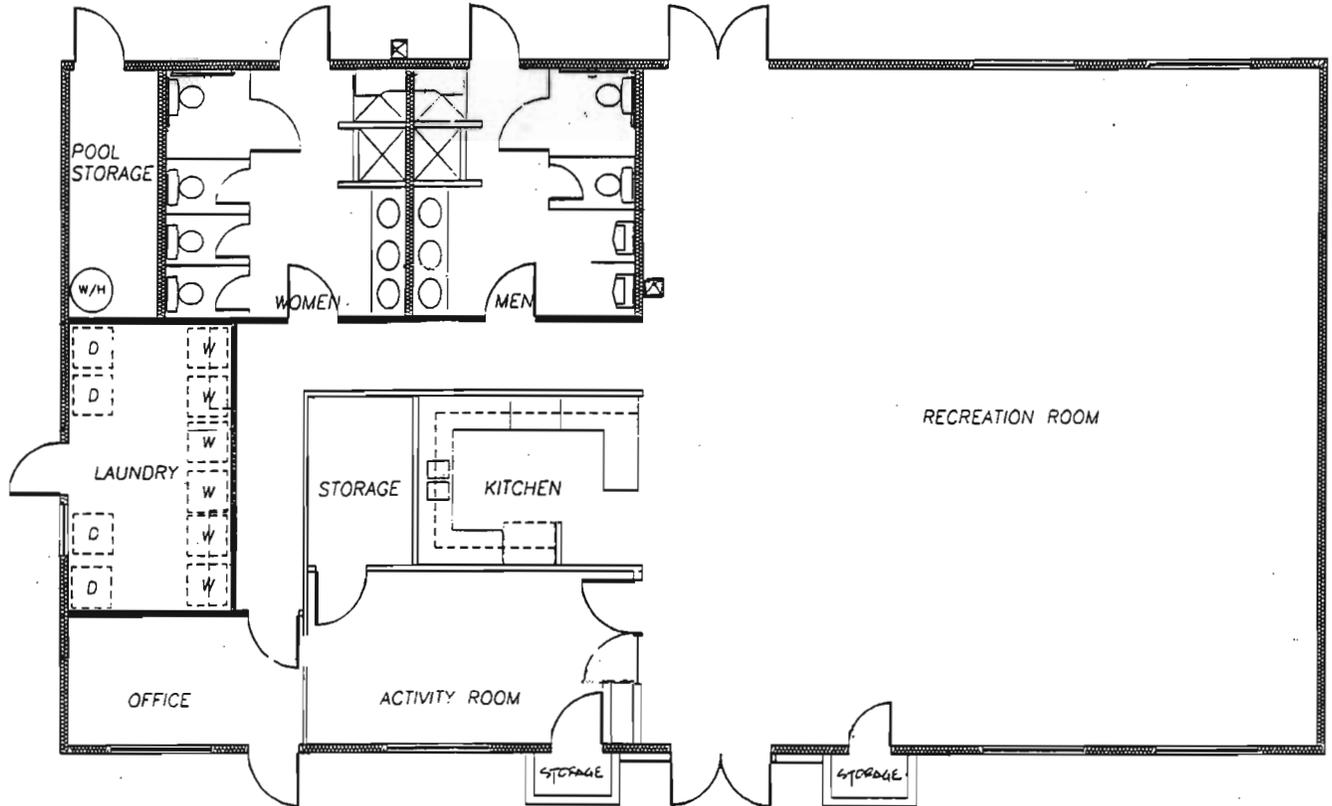


SITE DEVELOPMENT PLAN

Figure 3



RECREATION AREA + ENTRANCE  
Figure 4



RECREATION BUILDING FLOOR PLAN  
Figure 5

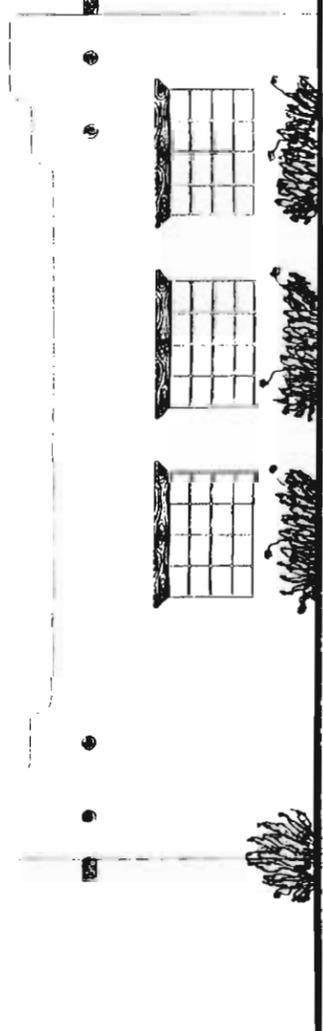
RODEO ESTATES

LINDA PEARSON

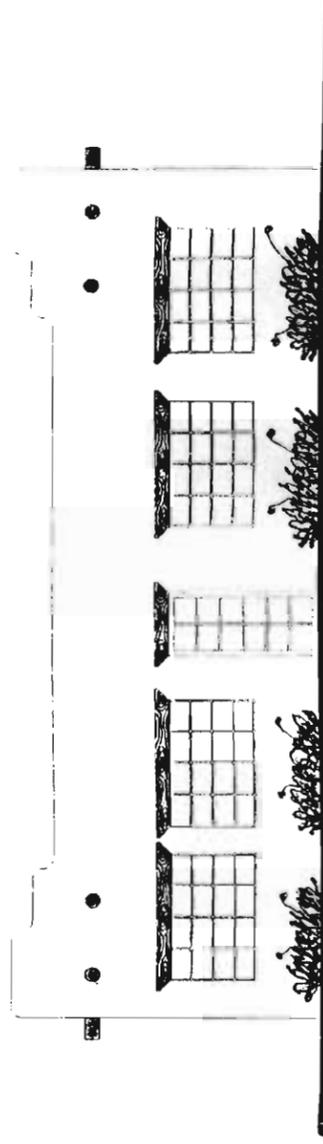
Prins•Mayeux & Associates/J.V.  
Architectural Planning • Design • Consultants

5800 E. Thomas Road, Suite 105  
Scottsdale, AZ 85251  
San Antonio, Texas 78216  
322 Breeseport, Suite C  
(602) 970-6033 FAX: (602) 946-0788  
(210) 341-2470 FAX: (210) 366-1407

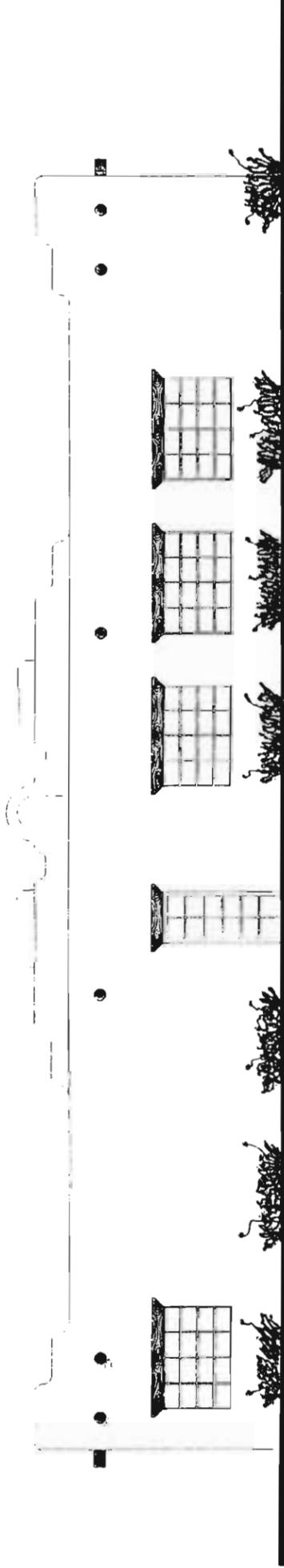
2 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



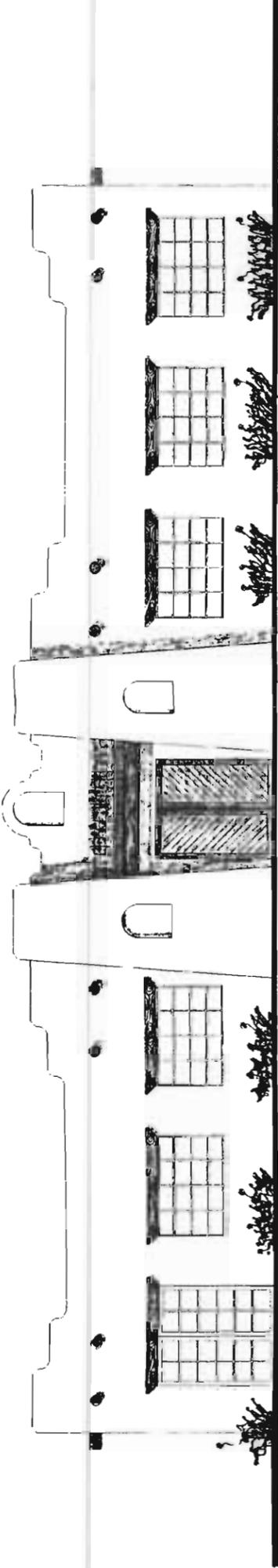
1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"



3 WEST ELEVATION  
SCALE: 1/4"=1'-0"



4 EAST ELEVATION  
SCALE: 1/4"=1'-0"



A-3

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

SCALE: 1/4"=1'-0"

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

SCALE: 1/4"=1'-0"

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

SCALE: 1/4"=1'-0"

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

SCALE: 1/4"=1'-0"

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

SCALE: 1/4"=1'-0"

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

SCALE: 1/4"=1'-0"

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

SCALE: 1/4"=1'-0"

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

SCALE: 1/4"=1'-0"

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

SCALE: 1/4"=1'-0"

DATE: 06-25-98

BY: DAVID T.

PROJECT: RODEO ESTATES

NO. 1

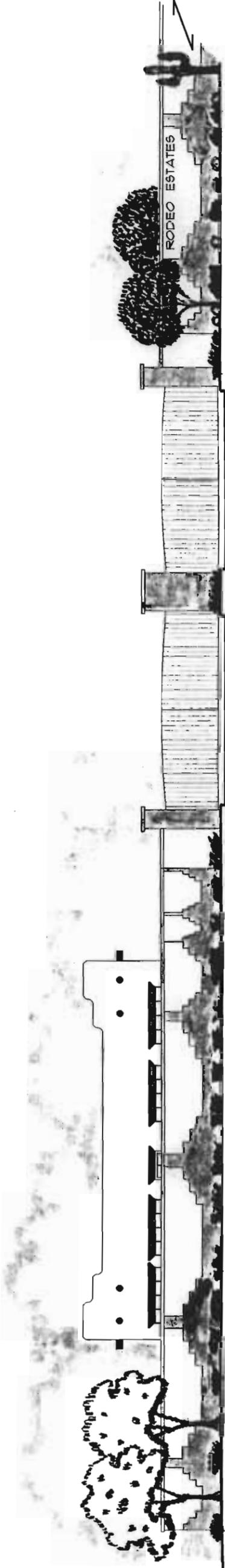
SCALE: 1/4"=1'-0"

DATE: 06-25-98

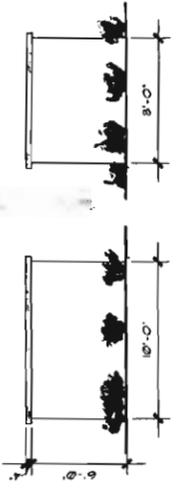
BY: DAVID T.

Prins • Mayeux & Associates/J.V.  
Architectural Planning • Design • Consultants  
5800 E. Thomas Road, Suite 105  
Scottsdale, AZ 85251  
(602) 970-6933 FAX: (602) 946-9788  
322 Breeseport, Suite C  
San Antonio, Texas 78216  
(210) 341-2470 FAX: (210) 366-1407

RODEO ESTATES  
LINDA PEARSON

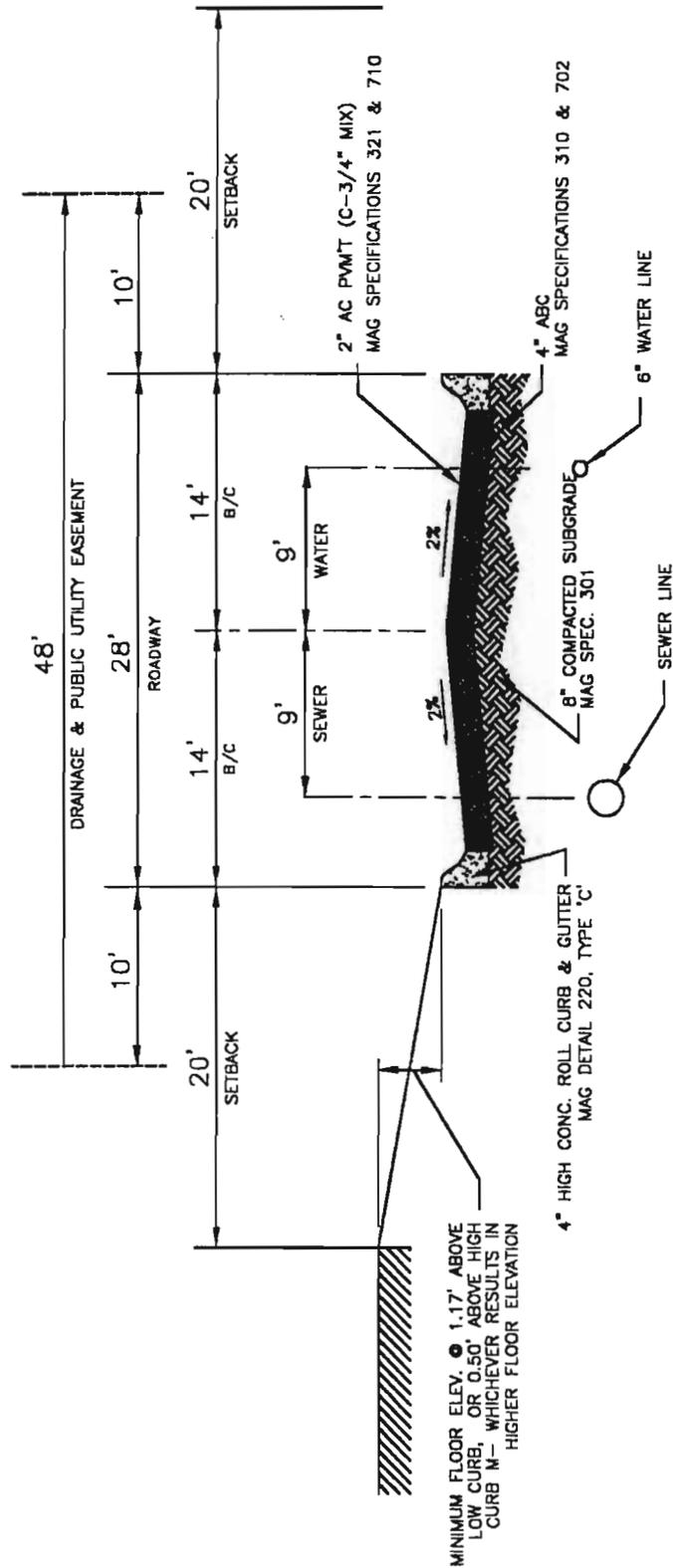


1 ENTRY WALL ELEVATION  
SCALE: 3/16"=1'-0"



2 TRASH ENCLOSURE ELEVATION  
SCALE: 3/16"=1'-0"





INTERIOR STREET CROSS SECTION

Figure 8