



# POST RANCH

CASA GRANDE, ARIZONA

*Planned Area Development Guide*  
*Approved May 16, 2005*  
*Amended September 20, 2006*



*App. by CC*  
*2/15/07*

**POST RANCH  
PLANNED AREA DEVELOPMENT  
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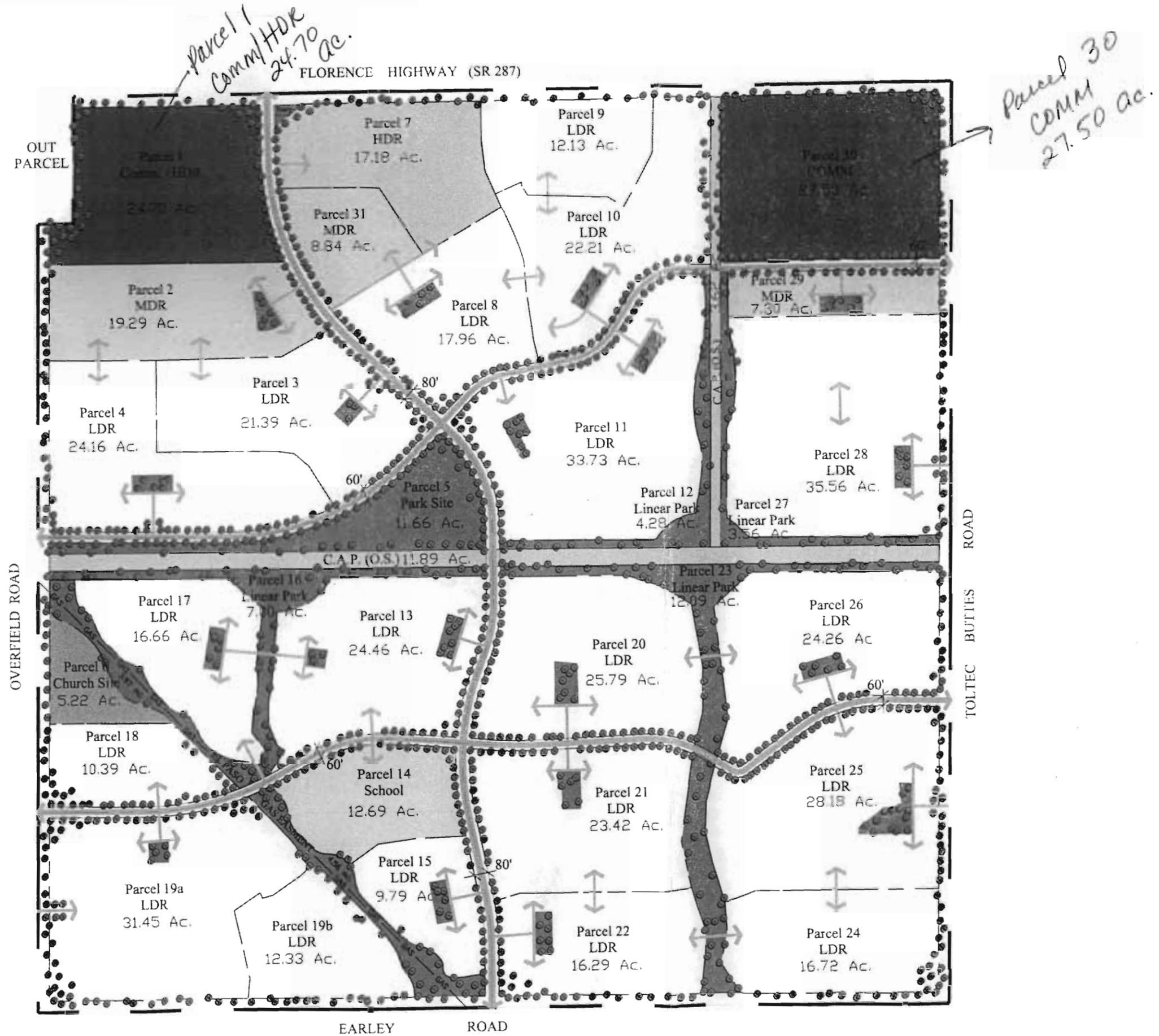
## LIST OF EXHIBITS

EXHIBIT	DESCRIPTIONS
A	REGIONAL CONTEXT MAP
B	VICINITY MAP
C	CASA GRANDE GENERAL PLAN
D	AMENDED CONCEPTUAL LAND USE PLAN
D2	CONCEPTUAL LAND USE PLAN
E	EXISTING CONDITIONS
F	AMENDED ZONING DISTRICTS
F2	EXISTING ZONING DISTRICTS
G	ADJACENT OWNERSHIP
H	AMENDED CONCEPTUAL OPEN SPACE/ PATHS AND TRAILS PLAN
I	AMENDED CONCEPTUAL MINOR TRAIL SYSTEM
J	AMENDED CONCEPTUAL MAJOR TRAIL SYSTEM
K	AMENDED CONCEPTUAL NEIGHBORHOOD PARK
L	AMENDED CONCEPTUAL COMMUNITY PARK
M	AMENDED CONCEPTUAL MONUMENT SIGNAGE
N	AMENDED CONCEPTUAL WALLS AND VIEW FENCING DETAILS
O	CONCEPTUAL STREET SECTIONS
P	AMENDED ROAD CLASSIFICATIONS
Q	AMENDED CONCEPTUAL PHASING PLAN

# Post Ranch

Casa Grande, Arizona

## Exhibit - D Amended Conceptual Land Use Plan



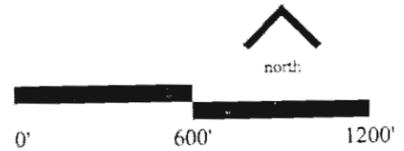
Changes From Original PAD  
Parcel 10 acreage increased from 19.58 acres due to a change in the alignment of the minor collector. The minor collector was moved south, because of the acreage increase in Parcel 30, the commercial site, from 15.16 acres to 27.50 acres. The new road alignment also caused acreages to change in Parcels 11, 12, 27 and 29. Changed colors in stand out more.

- LDR Low Density Residential
- MDR Medium Density Residential
- HDR High Density Residential
- COMM Commercial / HDR
- Church Site
- Parks / Open Space
- CAP (Open Space)
- School Site

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Date: Amended 20 September 2006

# Post Ranch

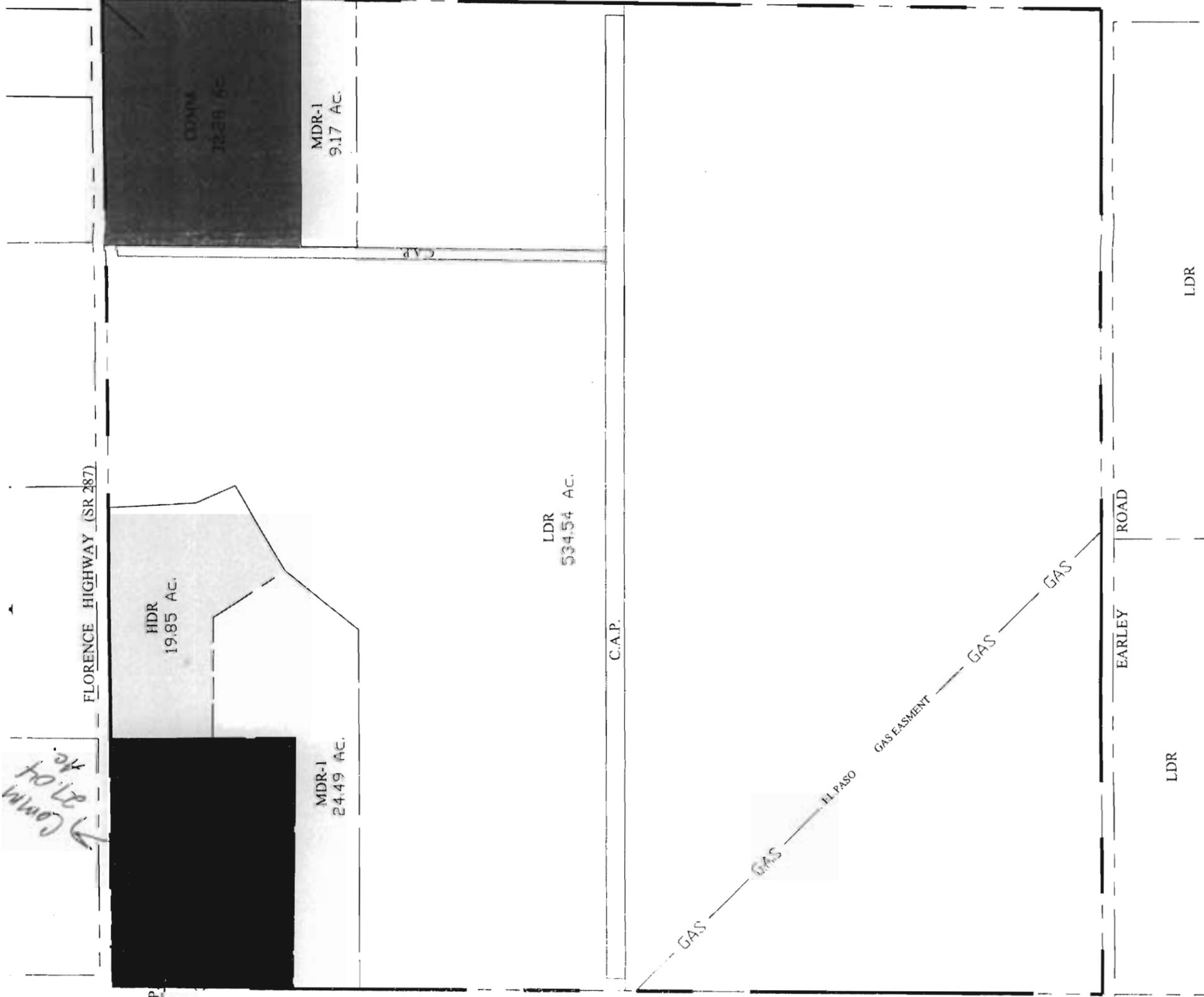
Casa Grande, Arizona

## Minor General Plan Amendment

Comm 32.28 Ac.

Comm 27.04 Ac.

Out Parcel  
Comm 3.57 Ac.



AMENDED LAND USE SUMMARY TABLE  
OVERALL

LAND USE	LAND USE DESCRIPTION	GROSS ACRES	TARGET DENSITY	PROJECTED UNITS
LDR	Low Density Residential	534.54	3.5	1871
MDR	Medium Density Residential	33.66	5.0	165
HDR	High Density Residential	19.85	10	198
COMM	Commercial / HDR	59.32	n/a	n/a
SUBTOTALS		647.37		2237
COMM	Commercial (Gladson Parcel)	1.07	500	n/a

\*Residential density shall not exceed 3.5 DU/AC based on the total net acres of the project, or 2,036 units.



P & Z APPROVED  
Date: 10/5/06  
Case #: 2537-06

COUNCIL APPROVED  
Date: 11/6/06  
Case #: 2537-06



0' 4000' 8000'

Date: Amended 20 September 2006

## **1.0 Purpose of Request**

Post Ranch is a proposed 647-acre master planned community (“Project”) located at the southeast corner of Overfield Road and Casa Grande / Florence Highway (SR 287) as illustrated in Exhibit A – Regional Context Map and Exhibit B - Vicinity Map. The project is approximately two (2) miles east of Interstate-10 and is approximately five (5) miles east of the heart of downtown Casa Grande. The Post Ranch Planned Area Development standards adhere to the City of Casa Grande Residential Design Standards for Planned Area Developments. The development standards demonstrate the quality of the master plan, as well as adherence to the City of Casa Grande zoning ordinance and general plan except as noted herein.

The purpose of this zoning application is to request a zoning change for the Post Ranch site from the properties current UR (Urban Ranch) zoning to Planned Area Development (PAD) zoning.

## **2.0 Existing Conditions & Relationship with the C.A.P.**

The site is bound on the west by Overfield road, on the east by Toltec Buttes, on the south by Earley Road, and on the north by Casa Grande / Florence Highway (SR 287). The 647-acre project site is currently and has historically been farmed. The majority of the property, approximately 400 acres, has been farmed by the Post family. The property is currently vacant. There is an abandoned pole shed on the southeast corner of the site that has historically been utilized for harvest storage.

Currently, there are two (2) major canal laterals on site and several minor irrigation laterals. One of the major lateral runs East/West through the center of the project along the mid-section line, and the other major lateral runs North/South dividing the NE quarter section into two (2) equal sections. There are also several local irrigation laterals along Casa Grande / Florence Highway (SR 287), and Toltec Buttes Road that will be tiled or relocated. An existing high-pressure gas line traverses the site from approximately the East Quarter corner of the project to the South Quarter corner that will remain, see Exhibit E – Existing Conditions. Both of the major canals are Central Arizona Project laterals and will have residential zoning but will be preserved as open space. The El Paso Natural Gas line easement will also be zoned residential and will be developed as open space. All structures constructed as part of the Post Ranch development will maintain the required setbacks from both the canals and the gas line easement. Crossings of both with utilities and roads may be necessary but will be limited.

## **3.0 Land Use Plan/ Preliminary Development Plan/ Project Description**

The vision for Post Ranch is to create a successful master planned community that is designed to connect and integrate the project land uses with open space and a strong community theme. The community is designed to integrate and address site constraints such as the CAP canal laterals and the El Paso Natural Gas easement, and turn them to potential

amenities for the project and the community at large while creating an exceptional master planned community. The PAD is also driven by the fact that the project is located within the Urban Fringe and the eastern gateway to the City. The project is within the path of growth and will allow for the regions ultimate controlled and orderly growth. The Mission Royale project and other master planned communities are being developed between Post Ranch and Interstate 10. Many of the properties surrounding Post Ranch currently being purchased by land development entities, including Robson Communities immediately to the east of the project. Additionally, the site is only several miles from a potential regional mall site, that coupled with the fact that the property is immediately adjacent to the major traffic corridor of Casa Grande / Florence Highway (SR 287) and the facts above, Post Ranch is one of the most logical “next steps” in the growth sequence of Casa Grande. The above factors have been integral in the shaping the Post Ranch PAD. The Post Ranch land use plan will ultimately integrate commercial and retail uses with single family and multi-family housing woven together with greenbelts, open space and community amenities.

## **A. LAND USE PLAN**

### **1. Proposed Uses and Intensities**

The Post Ranch PAD is an approximately 647 acre mixed use development that will develop overtime into a mixed-use master planned community. The majority of the project will be developed in a range of low density residential within one of the four project Villages. Limited high-density uses are planned adjacent to commercial uses and the more intense traffic along Casa Grande / Florence Highway (SR 287). The medium density is in turn used to buffer the low density residential, to the south, from the more intense uses of commercial and the intense traffic along the Casa Grande / Florence Highway (SR 287). As part of the development, commercial land uses have been planned along the Casa Grande / Florence Highway (SR 287) frontage at the southeast corner of Casa Grande / Florence Highway (SR 287) and Overfield Road and the southwest corner of Grande / Florence Highway (SR 287) and Toltec Buttes Road. They will serve as community and neighborhood commercial centers. All uses at Post Ranch are focused around an internal greenbelt system and/or open space areas that connect them and also create links to the regional open space system.

Post Ranch, is within the Urban Fringe area, as identified on the 2010 General Plan, the PAD proposes a maximum overall density of 3.5 dwelling units per net project acre for a total unit count of 2,036. The City of Casa Grande General Plan 2010 recommends a maximum density of 4.0 DU/AC and a target density of 3.0 within the Urban Fringe.

We believe that due to the surrounding land uses with higher density approvals in the County and the other regional factors listed above that the Post Ranch justifies slight increase in the target density.

Considering the projects location, it's proximity to Mission Royale, and the fact that surrounding properties are poised for development including the Robson Communities property to the east that is fully entitled in Pinal County, Post Ranch can be appropriately developed at a target density of 3.5 DU/AC. In doing so it will also fit into the vision of Casa Grande for this area. In the Casa Grande General Plan 2010, the property has been designated Low Density Residential (1-4.0 DU/AC) and the density request is within that range. The City has also indicated a desire to annex the property and surrounding areas in the near future. In fact, an annexation process is currently underway. As required by Growing Smarter, compact development will promote efficient land uses and lower cost of municipal services.

The open space system proposed for the Post Ranch PAD is a significant component in the creation of a successful and an attractive master planned community. As such, this PAD proposes a network of open space corridors, which are referred to as greenbelts, open space and parks within this submittal. The greenbelt and open space system will link all land use components of the community. Land set aside as developed or undeveloped open space will account for a minimum of fifteen (15) percent of the total single-family residential land area of the Post Ranch PAD. The land use concept of the Planned Area Development presents a balanced community. All of the land use elements are integrated at Post Ranch.

### 3.1a Single Family LDR Residential

Post Ranch’s project density will not exceed 3.5 DU/AC or 2,036 site-built dwelling units for the project. This standard is within the General Plan parameters as well as many recent planned developments within Casa Grande. The PAD complies with the Approved 2003 City of Casa Grande Residential Design Standards for Planned Area Developments. The minimum lot width will not be less than 55 feet per the City of Casa Grande Residential Standards. The following Table and notes provide development standards for the single-family housing at Post Ranch.

**(TABLE – 1)  
POST RANCH LDR RESIDENTIAL DEVELOPMENT STANDARDS MATRIX**

Lot Size Categories	Lot Area (In Square Feet)	Minimum Lot Width	Minimum Yard Setbacks				Maximum Building Height	Minimum Distance between Buildings
			Front	Rear	Side (Interior)	Side (Corner)(5)		
<b>Large Lots</b>	≥ 8,000	70'	15' – 20'	20'	5' & 10'	15'	28'	10'
<b>Medium/ Large Lots</b>	6,500-7,999	60'	15' – 20'	20'	5' & 10'	15'	28'	10'
<b>Small/ Medium Lots</b>	6,000 – 6,499	55'	15' – 20'	20'	5' & 10'	15'	28'	10'

1. No single-family lot shall be less than 6,000 square feet.
2. A minimum fifty-five foot width is required for all single-family lots.
3. Lot variety at Post Ranch is required to encourage diversity in housing product types and neighborhoods.
4. For every single-family lot or space less than 7,000 square feet in area, an equal number of lots that are at least 8,000 square feet in area shall be provided.
5. Side yard fence returns for all interior lot walls shall extend to within ten feet of the front corner of the home.
6. All walls exposed to the public, e.g., streets and open areas, shall be stained or painted the color of the primary decorative theme or perimeter walls, except walls for individual home lots may be the color of the residence.
7. No multi-story homes shall be built on corner or end lots.
8. No multi-story homes shall be located immediately adjacent to established one-story single-family home subdivisions.

### 3.1.b MDR-1 Development Standards

The following are standards for MDR-1 land uses at Post Ranch.

- A. Allowable uses for the MDR-1 area are single-family attached and detached homes.
- B. MDR-1 parcels shall have a target density range of 4.0 to 8.0 DU/AC and a target density of 5.0 DU/AC.

**(TABLE – 2)**  
**POST RANCH MEDIUM RESIDENTIAL DEVELOPMENT STANDARDS**  
**MATRIX FOR MDR1**

Lot Size Categories	Minimum Lot Area (In Square Feet)	Minimum Outdoor Living Area (In Square Feet) (1)(2)	Minimum Lot Width	Minimum Lot Depth	Minimum Yard Setbacks				Maximum Building Height	Minimum Distance between Buildings
					Front (3)	Rear	Side (Interior)	Side (Corner)(4)		
Single Family Lots	5,000	N/A	50'	100'	15' – 20'	20'	5' & 10'	15'	28'	10'
Attached-Family dwelling	3,500	600	35'	100'	0' – 20'	20'	0' & 10'	15'	28'	0'-10'

1. Outdoor living area in the minimum amount specified above must be provided on any lot occupied by multiple residence of townhouse building. This space must be easily accessible for daily recreational use by the occupants of the building. Driveways, parking areas, ornamental landscaped areas (having less than 20 feet), and required side or front yards shall not be considered as an Outdoor Living Area, except in the case of interior townhouse units where said unit is less than 20 feet in width, in which case the minimum width of the outdoor living area shall be the width of the lot.
2. May be calculated as average lot size per unit per structure.
3. 15' from the edge of the right-of-way to livable portion of the home or covered porches. 20', to front-loaded garage. Side-loaded garages 15' from the edge of the right-of-way.

4. Common area landscape tracts will be provided adjacent to entry corner lots. HOA-maintained landscaped tracts adjacent to corner lots shall count toward the setback. A minimum 10-foot tract and a minimum 5' building setback from the tract is required for a total of 15'. No side yard walls will be allowed to be built within 10 feet of the front-yard ROW, to provide for public utility easements (PUE).

### **3.1.c High Density Residential**

The following are standards for HDR land uses at Post Ranch.

- A. Development of the HDR areas shall be subject to Major Site Plan review and approval. Architecture, building materials, and colors shall be consistent with the SF-detached areas.
- B. Allowable uses for the High Density Residential (HDR) category shall be established on the Land Use Plan but product shall be characterized as condominiums, town homes, or apartments.
- C. Building setbacks and separations shall be in conformance with the multi-family zoning within R-3.
- D. The maximum height shall be 35'.
- E. The density standard for the HDR category shall range from 12.0 DU/AC to 16.0 DU/AC with a target density of 15.0 DU/AC.

### **3.1.e Post Ranch Theme and Landscaping**

A unique and cohesive theme for the Post Ranch has been created. The theme includes conceptual wall designs, signage, and landscape treatments. Exhibits H – P include typical conceptual designs and locations for parks, landscape designs, entry monumentation and walls. Perimeter walls and walls adjacent to roadways will be decorative and constructed of a combination of CMU and split-face block, as well as stone veneer. See Exhibits M and N for typical conceptual wall details and locations. View fencing along collector and arterial roadways as well as open space corridors will be applied under appropriate circumstances. Walls along collectors and arterials will be staggered, contain breaks, and/or columns for vertical and horizontal relief. Final wall details are subject to the approval of the Planning and Development Director.

A minimum twenty-five foot wide landscape tract shall be provided between every residential parcel and an adjacent arterial or collector right-of-way. The main entrances into a subdivision shall be designed to create a sense of arrival including entering onto pocket park and landscaped open space tract. The subdivision entries will have monument signage and a complimentary landscape palette that will include mature vegetation. Additional enhancements shall include a creative combination of some of the following features: lighting, landscaped medians, water features, sculptures, boulders, and stone features.

## **Front yard landscaping**

Front yard landscaping is required for all homes and unless approved by the Planning and Development Director, will be provided by the homebuilder. Front yard landscaping will be provided by the homebuilder or their representative and will be installed within three weeks of closing. The Planning and Development Director may extend installation times for homeowner installed or custom landscaping improvements for individual lots.

Front yard landscape packages offered by builders shall be subject to the review and approval of the Planning and Development Director and must meet the following requirements: a variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided; front yard landscaping designs with berming, river run features, courtyards, lighting, or other creative features shall be offered for standard landscape designs; and if turf/lawn is provided for front yards, it shall be kept to a minimal (no more than 20 percent) portion of the front yard and include a concrete header or similar border.

### **3.1.f - Parcel Layout and Design**

Post Ranch residential parcels will provide a mix of cul-de-sac designs (where cul-de-sacs are provided), including eyebrows, and cul-de-sacs with open space ends and curvilinear street system. The curvilinear streets provide character and different view corridors. The majority of parcel entries will enter on to open space tracts and/or parks.

### **3.1.g - Residential Architecture Standards at Post Ranch**

Post Ranch builders will present home floor plans and elevations to the Planning and Zoning Commission for their review and approval prior to obtaining permits for the homes. In order to avoid repetition and encourage architectural diversity at Post Ranch, the following mandatory standards are provided:

#### **3.1.g.1. Floor plans and elevations**

- A minimum of five home floor plans, each with three distinct elevations, is required per project and within each definitive housing price range or product type.
- A minimum of five distinct home color schemes is required per project and within each definitive housing price range or product type.
- Diversity and uniqueness in elevations and color schemes shall be demonstrated within each parcel.
- Homes with the same front elevation or color schemes shall not be located adjacent to (side by side) or across from each other.
- There shall not be any more than three consecutive similar rear home elevations for homes backing an arterial or collector roadway.

- Emphasis (e.g., covered front entries, covered front porches, bay windows, etc.) must be placed on the front elevations of homes. Main entries must face the street.
- Window pop-outs, windowsills, recessed windows and/or similar architectural embellishments are required on all windows, except as approved by the Planning and Zoning Commission.

### **3.1.g.2. Roofs**

- A variety of home roofing colors, shapes, and/or textures is required per project. Typically, concrete tile shall be required for all sloped roofs; however, consideration shall be given to alternative durable materials upon review of the housing product.
- Variation in roof ridgelines and designs is required.
- Unique roof colors shall be matched to each home color scheme.
- No buildings within a PAD shall have roof-mounted or wall-mounted mechanical equipment (e.g., HVAC, evaporative coolers). All such equipment must be ground-mounted.

### **3.1.g.3. Garages**

- On lots where side-entry garages can be accommodated (typically 65 feet wide and wider lots), at least one floor plan per parcel or product type must be designed with a standard side entrance garage.
- No front-loaded garage shall extend forward of a home's liveable area or covered front porch by more than ten feet.
- At least one floor plan per parcel or product type shall have the livable area of the home forward of the garage.
- Front-loaded garage doors shall not exceed fifty percent of the house width (frontage). Where more than a standard two car front-entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

### **3.1.g.4. Patio covers**

- Rear or side yard covered patios or covered courtyards are required on every home.
- Where possible, covered patio areas should be incorporated into the architecture of the homes.
- Patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Zoning Commission.

### **3.1.g.5. - Additions and modifications**

- All additions to homes shall be constructed of the same building materials as the principal residence and painted to complement the home.
- Garages shall not be converted or enclosed for other uses.
- Accessory buildings shall only be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence.

### **3.1.g.6 - Additional Requirements for Post Ranch Residential Architecture**

In addition to the previously stated mandatory requirements, four of the standards listed below must be selected by builders at Post Ranch. The selected requirements shall apply to the builder's entire development parcel. The homebuilder must illustrate compliance as part of their presentation of the elevations to Planning & Zoning Commission.

1. Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
2. Provide unique architectural styles for all homes within a parcel or parcels of a PAD. Depart from currently popular architectural styles to use other unique house styles, such as Craftsman, Prairie, Territorial, Ranch, Tudor, Mission, and Pueblo.
3. Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and /or dormers as standard features on all homes.
4. Reduce the number of standard front-loaded garages. At least one floor plan per project or product type shall have the garage oriented towards the rear of the home as a standard feature. In addition, the number of floor plans using side-loaded garages as standard features shall be increased from the minimum required.
5. Reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, providing multiple roof changes, and/or other effective means.
6. Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.
7. Provide one elevation per project or product type that uses flat roof, e.g., Sante Fe or Pueblo architectural style, elements.
8. Applicant's choice. An opportunity for creativity and design innovation is provided here.

### 3.2 Open Space

While Post Ranch is not immediately adjacent to development, open space areas have been designed to tie into future regional links both to the east and west of the site. The CAP canal laterals provide an opportunity to make a strong linear park system for the residents of Post Ranch and the City at large to enjoy. Post Ranch will serve as an important link in the development of the newly annexed area east of Interstate 10 and will provide the link to future development of regional open space connections and services. In addition to the linear greenbelt park system, a community park of approximately ten (10) acre will be developed as a major community amenity and focal point. See Exhibit L –Conceptual Community Park for a conceptual design of the park. All uses will be linked with sidewalks and/or paths and trails to provide a friendly non-vehicular network. Open space and recreation is the major organizing principle at Post Ranch. As such, a large portion of Post Ranch is planned as open space. At a minimum, fifteen (15) percent of the Project’s residential acreage will be designed and developed as open space. See Exhibit “H” Conceptual Open Space Path & Trails Plan for conceptual open space as well as major path and trail locations and amenities. Also, Exhibits I and J illustrate typical major path and trail connections.

Open Space Amenity	Quantity / Size
15% of Residential Acreage in Open Space.	80 Acres
Linear Park Systems	Approximately 15 acres
Community Park	Minimum 10.0 Acres
Neighborhood Parks	0.5 – 3.0 Acres (each)
Future Links to City & Regional Greenbelts	Multiple
Walks and Trails System	3 Miles of Walks and Trails

The project’s open space elements will include but are not limited to a ten-acre community park, and the linear greenbelt open space system with local and regional links. The other major open space element is neighborhood parks and open space amenities. The neighborhood elements will include neighborhood pocket parks, neighborhood greenbelts active and passive recreation, as well as subdivision entry open space and features. The two major elements are designed to complement one another and act as the major community amenity. The open space elements will all be linked with sidewalks through neighborhoods and/or walks and trails through the greenbelt system. They will serve as non-vehicular connections for all land uses at Post Ranch. Single-family residential, commercial, and educational land uses, as well as religious and multi-family land uses, will be linked via the greenbelts.

### **3.2.b Project Specific Open Space Amenities**

Project-wide open space will be landscaped to provide inviting recreational areas and greenbelt corridors. The internal project-specific open spaces will be strategically located for high visibility and usability. Neighborhood entries, as well as many of the local roads, will terminate with views into open space areas where appropriate. In addition, the greenbelts will serve as non-vehicular connections through the site. Multi-use pathways including ten (10) foot and five (5) foot wide walkways will connect all land uses. The ten (10) foot multi-use path will meander through the linear park that is adjacent to the CAP laterals and will be lit with a bollard or another City approved lighting system. This trail system serves to physically and visually tie the various neighborhoods together while also providing regional open space and connections. See Exhibit K for a typical conceptual design for a neighborhood park. The internal ten (10) foot wide multi-use path and five (5) foot wide walkway network will be designed to provide safe and convenient connections to all open spaces and land uses. All walkways and paths will be constructed of City approved materials and will be based on the approved. All lots will be within 1000' of a park, passive recreation area, open space corridor, or multi-use path. See Exhibit -I Path and Trails master plan for path and trail locations.

#### **3.2.b.1 - Additional Open Space Standards**

- Clubhouses, indoor recreation centers, parking lots, street rights-of-way, and non-landscaped or cement built retention areas and cement drainage channels, with the exception of the CAP canals, shall not count towards the open space requirement.
- At least fifty percent of the required open space must include parks, multi-use trails, bike paths, turfed retention areas, tot lots, and/or other outdoor active or passive recreational improvements. Council may decrease this requirement in return for the preservation of areas with natural washes, native cacti and/or mature native trees.
- When retention areas are designed for recreational usage, at least fifteen percent of the basin needs to be elevated above a twenty-five year flood water surface elevation. Where possible, drywells shall be used for all retention basin areas.
- All open space not considered natural preservation areas shall be landscaped according to an approved water-conserving final landscape plan.
- Landscape, landscape lighting, and open space amenity plans shall be subject to the review and approval of the Planning and Development Director.
- All open space, parks and landscaping within Post Ranch will maintained by the Post Ranch HOA with the exception of median landscaping on the perimeter arterials, Toltec Buttes Road, Earley Road, Overfield Road, or Florence Highway (SR 287) and the CAP canals.

### 3.3 Commercial Standards

All commercial uses at Post Ranch shall comply with and be governed by all applicable City standards with the exception of the following standards.

#### 3.3.1 Commercial Permitted Uses and Standards

The following are the permitted uses and developments standards for Commercial land use with Post Ranch

A. Allowable uses in the Commercial areas shall be limited to:

- A “Large Single Retail Use” and/or “Large Multiple Use Shopping center” use on the commercial parcels with arterial frontage providing the use meets the requirements for such uses as outlined in the City Zoning Ordinance;
- Accessory single-family residential uses when occupied by the owner, lessee, or watchman employed on the premises.
- All ages book/video store;
- Animal hospital/veterinarian office without outdoor kennels;
- Appliance sales and service;
- Art gallery/museum;
- Athletic club;
- Bakery with on-site sales and less than 3,500 square feet;
- Banks and credit unions;
- Blueprint/photo processing and/or sales;
- Bowling alley;
- Business/office machine sales and service;
- Call centers;
- Catering business;
- Churches/synagogues;
- Cigar and tobacco store;
- Clothing store;
- Community meeting centers;
- Convenience store;
- Dance/theatrical/music studio;
- Delicatessen;
- Dry cleaning and/or Laundromat;
- Electronics store;
- Essential (as determined by City) Public services/uses;
- Florist;
- Game rooms/pool halls;
- Garden supply stores;
- Gas station, fast-food restaurant, automotive (excluding auto body) repair, tire sales/repairs, and/or car wash uses shall be

limited to commercial parcels with primary arterial roadway frontage;

- Grocery store/food sales;
- Hair salon/beauty parlor/barber;
- Hardware store;
- Home furnishing store;
- Hotel;
- Interior decorator;
- Jewelry sales/service;
- Liquor store;
- Lock and key shop;
- Medical urgent care center, including satellite hospital facilities;
- Medical, dental, and chiropractic offices;
- Movie theater;
- Municipal uses;
- Nail salon;
- Newsstand;
- Optician;
- Photographic studio;
- Professional and semi-professional offices;
- Radio/television studio;
- Shoe repair/service;
- Sit-down restaurants;
- Sports equipment sales and service; and
- Tavern/bar.
- Permitted accessory uses, including business signs, trash receptacles, accessory buildings, temporary buildings incidental to construction work, and accessory residential uses (single-family), when occupied by the owner, lessee, or watchman employed on the premises.
- Additional retail and office uses that are similar in nature to those specifically listed above (excluding any uses that are of a primary outdoor nature such as automotive, RV, boat, and manufactured home sales) shall also be permitted. Pawn shop, consignment store, thrift store and tattoo/piercing, adult book and video store uses are prohibited. The Planning and Development Director shall determine which additional similar uses may be allowed within the PAD. Appeals shall be made to the Planning and Zoning Commission and City Council through the Major Amendment to a PAD process.

B. Development Standards:

Building setbacks and building heights for the commercial area: Front 35', Rear 15', Sides 15', Corner 25', and maximum height is 35'. A 45-foot residential boundary setback is

required.

#### **4.0 City of Casa Grande General Plan Conformance**

The Casa Grande General Plan indicates that the site is appropriate for low-density residential (1.0 – 4.0 dwelling units per acre) uses. Post Ranch's proposed density of 3.5 dwelling units per gross acre is within the allowed density and conforms to the land uses and land use policies of the Casa Grande General Plan.

##### **CITY OF CASA GRANDE – GENERAL PLAN CONFORMANCE**

- As a master planned community, Post Ranch will deliver a diverse product offering within one community.
- Paths, parks, and greenbelt open space will be an integral part of Post Ranch.
- Multi-modal transit facilities will be provided as needed to allow inter and intra-transit for Post Ranch and the City of Casa Grande.
- The path and trail system within Post Ranch will provide local and regional connections.
- Post Ranch has arterials roads on all four sides including Casa Grande / Florence Highway (SR 287), a preliminary traffic analysis illustrates that said roads are sufficient to serve the project and while continuing to serve the community at large at an acceptable level.
- The water and wastewater solutions for Post Ranch and the City assure that proposed use will not diminish the assured water supply nor will it diminish the ability to convey and treat wastewater.
- An integrated landscape theme will be developed throughout the project. The quality and consistency of the landscape will be assured through maintenance by the HOA.
- Post Ranch has standards that meet the PAD Residential Design Standards of the City with only minor variations.
- Though not required by the general plan, Post Ranch will provide an approximate ten-acre Community park, 15% open space and a major linear greenbelt system with regional open space links.

#### **5.0 Relationship to Surrounding Properties**

Located to the north, across Casa Grande / Florence Highway (SR 287) are vacant undeveloped lands that are owned by a land development entity, the land is currently used for agriculture. The land is also currently zoned AG and is part of the recent annexation that brought Post Ranch into the City of Casa Grande.

Toltec Buttes road is the eastern boundary of the site and across Toltec Buttes to the east is vacant agricultural land and several canal laterals. All of the frontage east of the Toltec Buttes is also owned by a land development entity and zoned for smaller lots and a greater overall density.

To the south, Earley Road runs east/west. Across Earley Road to the south is vacant agricultural land that is zoned AG, but has been acquired by a development entity. Immediately west of the Site, on the opposite side of Overfield Road, lies agricultural land.

## **6.0 Access To The Site**

Primary access to the site is provided to the project from Casa Grande / Florence Highway (SR 287) to the north. The major traffic to and from the site will travel along the Casa Grande / Florence Highway (SR 287) from Interstate-10 and overtime along the southern border by Earley Road. Minor collector connections will also be made to Toltec Buttes Road and Overfield Road in accordance with sound planning and engineering principles and as illustrated by the traffic and circulation exhibit J and approved Post Ranch Traffic Study.

## **7.0 Circulation System and Street Improvements**

A primary entry will be near the midsection line of Section 29 intersecting with the Casa Grande / Florence Highway (SR 287) and will serve as the major entry into the project. The entry collector is tentatively named Post Ranch Boulevard. Minor entries into the site will also be provided from Toltec Buttes Road on the east and Overfield Road on the west. Once in the project, the Post Ranch Boulevard collector travels south from the main entry and continues south through the site and crosses the CAP east-west lateral. In an effort to limit the crossings of the CAP lateral the only vehicular crossing will be Post Ranch Boulevard. North of the CAP there will also be a minor collector that travels from Post Ranch Boulevard, west to Overfield Road. The same collector will also travel from Post Ranch Boulevard northeast to Toltec Buttes Road. There will be one minor collector south of the CAP that will travel from Post Ranch Boulevard, west to Overfield Road and east to Toltec Buttes Road. The half streets for Overfield, Early and Toltec Buttes Roads will be developed and improved by the developer as outlined in Phasing Plan Exhibit "Q" and/or as traffic counts warrant in the approved Post Ranch Traffic Study. All roads will be improved to AASHTO and/or current City of Casa Grande engineering standards. See Exhibit "O" for typical road cross-sections and see Circulation & Transportation Exhibit "P" for locations and classifications of roadways.

## **8.0 Public Facilities & Schools**

Post Ranch is located within both the Casa Grande Elementary School District and the Casa Grande Union High School District. The developer has met with both school districts and per the development agreement, a 12-acre elementary school site will be provided within Post Ranch. The school district has requested that the school not be located near the CAP Canal and has tentatively requested that the school be sited on parcel 14 of the Conceptual Land Use Master Plan Exhibit D. The high school district declined a site at Post Ranch due to the proximity of another site near Interstate-10 & Casa Grande / Florence Highway (SR 287).

This residential development will include usable greenbelts, open space areas and other passive recreational amenities as noted previously throughout this document. Active recreational amenities are proposed within Post Ranch and in particular within the ten (10) acre community park.

## **9.0 Phasing Plan**

The project is proposed to be developed from north to south. The phasing is preliminary at this time, and is subject to modifications depending on market conditions and absorption rates. A more detailed phasing plan, meeting the approval of the City Engineer and Planning and Development Director will be established during the Preliminary Plat review process. See Phasing Plan Exhibit "Q" for the locations of the phases.

## **10.0 Utilities**

Any utilities running through the site or any utilities that need to be relocated for development of the property will be placed underground except as approved by the City Council. Information about non-City utilities will be provided with submittal of the first preliminary plat for the Project.

### **10.1 Sewer**

Post Ranch sanitary sewerage facilities will provide service to approximately 2,036 homes within the development. Design wastewater flows will be based on an average household size of 3.3 persons per household and an average unit flow of 100 gallons per day per person. The Post Ranch wastewater facilities will be designed and constructed in accordance with Arizona Administrative Code Title 18, Chapter 5 and with approval of the City of Casa Grande.

The site is relatively flat and slopes from southeast to northwest at about 0.13 percent. The CAP irrigation lateral that traverses the site from east to west divides the site into two approximately equal sized parcels of land. The existing irrigation lateral, along with constraints imposed by the relatively flat terrain, suggests that the site be treated as two independent sewer basins, a north basin and a south basin. This has the advantages of avoiding multiple irrigation lateral crossings and keeping the collection system pipe sizes relatively small.

Sanitary sewer service for Post Ranch will be provided by an on-site collection system, two off-site wastewater pumping stations / force mains, (if required) and an off-site interceptor sewer. Wastewater generated on-site will be conveyed within the collection system to the two off-site wastewater pumping stations. The collection system will be a gravity flow system consisting of 8- and 10-inch diameter pipes (or larger to possibly eliminate off-site lift stations) and related manholes.

The north and south wastewater pumping stations will be located at the northwest corners of the north and south basins, respectively. The north pumping station will be located near the intersection of Overfield Road and the Florence Highway. The south pumping station will be located south of the intersection of Overfield Road and the CAP irrigation lateral. The wastewater pumping stations will lift wastewater through pressurized force mains to a terminal manhole at the extreme upstream end of the off-site interceptor sewer. The terminal manhole will be located near the intersection of Overfield Road and the Florence Highway.

Each pumping station will pump through its own dedicated force main. The length of the north pumping station force main is anticipated to be of the order of 100 feet. The south pumping station force main will parallel Overfield Road, along the westerly edge of the site, and will be approximately 200 feet in length. The diameter of each respective force main will depend upon the planned population density for each sewer basin. It is anticipated that the force mains will be 6- to 8-inches in diameter.

Wastewater pumped to the interceptor sewer terminal manhole will flow to the existing City of Casa Grande sewer system and ultimately, to the City's wastewater treatment facility. The off-site interceptor sewer will follow existing rights-of way and will connect to the existing sewer system within Korsten Road, approximately one-half mile east of Peart Road.

Starting at the intersection of Overfield Road and the Florence Highway, the 21-inch interceptor sewer will follow an alignment west along the Florence Highway to the west side of Interstate 10, a distance of approximately two miles going through Mission Royale to the existing manhole at Santiago Trail. From there, it connects to an existing 21" line under Interstate 10.

From the west side of Interstate 10 and the Florence Highway, the 24" interceptor sewer will parallel Interstate 10 north for a distance of approximately two miles, to Korsten Road. At Korsten Road, the interceptor sewer will proceed west for a distance of approximately one and one-half miles where the interceptor sewer connect to the City's existing sewer system.

At the point of connection, the existing sewer is 21-inches in diameter. The existing 21-inch diameter sewer extends west to Peart Road where the sewer diameter changes to 24-inches. However, a modification to the existing 21-inch sewer will increase the size to 24-inches, and the proposed 21-inch sewer will also be increased to a 24-inch sewer. It is proposed to augment the one-half mile reach of existing 21-inch diameter sewer main with a parallel 12- to 15-inch diameter sewer main. This will increase the conveyance capacity of the reach approximately to that of a 24-inch sewer. The augmentation will necessitate the design and construction of junction structures at each end of the augmented reach. Post Ranch has participated in purchasing/reserving capacity in the 21" and 24" lines.

## **10.2 Potable Water**

Post Ranch lies within the Arizona Water Company's (AWC) CC and N, and will serve the project. The point of connection is the existing 12" diameter main in Florence boulevard, approximately 7,900 linear feet west of Florence Boulevard and Overfield Road intersection. The main extension will be a 16" diameter main will end 1320' west of the northeast corner of Post Ranch, and will serve the entire project. The 16" diameter main will end at the Northeast corner of our project (Florence Boulevard and Toltec Buttes Road). We are designing the residential units with 1,000 gpm fire flow and the commercial with 1500 gpm fire flow per National Fire Code standards.

The preliminary design indicates that we will have water main sizes varying from 6" diameter to 12" diameter in order to ensure adequate fire protection. The fire protection requirement is much greater than the required peak daily flows, which is why all design is based upon fire flow requirements.

## **10.3 Electric Power**

Post Ranch has electric service along Florence Boulevard. Power will be provided by Electrical District #2, Coolidge, AZ.

## **10.4 Natural Gas and El Paso Natural Gas**

- A. Natural Gas – Natural gas will be provided by Southwest Gas Company. The nearest point of connection is a ½" diameter main, one-half mile North of the project on Toltec Buttes Road.

- B. El Paso Natural Gas – There is an existing high-pressure gas line traversing the site from approximately the East Quarter corner of the project to the South Quarter corner. Any and all proposed construction within the easement will have to be approved by El Paso Natural Gas Company. In addition, prior to any construction the line must be physically located, both horizontally and vertically with an El Paso Natural Gas Company representative on site.

### **10.5 Telephone**

Telephone service is provided by Qwest.

### **10.6 Sanitation**

The City of Casa Grande will provide service and approve the design. This approval is part of the package that is sent to the State Real Estate Department after each final plat is recorded.

### **10.7 Central Arizona Project**

Currently there are two (2) laterals on site. One runs East/West through the center of the project, and the other runs North/South dividing the NE quarter in 2 sections. The laterals have been planned to be an integral part of our green belt system. On both sides of the canals, a linear park and greenbelt has been planned. The linear park system will include various amenities such as path and trail links. Walkers and jogger will also be allowed to utilize the canal banks to traverse the site and connect to the regional path and trail system subject to the approval of Hohokam Irrigation District.

### **11.0 Grading and Drainage Concept**

The grading and drainage concept for Post Ranch consists of providing retention basins within the proposed open space areas as required. The property will be graded to drain toward the retention basins. The streets will be designed per the City of Casa Grande criteria to convey all onsite storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. Offsite storm drainage will be accommodated through adequately designed water conveyance systems. Final drainage and retention reports and plans, meeting the approval of the City Engineer, are required prior to the recording of the PAD Plat or the approval of any Final Subdivision Plats for this project. A Conceptual Grading and Drainage Design Report will be submitted to and approved by City Engineer prior to approval of the Preliminary Plat for the site. Final drainage reports and plans, meeting the approvals of the City Engineer, are required prior to the approval of any Final Subdivision Plats for this project.

The retention basins will be designed as multi-use facilities, combining retention facilities with playground equipment and recreational opportunities. To minimize the disruption of use during and after storms, all playground equipment will be elevated out of the 25-year storm event. Drywells may be used as recommended by the City Engineer.

### **12.0 Residential Covenants, Conditions, & Restrictions**

In order to assure residents that their investment in the project and home will endure, Post Ranch will be controlled by a set of Covenants, Conditions, and Restrictions (CC&Rs). The CC&Rs will incorporate the design principals as outlined in this document and will promote diversity in home sites, color, texture, and streetscapes, not only from neighborhood to neighborhood but also from neighbor to neighbor. The CC&Rs will be presented to the City Planning and Development Director for review prior to the approval of any Final Subdivision Plats.

### **13.0 Homeowners Association**

An HOA will be formed with the development of Post Ranch. The HOA will maintain all landscape tracts, perimeter walls, and open space areas including drainage ways, perimeter walls and landscaping within rights-of-ways located within the project. The HOA, however, will not be responsible for the maintenance of the CAP easement(s) that run through the property, nor will they be responsible for the maintenance of the future landscaped medians within Casa Grande / Florence Highway (SR 287), Toltec Buttes Road, Earley Road, or Overfield Road. No landscape improvements are planned within either the CAP or El Paso easements.

### **14.0 Development Team**

Harvard Investments has a distinguished track record of developing quality master planned communities. They have worked successfully in major markets throughout the Southwest and Western United States. Their projects include: Northwest Ranch and Mountain Vista both in the City of Surprise, as well as Neely Farms in the Town of Gilbert and Madera Highlands south of Tucson. They have also developed La Barranca and Back O' Beyond in Sedona and Talking Rock in Prescott. Harvard Investments has assembled an experienced team of consultants (the "Development Team"). Each member of the Development Team is experienced in a variety of successful and high quality master planned communities. The team is comprised of planners, engineers and legal counsel. The expertise gathered for this project will help to ensure that Post Ranch is appropriately planned and will be a true asset to the City and its residents. The planner is Hadley Design Group, Inc., the engineers are Fleet Fischer Engineering, Inc. as well as Arcadis G & M, Gallagher Kennedy provides legal counsel. The developer has assembled a development team with experience in the Casa Grande market in order to design Post Ranch as an exceptional project in which any homebuyer would be proud to live. The development team consists of the following:

**Owner/Developer:**

Harvard Investments  
17700 N. Pacesetter Way  
Scottsdale, AZ 85255  
Contact: Chris Cacheris  
Phone: 480-348-1118  
Fax: 480-348-8976

**Land Planner:**

Hadley Design Group, Inc.  
7272 E. Indian School Road  
Suite 472  
Scottsdale, Arizona 85251  
Contact: Jason Hadley  
Phone: 480-429-0500  
Fax: 480-429-0501

**Entitlement Counsel:**

Gallagher & Kennedy, PA.  
2575 E. Camelback  
Floor 11  
Phoenix, AZ 85016  
Contact: Dana Stagg Belknap  
Phone: 602-530-8348  
Fax: 602-530-8500

**Engineering Consultant:**

Arcadis G&M Inc.  
3777 E. Broadway Blvd.  
Suite 100  
Tucson, AZ 85716  
Contact: Bill Cowie  
Phone: 520-903-2393 x32  
Fax: 520-903-2395

**15.0 Conclusion**

Post Ranch is a community that is designed with an integrated greenbelt and open space system that will allow both residents of Post Ranch and the community at large to enjoy greenbelt open space and recreation at Post Ranch. The master planned community is also designed to utilize the sites unique opportunity to have an extensive linear park system that will allow residents to reach the amenities and services of Post Ranch and surrounding development utilizing non-vehicular transportation while providing access to all the

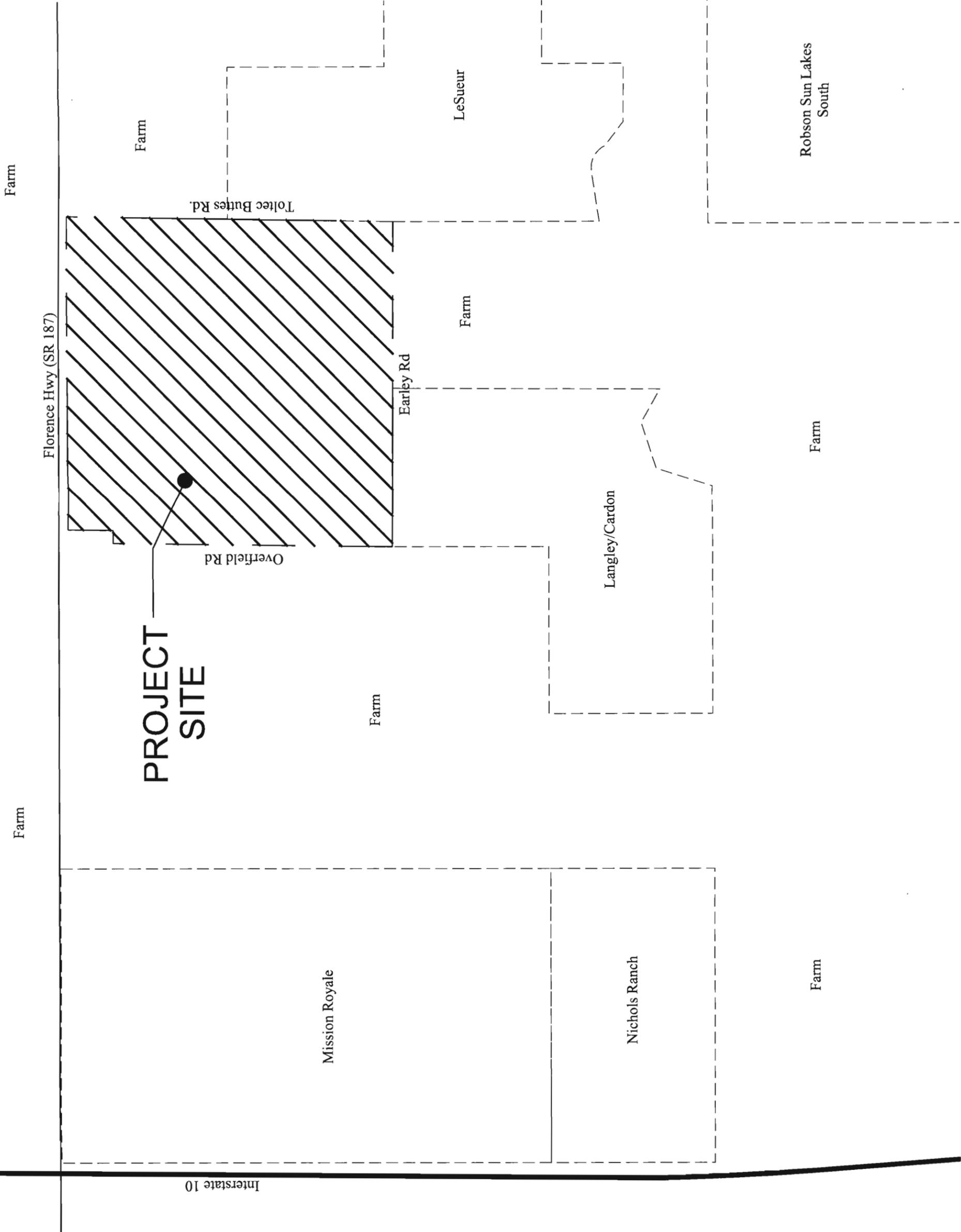
resources Casa Grande has to offer.



# Post Ranch

Casa Grande, Arizona

## Exhibit - B Vicinity



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Date: 16 March 2005



# Post Ranch

Casa Grande, Arizona

## Exhibit - D Amended Conceptual Land Use Plan

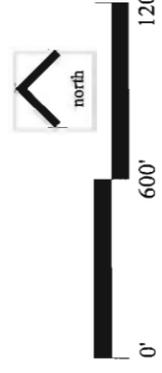
Changes From Original PAD:  
Parcel 10 acreage increased from 19.59 acres due to a change in the alignment of the minor collector. The minor collector was moved south, because of the acreage increase in Parcel 30, the commercial site, from 15.16 acres to 27.50 acres. The new road alignment also caused acreages to change in Parcels 11, 12, 27, and 29. Changed colors to stand out more.

- LDR Low Density Residential
- MDR Medium Density Residential
- HDR High Density Residential
- COMM Commercial / HDR
- Church Site
- Parks / Open Space
- CAP (Open Space)
- School Site

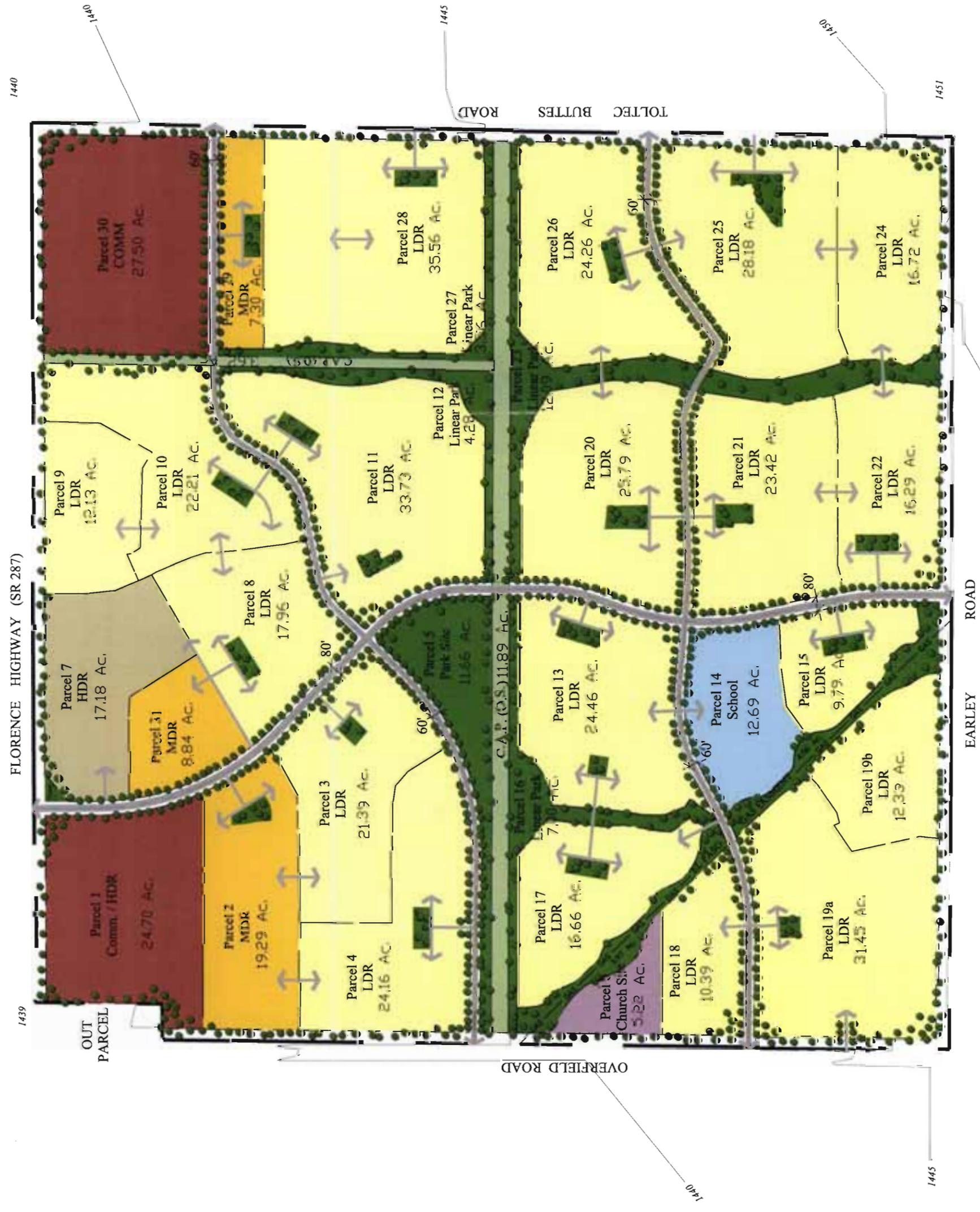
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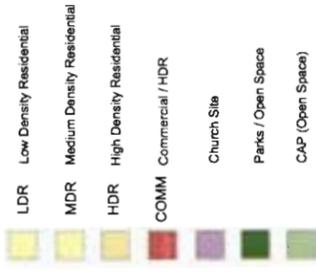
Date: Amended 20 September 2006



# Post Ranch

Casa Grande, Arizona

## Exhibit - D2 Conceptual Land Use Plan



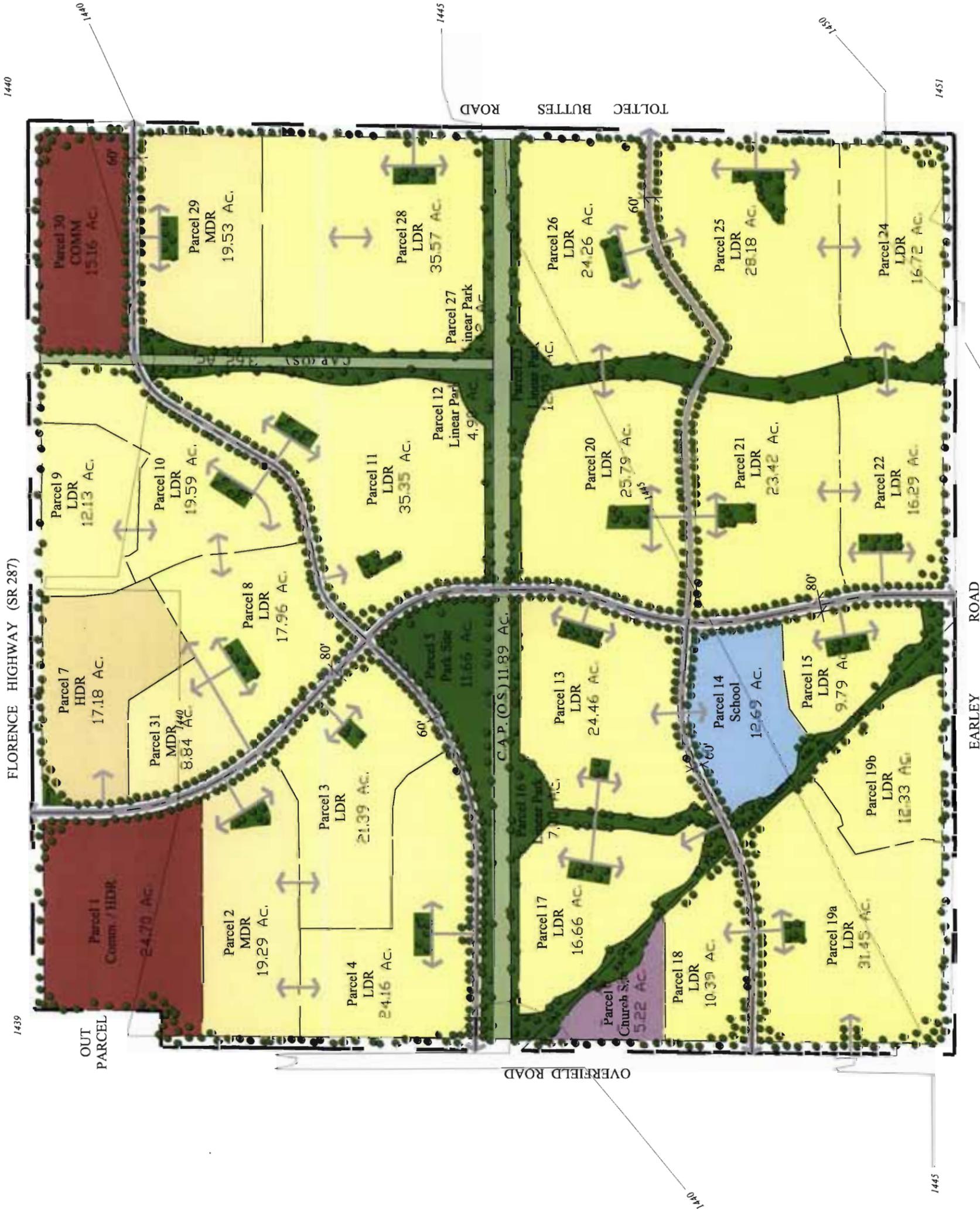
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Date: 5 August 2004



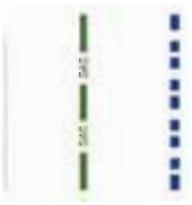
# Post Ranch

Casa Grande, Arizona

## Exhibit - E

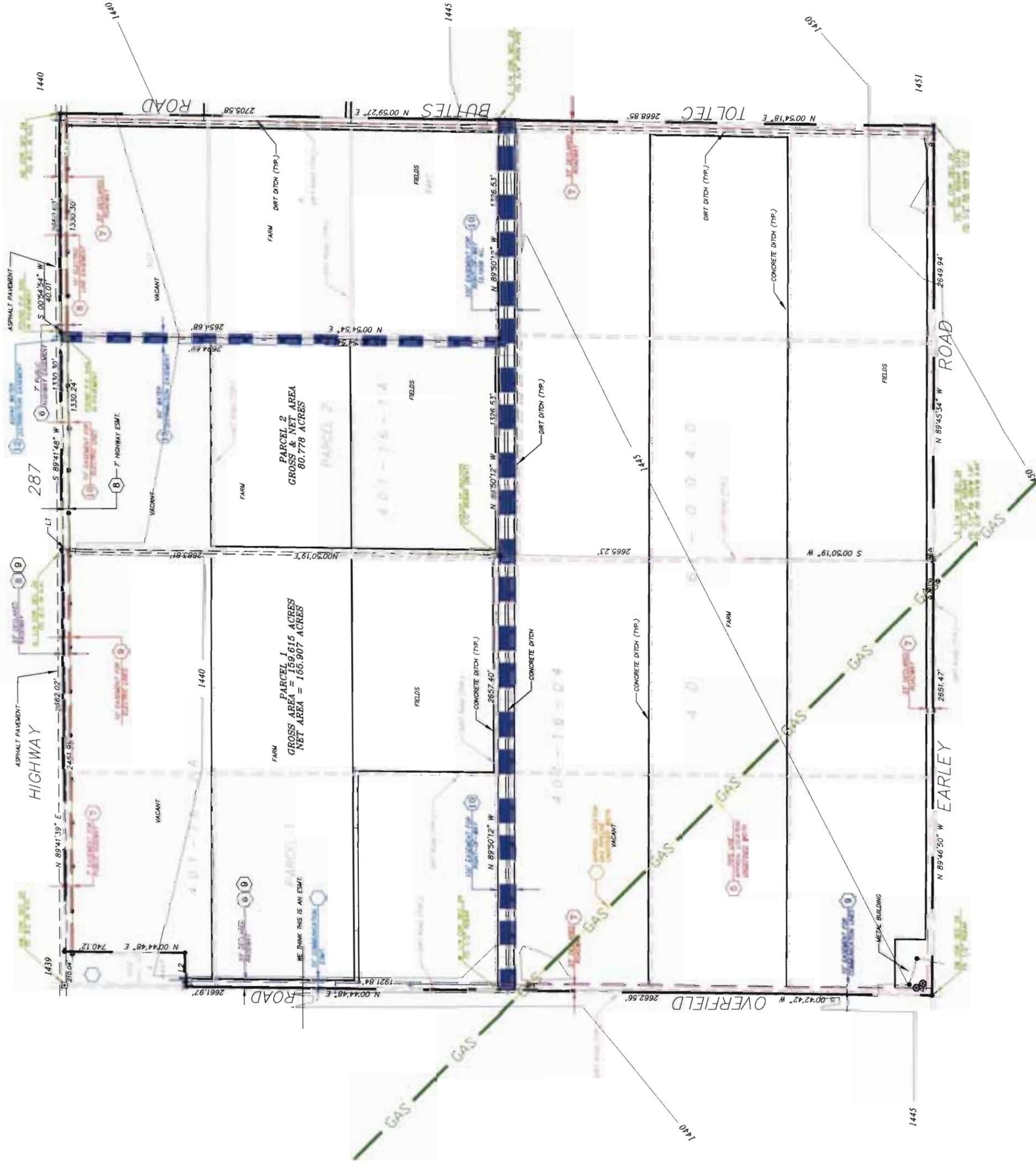
Existing Conditions

### LEGEND



Gas Line

Existing Canals



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**HADLEY DESIGN GROUP**

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Date:

16 March 2005

# Post Ranch

Casa Grande, Arizona

## Exhibit - F Amended Zoning Districts

*Calc Use*

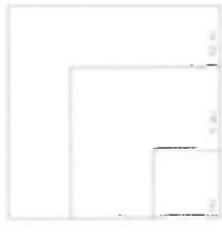
AMENDED LAND USE SUMMARY TABLE  
OVERALL

LAND USE	LAND USE DESIGNATION	GROSS ACREAGE	TARGET DENSITY	PROJECTED DWELLING UNITS
LDR	Low Density Residential	534.54	3.5	1871
MDR	Medium Density Residential	33.66	5.0	168
HDR	High Density Residential	19.85	10	198
COMM	Commercial / HDR	59.32	n/a	n/a
SUBTOTALS:		647.37		2237*
COMM	Commercial (Gladden Parcel)	3.57	n/a	n/a

\*Residential density shall not exceed 3.5 DU/AC based on the total net acres of the project, or 2,036 units.



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480/348.8976 Fax



**HADLEY DESIGN GROUP**  
2272 E. Indian School Rd. Suite 472  
Phoenix, Arizona 85016  
Tel: 480-429-0300 Fax: 480-429-0301



Date: Amended 20 September 2006

# Post Ranch

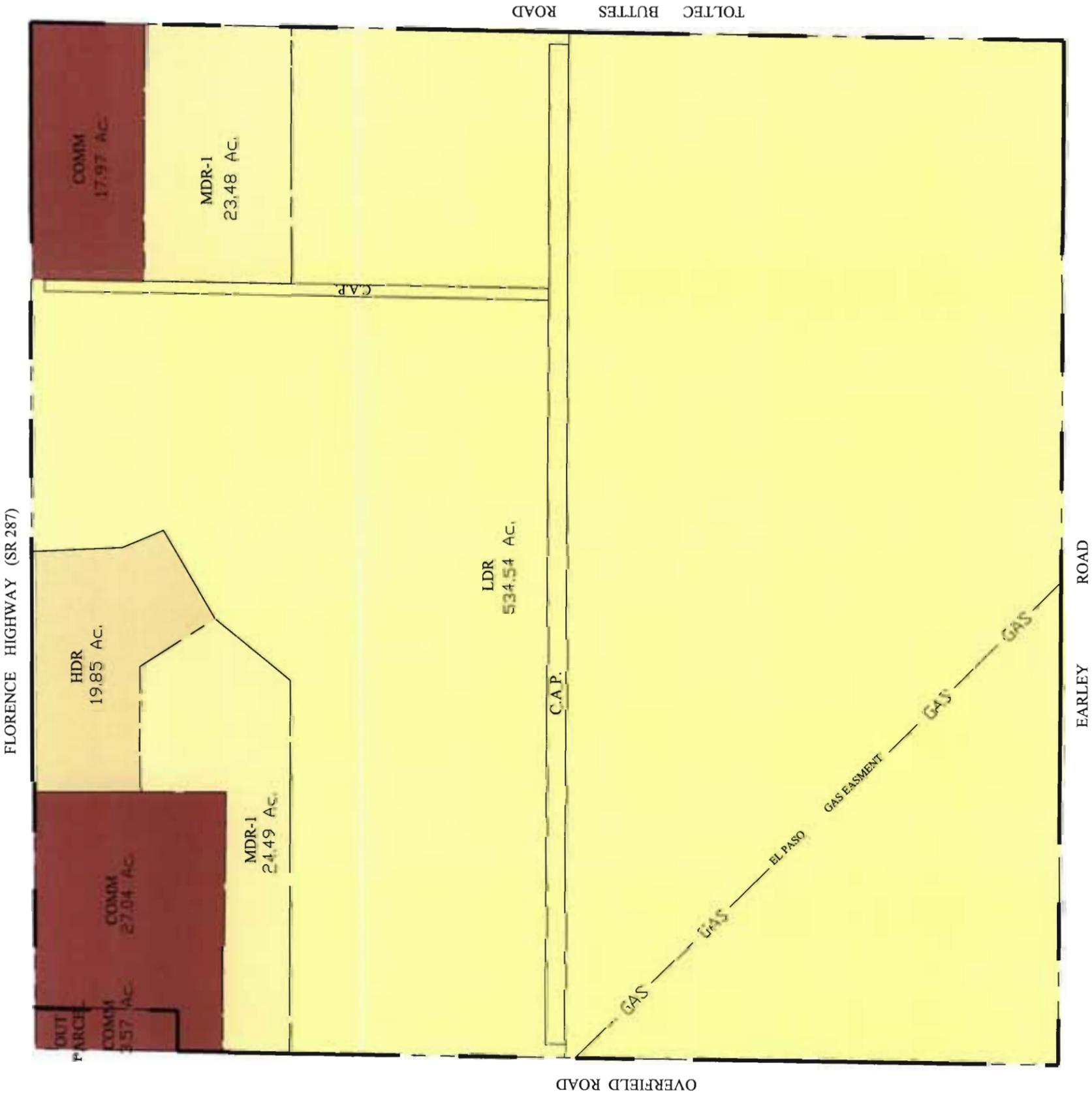
Casa Grande, Arizona

## Exhibit - F2 Existing Zoning Districts

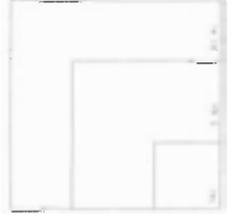
LAND USE SUMMARY TABLE  
OVERALL

LAND USE	LAND USE DESIGNATION	GROSS ACREAGE	TARGET DENSITY	PROJECTED DWELLING UNITS
LDR	Low Density Residential	513.85	3.5	1,836
MDR	Medium Density Residential	69.19	5.0	321
HDR	High Density Residential	19.85	10	179
COMM	Commercial / HDR	45.01	n/a	n/a
SUBTOTALS:		647.37		2,170*
COMM	Commercial (Gladden Parcel)	3.57	n/a	n/a

\*Gross residential density will not exceed 3.5 DU/AC based on the gross acreage of the project.



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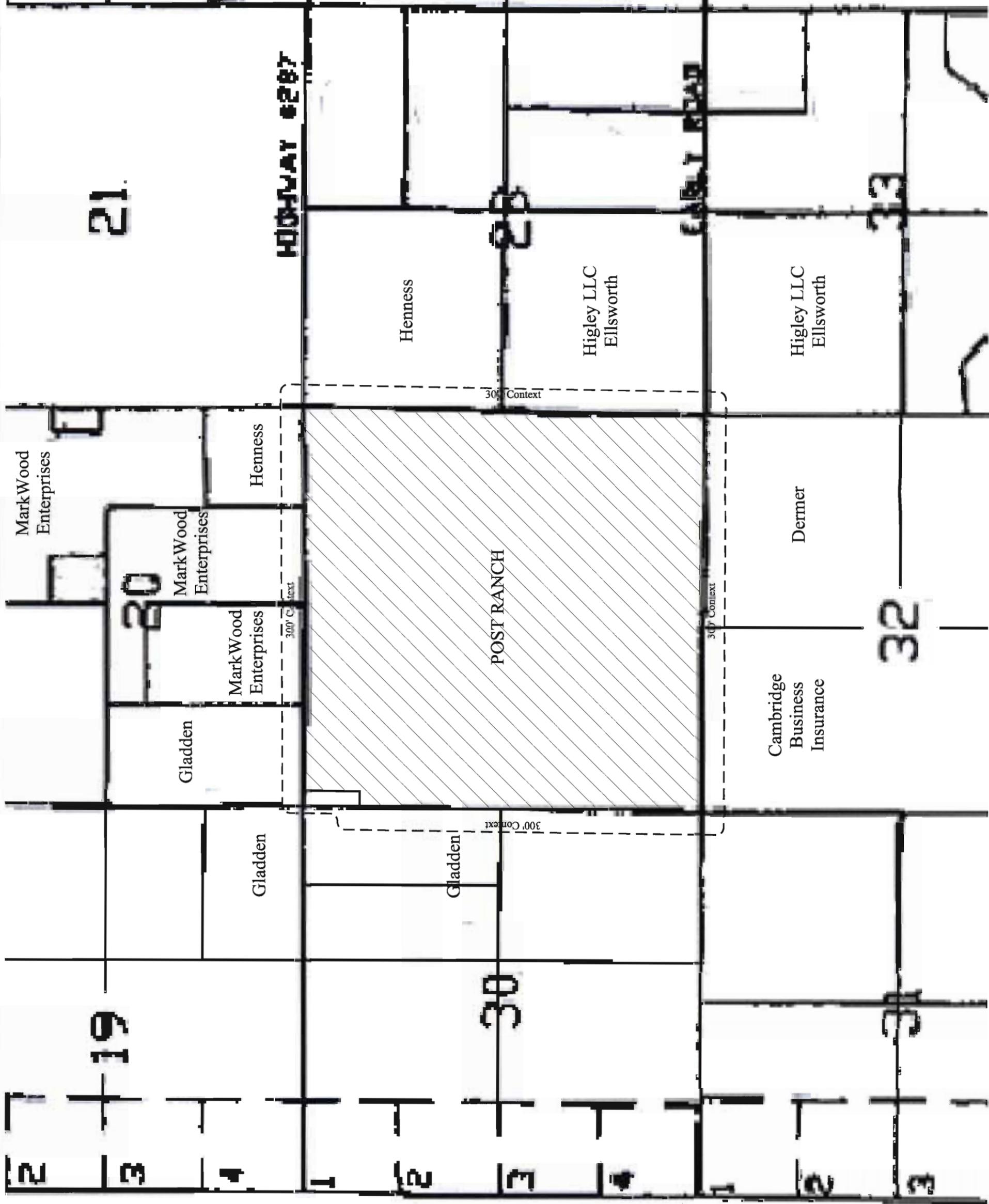


Date: 16 March 2005

# Post Ranch

Casa Grande, Arizona

Exhibit - G  
Adjacent Ownership



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Date:

16 March 2005

# Post Ranch

Casa Grande, Arizona

## Exhibit - H Amended Conceptual Open space/ Path and Trails Plan

### OPEN SPACE LEGEND

-  Parks / Open Space & El Paso Gas Easement
-  CAP (Open Space)
-  5' Concrete Path
-  10' Multi Use Concrete Path

Changes From Original PAD:  
Parcel 10 acreage increased from 19.59 acres due to a change in the alignment of the minor collector. The minor collector was moved south, because of the acreage increase in Parcel 30, the commercial site, from 15.16 acres to 27.50 acres. The new road alignment also caused acreages to change in Parcels 11, 12, 27, and 29.

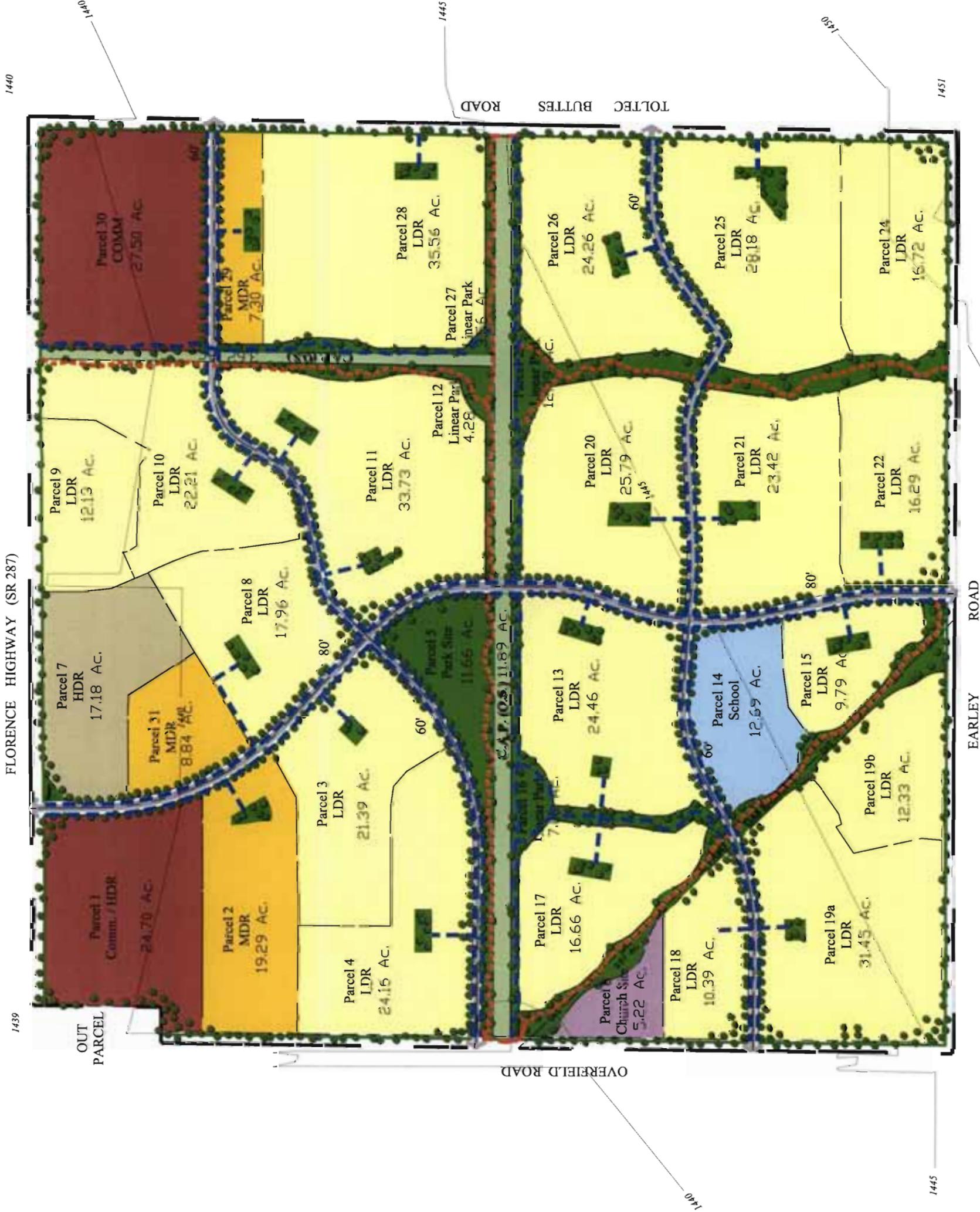
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Date: Amended 20 September 2006



# Post Ranch

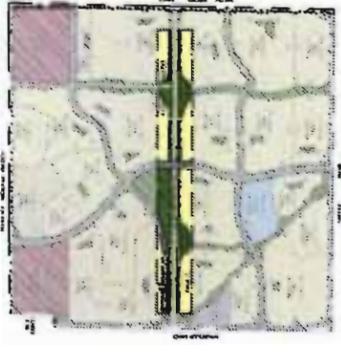
Casa Grande, Arizona

## Exhibit - I Amended Conceptual Minor Trail System

Change from original PAD: Keymap accurately reflects changes in minor collector alignment and parcel acreages.



Vicinity Map



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Date: Amended 20 September 2006

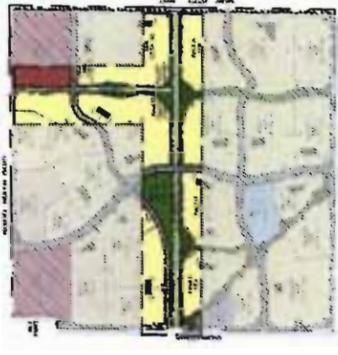
# Post Ranch

Casa Grande, Arizona

## Exhibit - J Amended Conceptual Major Trail System

Change from original PAD. Keymap accurately reflects changes in minor collector alignment and parcel acreages.

Typical Trail Location Map



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Date: Amended 20 September 2006





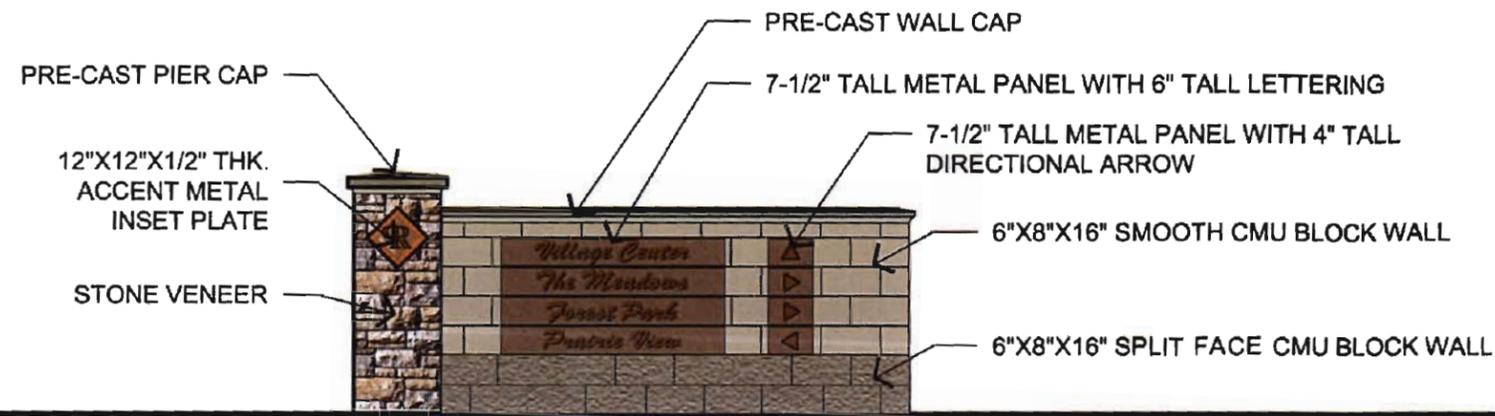


# Post Ranch

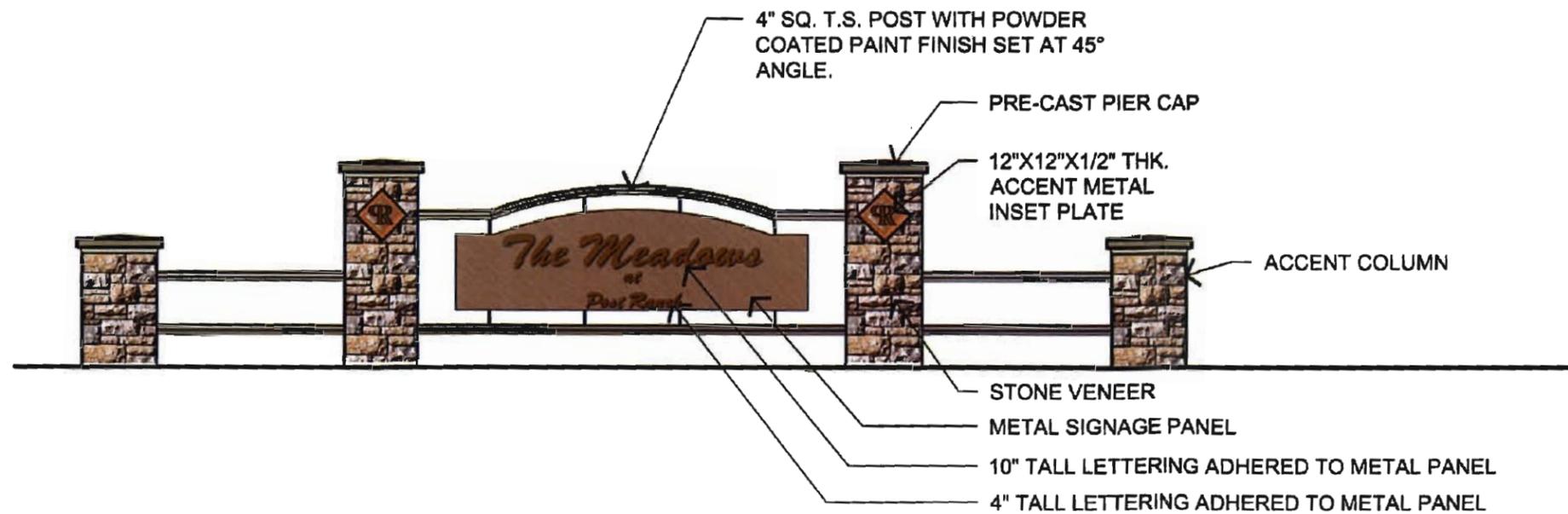
Casa Grande, Arizona

## Exhibit - M Amended Conceptual Monument Signage

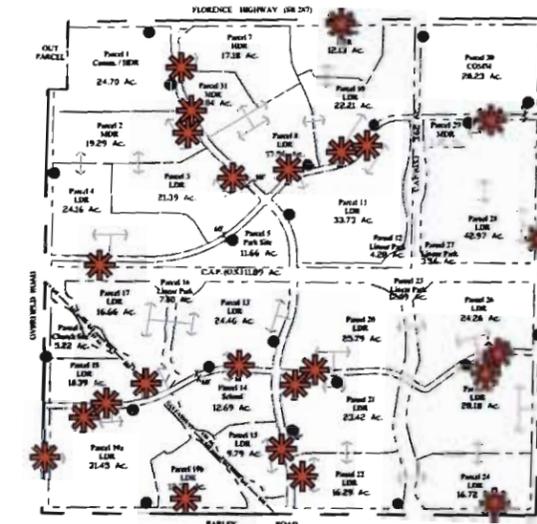
Change from original PAD: Keymap accurately reflects changes in minor collector alignment and parcel acreages.



Community Direction Signage



Neighborhood Entry Signage



LEGEND

- Community Directional Signage
- ★ Neighborhood Entry Signage

**HARVARD INVESTMENTS**

17700 North Pacesetter Way  
Scottsdale, Arizona 85255  
480/348.1118 Tel  
480/348.8976 Fax

**HADLEY DESIGN GROUP**

7272 E. Indian School Rd. Suite 472  
Scottsdale, Arizona 85251  
Tel. 480.429.0500 Fax. 480.429.0501



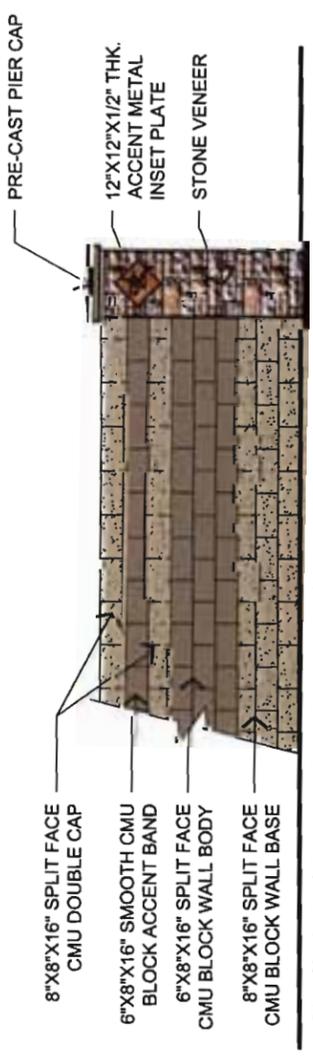
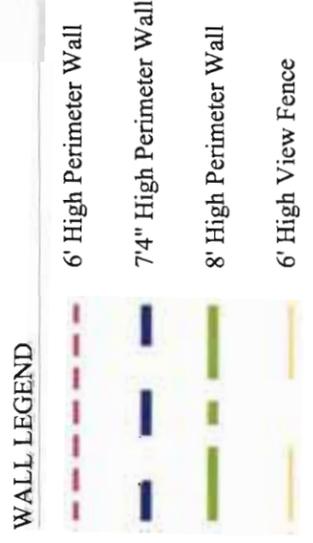
Date: Amended 20 September 2006

# Post Ranch

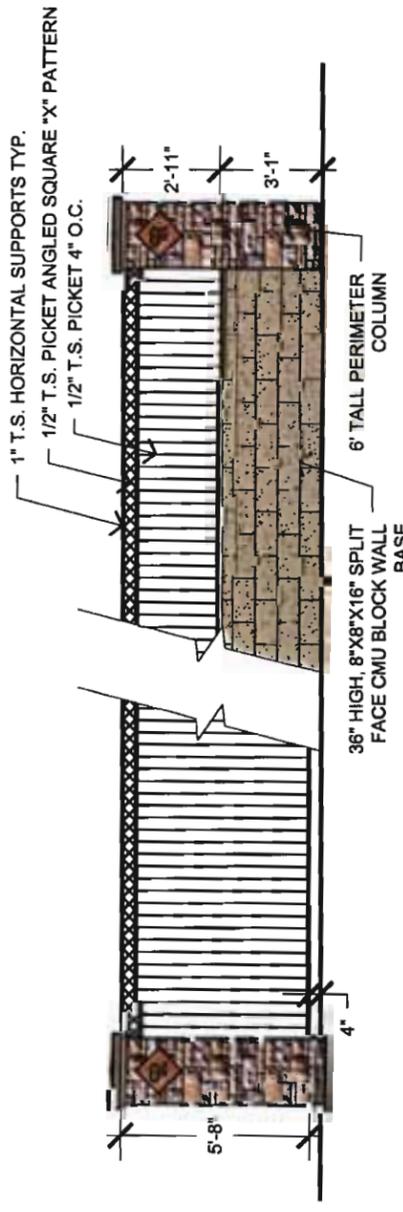
Casa Grande, Arizona

## Exhibit - N Amended Conceptual Walls & View Fence Details

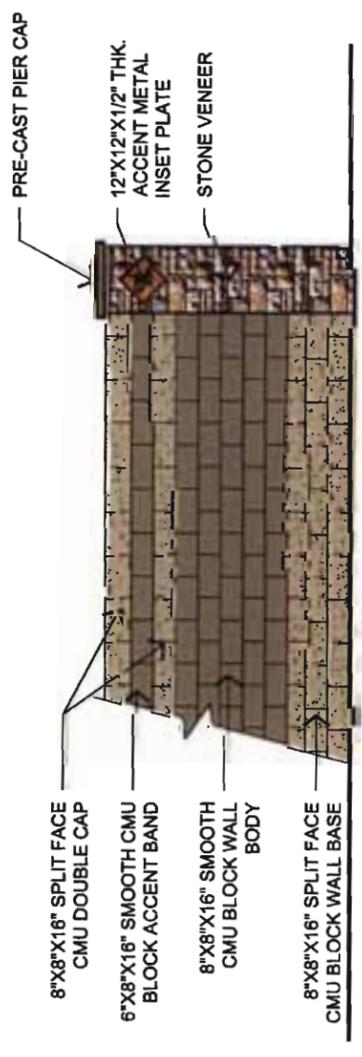
**HARVARD INVESTMENTS**  
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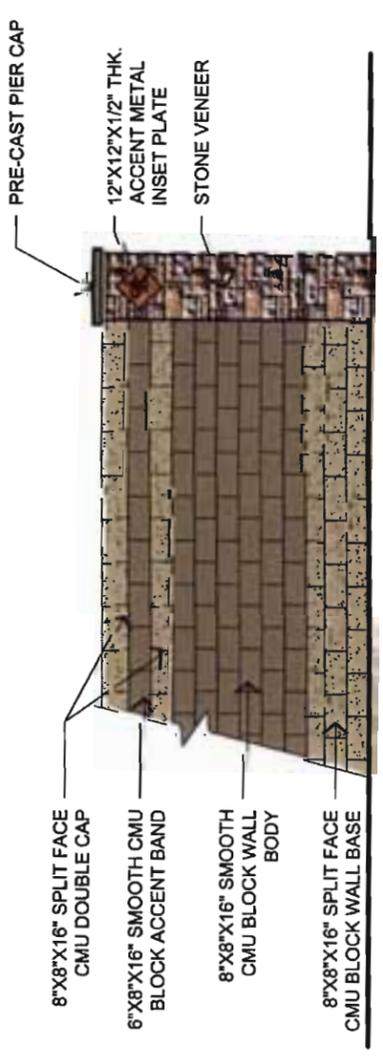
6' High Wall with 8" Double Cap



6' High View Fence at Lot (Full & Half View Option)



7'-4" High Wall with 8" Double Cap

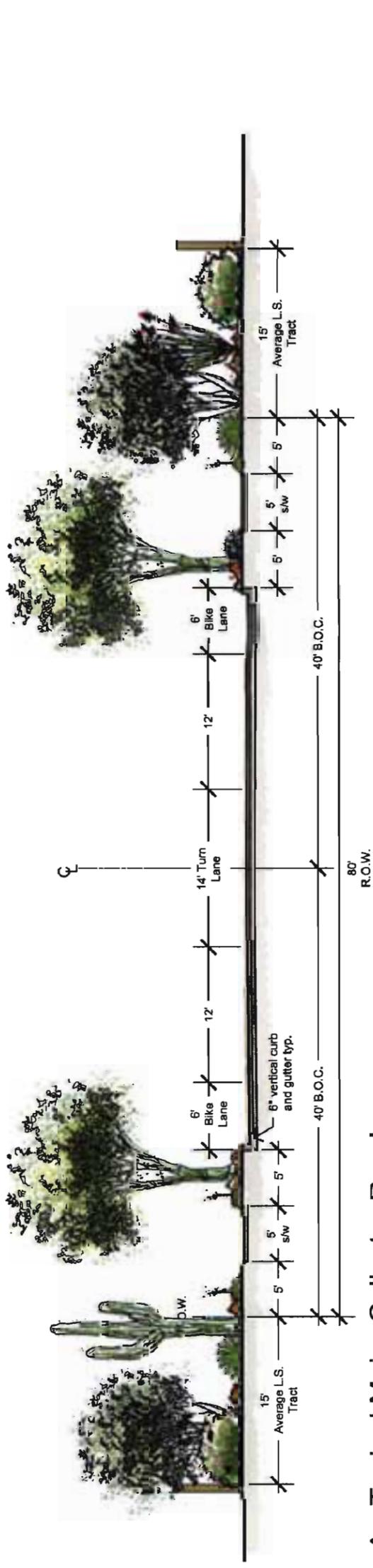


8' High Wall with 8" Double Cap

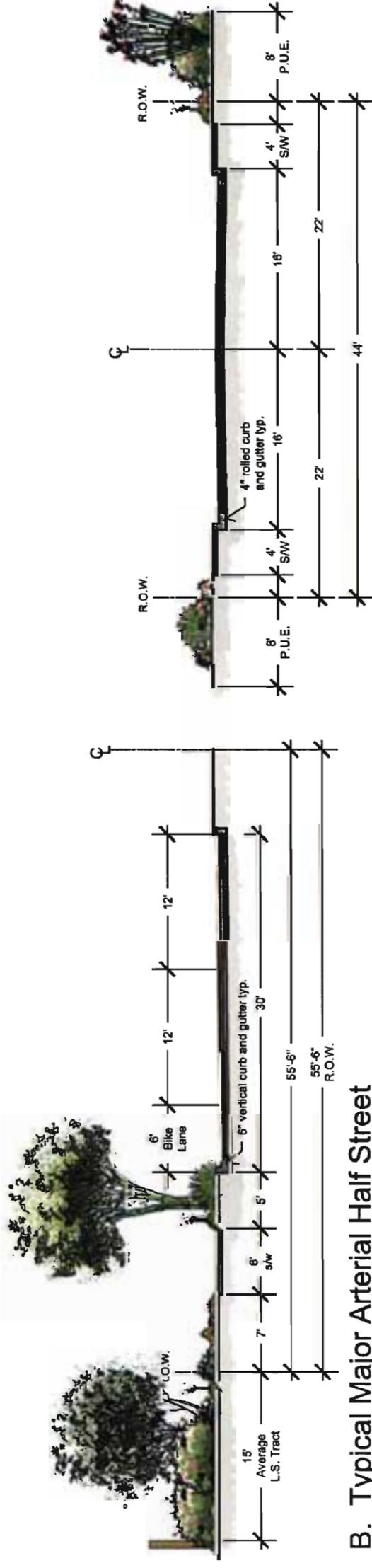
# Post Ranch

Casa Grande, Arizona

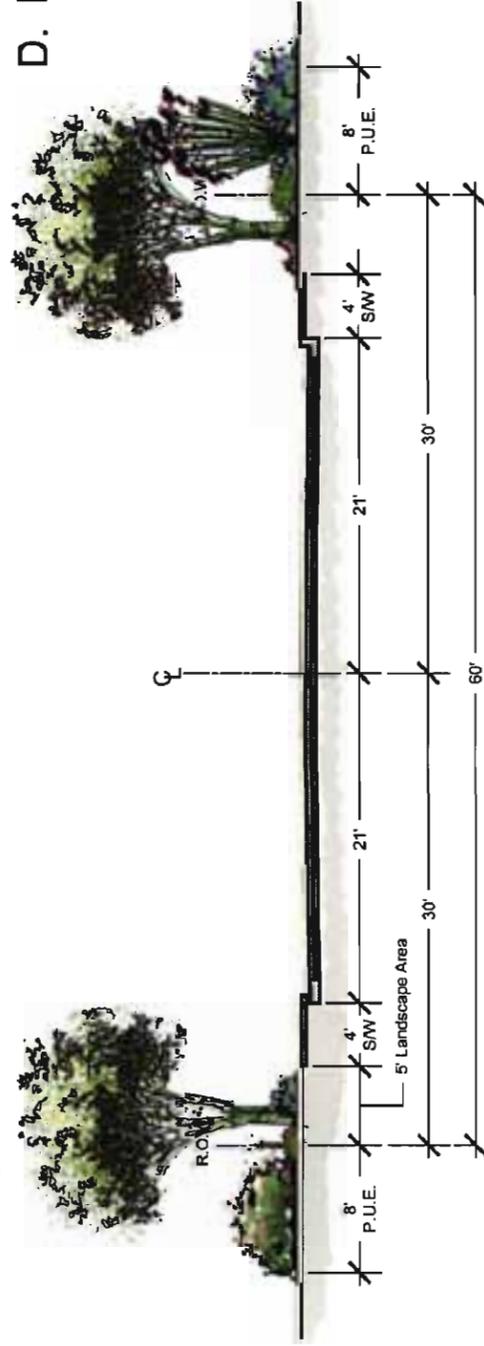
## Exhibit - O Conceptual Street Sections



**A. Typical Major Collector Road**

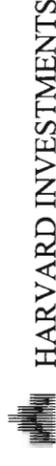
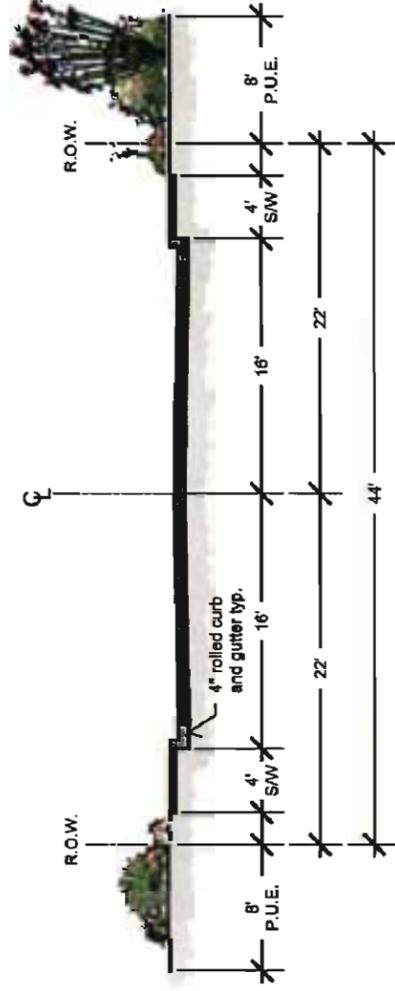


**B. Typical Major Arterial Half Street**



**C. Minor Collector Road**

**D. Local Street**



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# Post Ranch

Casa Grande, Arizona

## Exhibit - P Amended Road Classification

Changes From Original PAD:  
Parcel 10 acreage increased from 19.59 acres due to a change in the alignment of the minor collector. The minor collector was moved south, because of the acreage increase in Parcel 30, the commercial site, from 15.16 acres to 27.50 acres. The new road alignment also caused acreages to change in Parcels 11, 12, 27, and 29.  
Changed Overfield and Toltlec Buttes to Principal Arterials, from Arterial half-streets.

### LEGEND



Principal Arterial

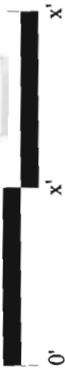
Major Collector

Minor Collector

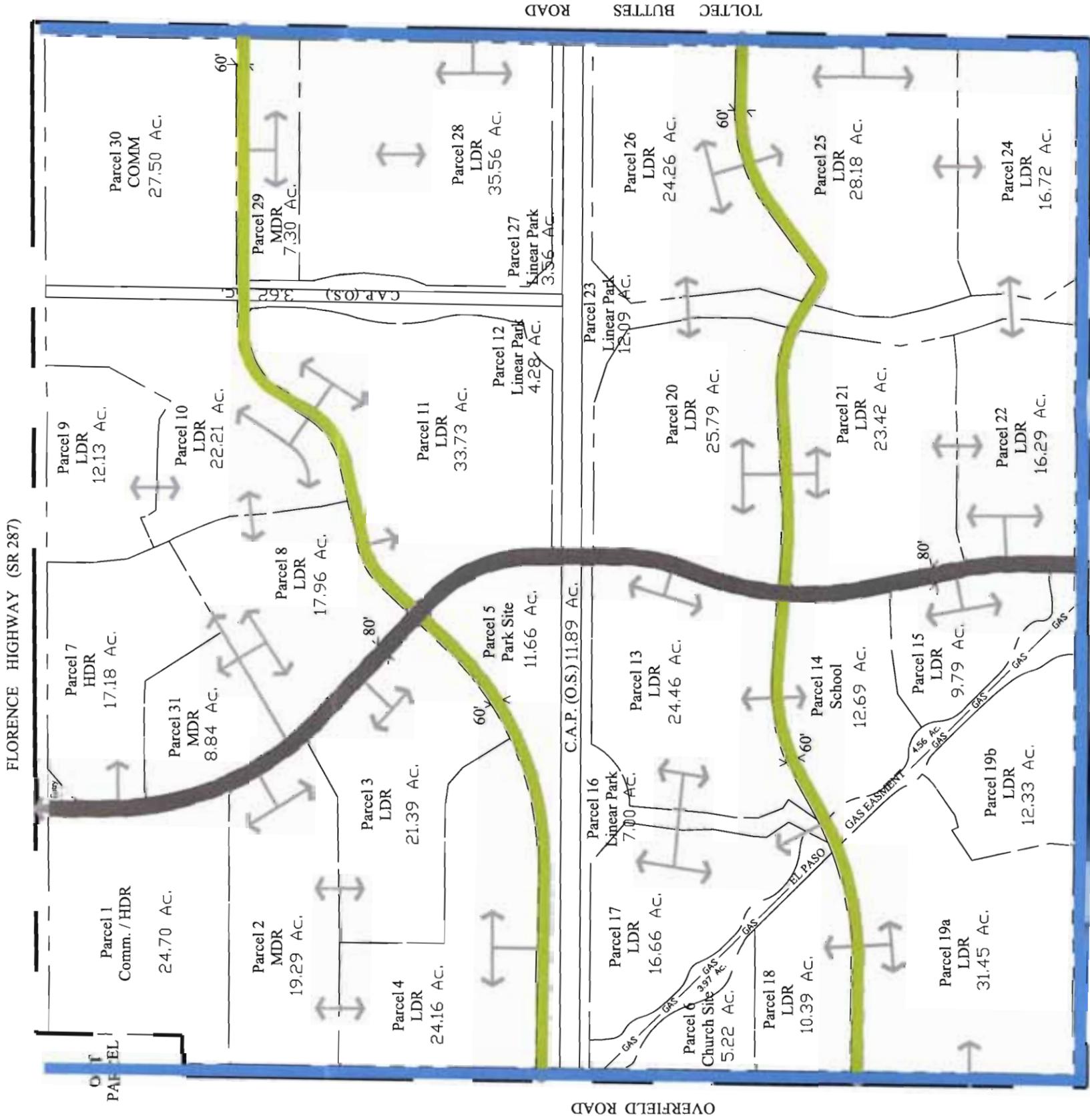
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Date: Amended 20 September 2006



# Post Ranch

Casa Grande, Arizona

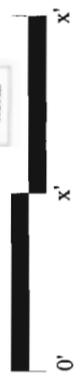
## Exhibit - Q Amended Conceptual Phasing Plan

Changes From Original PAD:  
Parcel 10 acreage increased from 19.59 acres due to a change in the alignment of the minor collector. The minor collector was moved south, because of the acreage increase in Parcel 30, the commercial site, from 15.16 acres to 27.50 acres. The new road alignment also caused acreages to change in Parcels 11, 12, 27, and 29.

### LEGEND



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Date: Amended 23 August 2006

