

PLANNED AREA DEVELOPMENT PLAN A DEVELOPMENT GUIDE FOR PARKS RANCH

Located in Casa Grande, Arizona

Prepared for:

City of Casa Grande
510 East Florence Boulevard
Casa Grande, Arizona 85222

Prepared by:



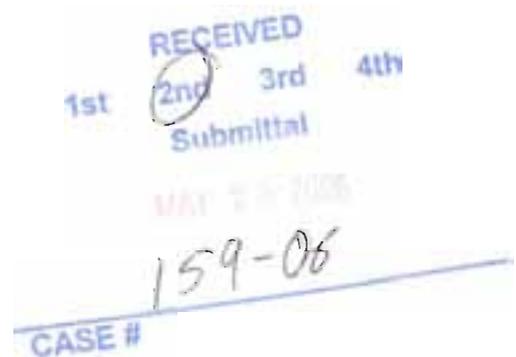
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Case # 159-06

Revised: May 2006



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PRELIMINARY

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PARKS RANCH PAD APPLICATION NARRATIVE

I. INTRODUCTION

A. THE REQUEST

The intent of this application is to request a rezone on 48.15 acres of land located on the southeast corner of Florence Street and West Ash Avenue. The project site is in close proximity to already developed areas such as the downtown area, and an adjacent residential area to the northeast.

This guide is in support of two applications that have been filled for the Parks Ranch planned area development:

1. Annexation- To bring in 48.15 acres of property zoned by Pinal County as Agricultural with mixed structures into the city.
2. Zone change- To change the current zoning of the site from Low Density Residential per Casa Grande General Plan to Planned Area Development with uses in the R-1 Single Family Residential Classification.

B. PROJECT LOCATION AND DESCRIPTION

1. Subject Property History

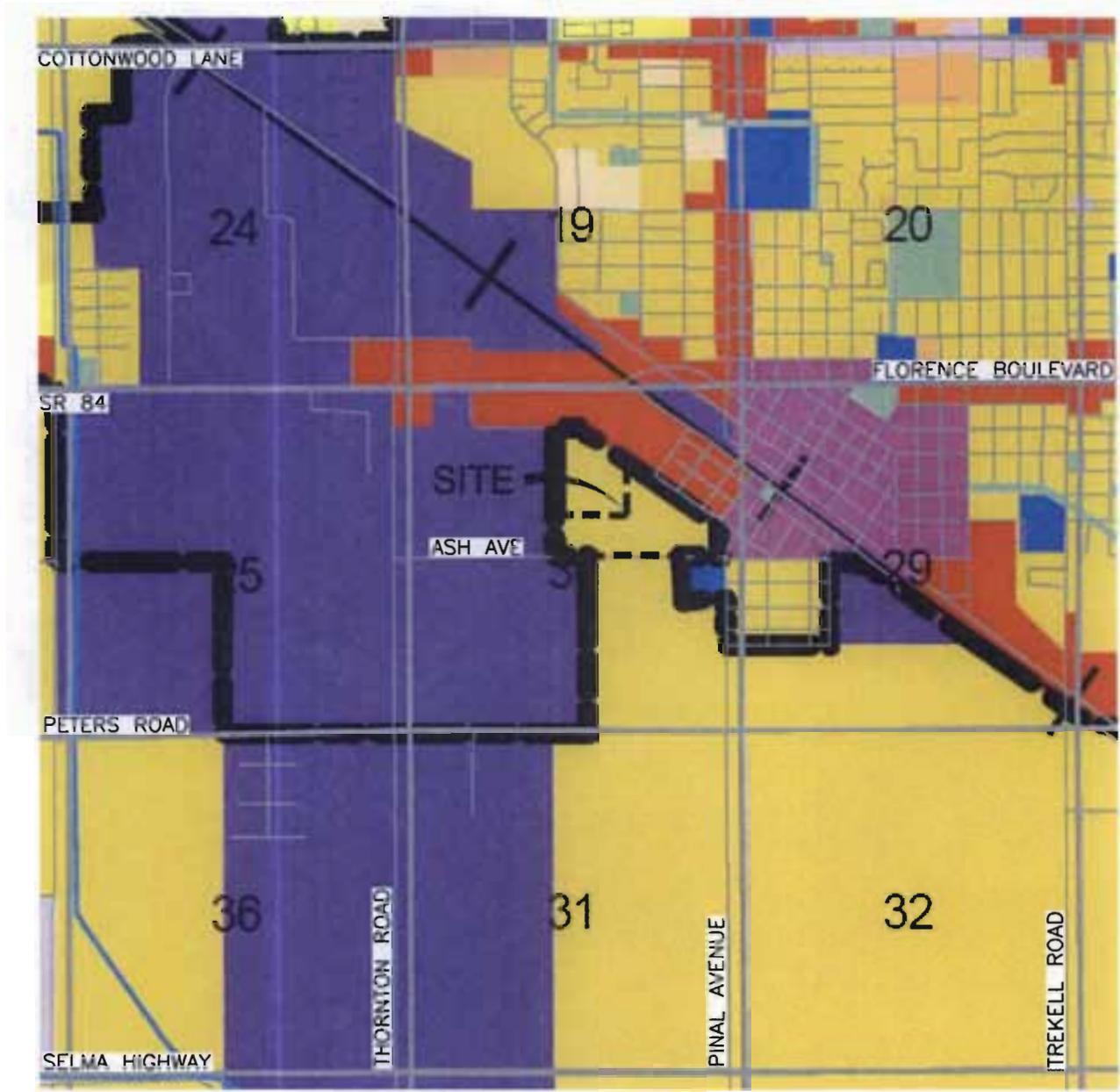
The property is located in an agricultural area where the primary property use has historically been farming. The subject property consists of approximately 49 acres of agricultural property currently being farmed by Ronnie Parks. Mr. Parks sold the property to Jeffrey Holt, Robert Cannon and Loren Whipple, project developer(s) and owners. The property was originally purchased in 1930 by the Parks family and has been farmed since that time.

2. Existing Uses/Zoning/General Plan Designations

Exhibit "A" details the existing zoning and current land uses on the Property. Current zoning for the Property is Low Density, Residential.

According to the Pinal County Assessor, the land use code for the site is agricultural with mixed structures. According to the Pinal County Assessor, the residence on the site was developed in 1917. According to the City of Casa Grande General Plan 2010, the site is zoned for low-density residential purposes. The tax parcel number for the Property IS 507-12-025E9.

GENERAL PLAN EXISTING LAND USE



LAND USE DESIGNATION

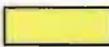
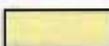
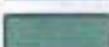
	LOW DENSITY RESIDENTIAL (1-4 DU/AC) TARGET 2.5 DU/AC		OFFICE/ BUSINESS PARK
	MEDIUM DENSITY RESIDENTIAL #1 (4-8 DU/AC) TARGET 5.0 DU/AC		EMPLOYMENT
	MEDIUM DENSITY RESIDENTIAL #2 (8-12 DU/AC) TARGET 10.0 DU/AC		PUBLIC/ SEMI-PUBLIC
	HIGH DENSITY RESIDENTIAL (12-16 DU/AC) TARGET 14.0 DU/AC		PARKS/ OPEN SPACE
	COMMERCIAL		REVITALIZATION AREA



EXHIBIT "A"

3. Surrounding Land Uses/Surrounding Zoning

The site vicinity can be characterized as a mixture of agricultural land, residential developments, commercial developments and vacant land. The site is generally bordered to the north by agricultural fields. To the northeast the site is bordered by 3rd Avenue followed by residential and commercial developments. Bordered by Florence Street to the east, the site is followed by commercial developments. To the south the site is bordered by West Ash Avenue followed by agricultural fields, school offices, and light industrial. To the west the site is bordered by vacant land and agricultural fields.

a. Surrounding Land Uses.

North: Industrial, Commercial

South: Public/ Semi-Public, Low Density Residential

East: Revitalization Area

West: Industrial, Employment

b. Surrounding Zoning.

North: I-1, R-2

South: I-1, R-2

East: R-2

West: I-1

II. DEVELOPMENT PLAN

A. PROPOSED LAND USE AND ZONING PLAN

The Property will be developed as single family residences, with a vibrant manner. The planned residential density is approximately 3.53 dwelling units per acre in an area designated by the Casa Grande General Plan 2010 to allow a single-family component of 4.0 D.U./acre. The residential density offers a smooth transition between the neighboring land uses. All open spaces within the subdivision will be used for passive and active recreation, as well as for landscaping. In addition, the developer is attempting to create a unique residential community built around a Country Theme.

The proposed permitted uses and comparison of the requested and proposed development standards for the PAD are outlined below.

1. PAD Single Family Residence Zone.

Permitted uses:

- a. Single-family dwelling unit (including private amenities, home occupations, and model homes).

Development Standards:

The minimum setbacks and maximum height for Single-family Development homes within the PAD are as follows:

Minimum lot depth:	120'
Minimum lot width:	55'
Front setback:	15'-23' (front loaded garages will vary from 20' to 23' for every 3 rd or 4 th home. 15' front setback to front porches, livable area and/or side loaded garage.
Side setback:	5' and 10' (15' total)
Corner setback:	18' (can include an adjacent 8' wide landscape tract)
Rear setback:	20'
Maximum height:	28' / 2 stories

Other development standards will be per any applicable sections of the City of Casa Grande Zoning Ordinance.

III. RESIDENTIAL SUBDIVISION DESIGN

Parks Ranch has been designed to incorporate many of the City of Casa Grande Residential Design standards for PADs. There are two primary entries providing access into the community that will include landscaped tracts and entry monuments. The entry monuments will feature signage and landscaping consistent with the country theme. Streetscapes are designed to have landscape tracts adjacent to corner lots.

The locations and types of materials used for perimeter walls will be designed by the homebuilder whom develops the site. The wall style will also be consistent with the overall theme of the neighborhood. Wall heights shall be limited to a maximum height of six-feet.

1. Open Space.

A minimum of 9.10 acres of open space are proposed within the Parks Ranch PAD. These areas are to be landscaped as inviting recreational areas and pedestrian corridors. This open space equates to a minimum of 18.9% of the gross residential area. Project amenities will include Ramada's, play equipment, a play court, and numerous turf areas. The Developer is working to keep the county feel and ambiance within the project. Typically, each home will be within 300 meters of a major or minor recreational area. See Conceptual Landscape and Amenity Plan Exhibit "B" which details major and minor amenity areas, and locations of Ramada's with various turf play areas.

2. Front Yard Landscaping.

All front yard landscaping will follow the City of Casa Grande Residential Design Standards for PADs.

III. SERVICES/INFRASTRUCTURE

A. UTILITIES

The planned infrastructure improvements for the community include the construction of roads, including local, collector, and arterial streets. Currently the site is undeveloped and there are minimal existing onsite water or wastewater facilities. Sewer facilities will be provided according to the City of Casa Grande requirements per the Engineering Department recommendation. All utilities running through the site or that need to be relocated will be placed underground except as approved by the City Council.

1. Sewer.

The development will be served by The City of Casa Grande Wastewater Treatment Plant (WWTP).

The current plant has sufficient capacity to service the new Parks Ranch development, and a Letter of Intent of Service will be submitted prior to Preliminary Plat approval.

Final sewer reports and plans, meeting the approval of the City Engineer, are to be submitted prior to the approval of any Final Subdivision Plat or Major Site Plan for this project.

2. Potable Water.

Potable water will be provided by the Arizona Water Company. The project site lies within the Arizona Water Company service area. The company's water system will serve the site with a 6" main along West Ash Avenue. The developer will install 6-inch mains within the collector and local streets in accordance with the Arizona Water Company's standards.

Final water reports and plans, meeting the approval of the City Engineer, and the Arizona Water Company, are required prior to the approval of any Final Subdivision Plat or Major Site Plan for this project. The developer will provide a 100-year Assured Supply Certificate prior to Final Plat approval.

3. Sanitation.

Waste disposal services will be provided by The City of Casa Grande.

4. Electrical Power.

Electrical services will be provided by Arizona Public Service Company.

5. Natural Gas.

Natural Gas services may be provided by Southwest Gas Company.

6. Telephone.

Telephone services will be provided by Qwest Communications.

7. Grading and Drainage

The grading and drainage concept for Parks Ranch consists of providing retention basins within the proposed open space areas. The property will be graded to drain toward the retention basins. The streets will be designed per the City of Casa Grande criteria to convey all onsite storm water flow to the retention basins. All the drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. Offsite storm drainage will be accommodated through adequately designed water conveyance systems.

According to the Federal Emergency Management Agency Insurance Rate Map, Community Panel Number 040077 0925D the Property is classified as Flood Zone C. See FIRM Map Exhibit "C".

Final drainage reports and plans meeting the approvals of the City Engineers are required prior to the approval of any Final Subdivision Plat for this project. The following list of documents will be submitted along with the Preliminary Plat:

- Preliminary Drainage Report
- Preliminary Sewer Report
- Preliminary Traffic Report



APPROXIMATE SCALE IN FEET
2000 0 2000

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP
PINAL COUNTY,
ARIZONA
(UNINCORPORATED AREAS)

PANEL 925 OF 1525
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY-PANEL NUMBER
040077 0925 D

MAP REVISED:
MARCH 5, 1990

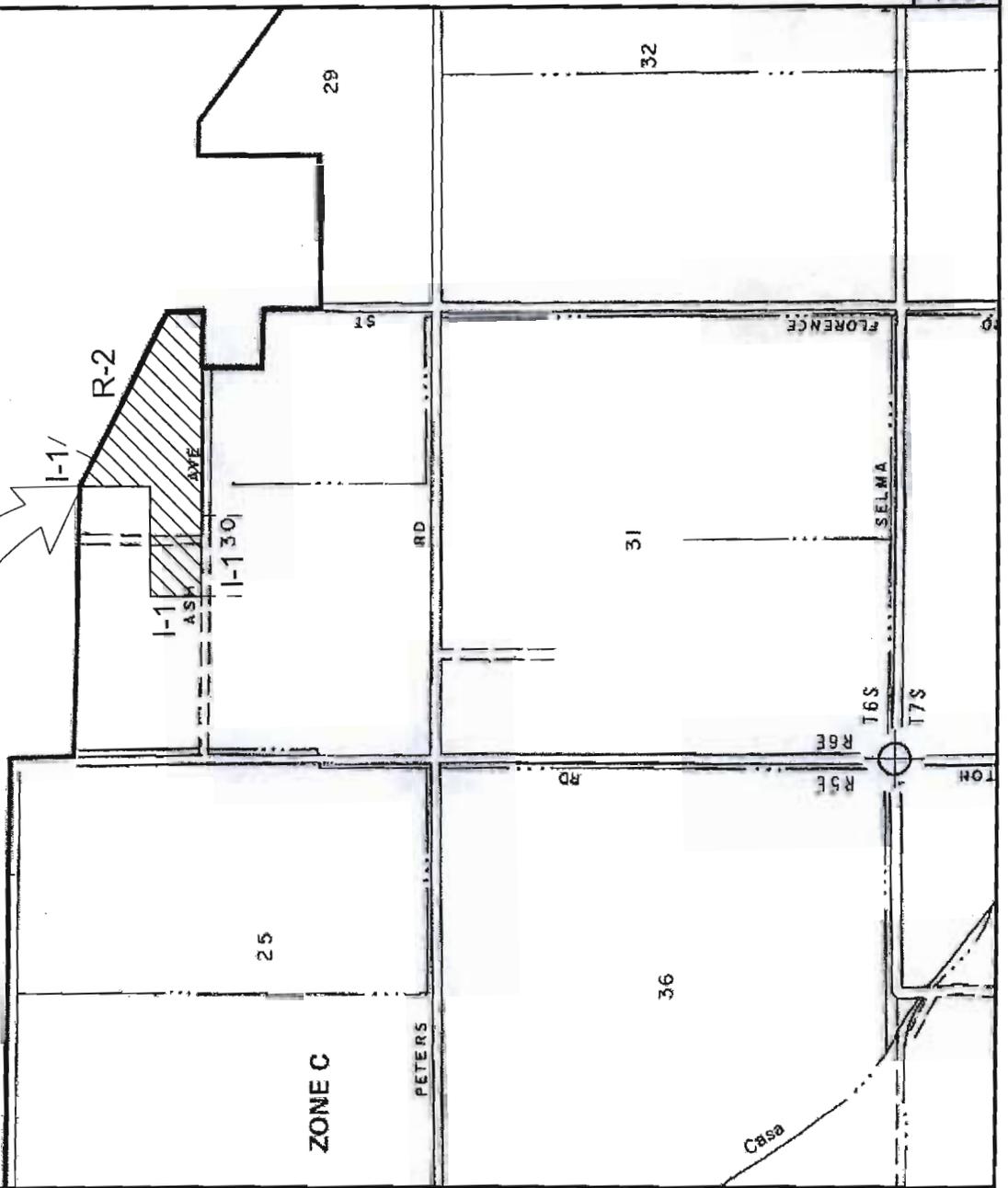


Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

City of Casa Grande
AREA NOT INCLUDED

THIS PROJECT



B. PUBLIC FACILITIES

Fire service will be provided by the City of Casa Grande. There are currently three fire stations servicing Casa Grande, with the closest station located approximately 1 mile northeast at 119 East Florence Boulevard.

Police service will be provided by the Casa Grande Police Department. The police station is located at 520 Marshall Street, which is also approximately 1 mile northeast of the site.

The project site is located in the Casa Grande Unified School District, which consists of eleven schools, eight elementary schools, two middle schools, and one high school. The site lies within the boundaries of the Evergreen Elementary school boundary, and is located approximately 2.5-miles to the northeast at 1000 North Amarillo Street. The nearest middle school is Casa Grande Middle School located 1.5-miles to the north at 300 West McMurray Boulevard. The site is also located within the Casa Grande Union High School District. Casa Grande Union High School is currently the only High School in Casa Grande and is also located 1.5-miles to the northeast at 2730 North Trezell Road.

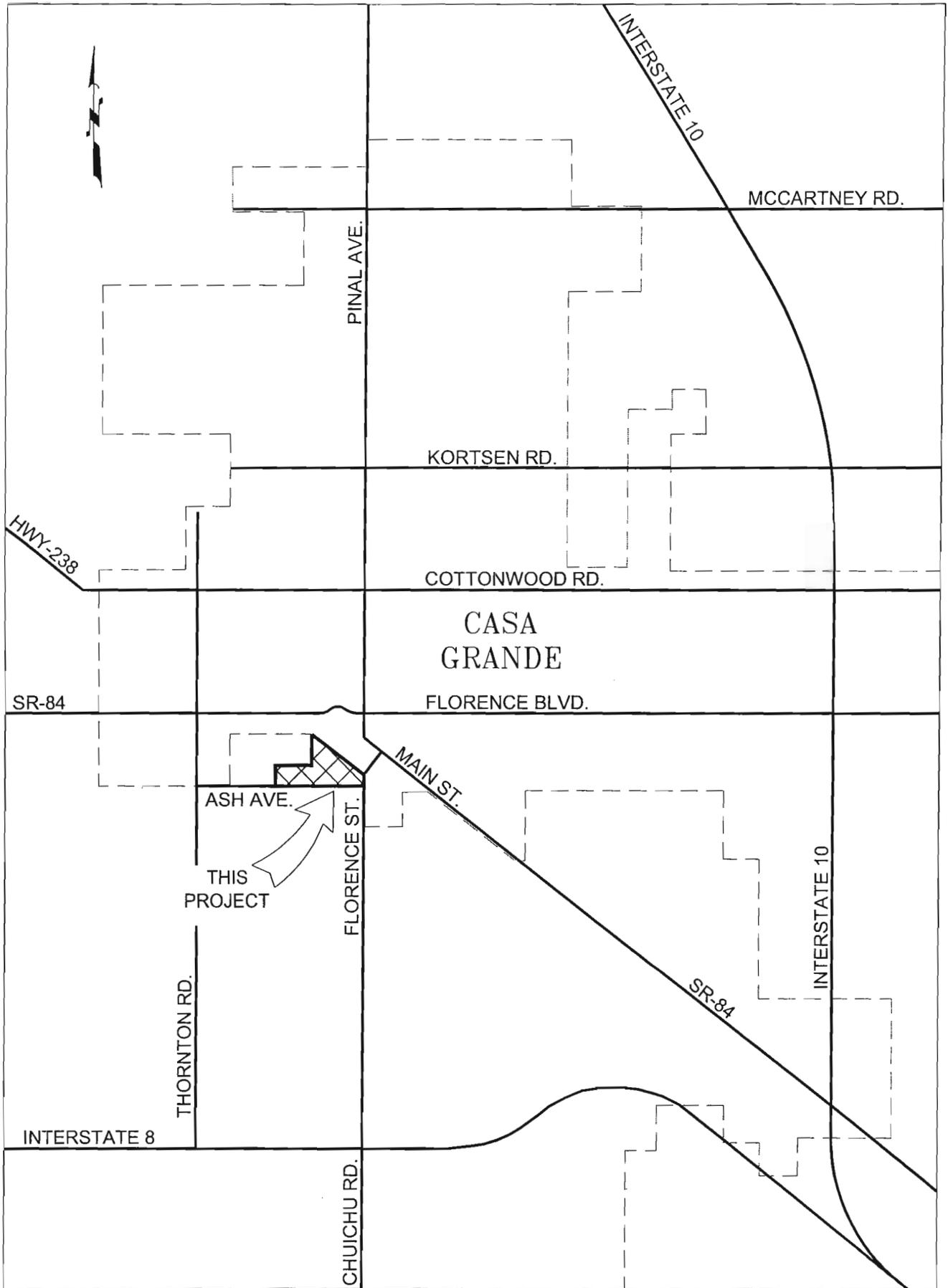
A new High School has been proposed, and will be located at the intersection of Cottonwood Lane and Arizola, and will have a 1,000 student capacity. Parks Ranch will work with the two school districts to mitigate any impacts.

C. ACCESSIBILITY

The project site is located in the west central area of Pinal County, south of downtown Casa Grande. See Vicinity Map Exhibit "D". The site is approximately one half mile south of the West Gila Bend Highway and 4 and a half miles west of Interstate 10. The Casa Grande Municipal Airport is also located 6 miles to the north of the site. The City of Phoenix is located 50 miles to the northwest of the site, and the City of Tucson is located approximately 65 miles to the southeast.

From the site the primary access to the Phoenix Metropolitan area is via State Route 387 north to I-10 west. The primary access to the Tucson area is along East Florence Boulevard to I-10 south.

Specifically, the project site is located northwest of West Ash Avenue and Florence Street in Pinal County, Arizona. The site is located in section 30 in Township 6 South, Range 6 East of the Gila and Salt River Base and Meridian in Pinal County, Arizona.



VICINITY MAP

N.T.S.

EXHIBIT "D"

D. CIRCULATION SYSTEM AND STREET IMPROVEMENTS

The Parks Ranch project site occupies land that is adjacent to a section road alignment. The east/west mid section line road alignment is West Ash Avenue. There is also a midsection line that borders the project site on the west.

1. Proposed Street Types.

The proposed rights-of-ways for each type of street are provided in the table below.

Street Type Table

STREET TYPE	RIGHT OF WAY (FEET)
Major Collector	80
Residential/Local	44

Streets will be built by the developer and then dedicated to the city. Upon acceptance of the streets, they will be maintained by the city.

2. Major Collector Streets.

West Ash Avenue is adjacent to the southern boundary of Parks Ranch. The developer will be responsible for the engineering and construction of the north half of West Ash Avenue adjacent to the site. West Ash Avenue is currently a paved two lane roadway adjacent to the southern side of the site. The developer will dedicate right-of-way for a 40 foot half street. See Typical Street Sections Exhibit "E". The developer will install paving, curb, gutter, 5-foot wide detached sidewalk, deceleration lane, streetlights and landscaping within the right-of-way per collector requirements.

A portion of Florence Street borders Parks Ranch and is currently a paved two lane roadway adjacent to the eastern side of the site. The developer will be responsible for the engineering and improvements of the west half of Florence Street along site frontage. The developer will dedicate right-of-way for a 40 foot half street. See Typical Street Sections Exhibit "E". The developer will install paving, curb, gutter, striped bike lane, 5-foot wide detached sidewalk, deceleration lane (If required by Traffic Department), streetlights and landscaping within the right-of-way per collector requirements.

The developer will also be responsible for the engineering and construction of Shultz Street, a mid-section street that will border the project site to the west which will be developed as a major collector in accordance with the Casa Grande roadway standards. The developer will dedicate right-of-way for a 40 foot half street. Collector improvements will include paving, curb, gutter, striped bike lane, and a detached 5-foot wide sidewalk on the east side of the right-of-way.

3. Local Streets.

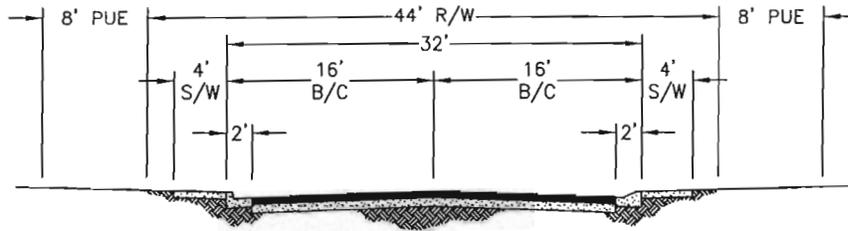
The developer will be responsible for the engineering and construction of local streets and cul-de-sacs within Parks Ranch. The developer will dedicate 44-feet of right-of-way for all local streets. See Typical Street Sections Exhibit "E". Local street improvements will include paving, curb, gutter, and an attached 4-foot wide sidewalk on both sides of the right-of-way. Upon completion of construction, maintenance of improvements within the right-of-way will be the responsibility of the City of Casa Grande.

Sidewalks along all collector streets will be detached from the curb, except at intersections, within the right-of-way. Street Cross Sections and Striping Plans are subject to review and approval of the City Engineers and City Planning Director. Upon completion of construction, maintenance of improvements within the right-of-way will be the responsibility of the City of Casa Grande except for the maintenance of the landscaping.

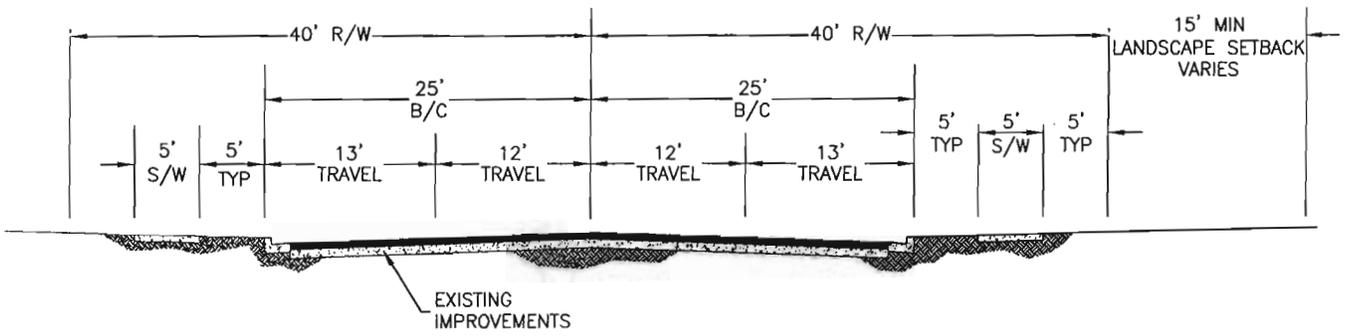
The Homeowners Association will maintain all landscaping within the public right-of-way except for any landscaping occurring within collector road medians.

TYPICAL STREET SECTIONS

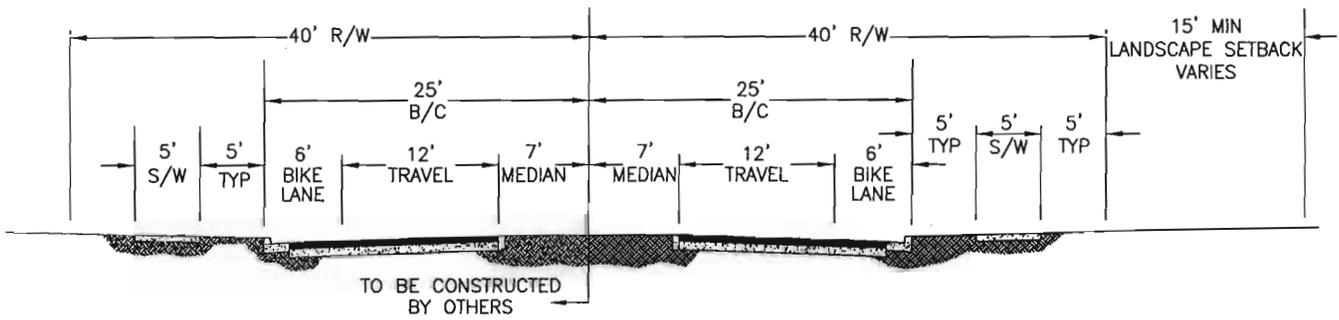
EXHIBIT "E"



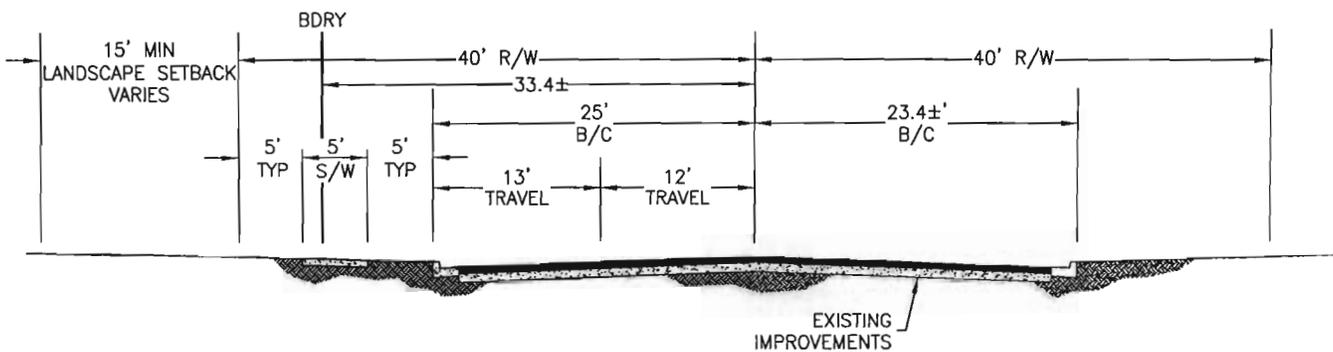
LOCAL
N.T.S.



ASH AVE.
N.T.S.



SHULTZ ST.
N.T.S.



FLORENCE ST.
N.T.S.

E. RESIDENTIAL COVENANTS, CONDITIONS, & RESTRICTIONS

The future CC&R's for Parks Ranch will set forth rules and regulations governing homeowner's rights and responsibilities as they pertain to their real property. These CC&R's will list items that are allowed within the community as well as any restrictions/prohibitions as it relates to a homeowner's lot and dwelling unit.

F. HOMEOWNERS ASSOCIATION

A Homeowners Association will eventually be organized and funded through monthly/yearly collected funds from each homeowner with the Parks Ranch community. This association will be charged with maintaining long-term compliance and enforcement with the CC&R's for the community. It will also organize and oversee the maintenance and upkeep of all shared/public components of the property.

IV. CONCLUSION

Development of Parks Ranch will be in accordance with applicable building code requirements of the City of Casa Grande, the City's Residential Design Standards for PAD's and the approved Development Guide, and any other conditions deemed necessary by the City of Casa Grande City Council.

Parks Ranch also will further the City of Casa Grande's commitment to the revitalization and improvement of the areas south of downtown. Parks Ranch will bring a revitalizing feeling into an infill area, and set precedence with the development south of town.

APPENDIX A

A. RESIDENTIAL DEVELOPMENT STANDARDS

Parks Ranch has been designed to incorporate as many of the City of Casa Grande's Residential Design Standards for Planned Area Developments as possible. The following outlines how the design of Parks Ranch has met or exceeds these standards.

1. Open Space.

Approximately 9.10 acres of open space is to be landscaped as recreational areas. See Conceptual Landscape and Amenity Plan Exhibit "B". The open space equates to over 18.9% of the site, and exceeds the required open space required by the City for Planned Area Developments. A Homeowners Association will be formed to maintain all landscape areas. Lighting will be placed within some of the open space areas as required by the City Planning Director, to provide a safe and enjoyable environment.

Catch basins will be utilized to convey storm water generated to retention basins located throughout the site. Proposed open space will provide minimum retention for the project with the purpose as usable open space including play structures, picnic tables, shade trees, turf and various other landscape palettes. At least 15% of any retention basin will be elevated above the 25-year floodwater surface elevation.

Final landscape and open space plans, meeting the approval of the City Planning and Development Director shall be submitted prior to the approval of any Final Subdivision Plat for the property.

2. Multi-Story Single Family Homes.

No Multi-story single-family homes will be built on corner or end lots.

3. Streetscapes and Entrances.

The perimeter wall design as depicted in this document illustrates the use of varied material including heavy stucco and slump block. Theme walls will consist of slump block for the lower third of the wall, and CMU block covered with heavy texture stucco, and capped with slump block across the top of the wall. Columns will consist of slump block and will be capped with slump block. See Entry Monument and Wall Elevations Exhibit "F". Wall details and colors will be submitted for the review and approval of the City Planning and Development Director.

Staggering of perimeter wall will be provided where long straight runs of wall is adjacent to main collector or arterial roadways.

A minimum 15-foot wide landscape tract shall be provided adjacent to arterial and collector roadways.

Entry monumentation will include a primary entry monument at the Ash Avenue entrance, and a primary entry monument located on Shultz Street. The entry monuments will be installed by the developer and will promote a sense of arrival for the community.

4. Front Yard Landscaping.

The homebuilder will offer to the homebuyer a selection of standard, and upgraded landscaping including a variety of water conserving plants. The homebuilder will also provide an automatic irrigation system for the front yard landscaping. Turf areas will be separated from decomposed granite with a concrete or brick header. Any modifications to these minimum requirements are subject to the review and approval of the City Planning Director.

5. Miscellaneous.

Side yard fence returns for all interior lot walls shall extend to within 10-feet of the front corner of the home. All walls exposed to the public shall be painted the color of the primary decorative theme or perimeter walls, except walls for the individual home or lot may be the color of the residence.

B. ADDITIONAL REQUIREMENTS FOR PAD LAYOUT AND DESIGN

The following additional design standards will be utilized within Parks Ranch.

1. Curvilinear Street System.

Parks Ranch provides a curvilinear street system that offers a break in the monotony that the standard sub-division provides.

2. Landscape Buffers.

Landscape tracts are provided along all collector roadways as depicted in this document. A minimum 15-foot landscape tract will buffer the site, and provide an aesthetic appeal to the project.

C. MANDATORY RESIDENTIAL PAD ARCHITECTURAL STANDARDS

The residential product for Parks Ranch has not been determined at this time. The product that will be built in the Parks Ranch community will incorporate architectural elements that will contain country themes, and will provide a cohesive character. The design will differ from the common popular architectural style and provide homes such as ranch style. This will maintain the feel and ambience the country has, and promotes a tribute to a community with roots in farming and ranching. The following guidelines will be utilized within Parks Ranch.

1. Floor Plans and Elevations.

A minimum of five home floor plans, each with three distinct elevations, will be offered within each definitive housing price range or product type.

A minimum of five distinct home color schemes will be offered within each definitive housing price range or product type.

Two homes with the same front elevations will not be built with the same color schemes, adjacent to each other, or across from each other. Each type of home will have a distinctive look to promote diversity.

The homebuilder/developer will not allow more than three consecutive similar rear home elevations to back onto the collector roadways.

Emphasis will be placed on the front elevations of the home built within Parks Ranch. Such examples include covered front entries, covered porches, and bay windows. All main entries will face the street.

Architectural features such as window pop-outs, windowsills, and recessed windows will be utilized on all front, rear and side elevations. Emphasis will be placed on elevations that face the roadway and open space areas.

2. Roofs.

A variety of home roofing colors, shapes, and texture will be offered. Variations in roof ridgelines will also be provided, and concrete tile will be utilized on all sloped roofs.

Unique roof colors will be matched to each home color scheme.

Residential and accessory structures will have no roof mounted or wall-mounted mechanical equipment including HVAC, or evaporative coolers. All such mechanical equipment must be ground-mounted.

Stuccoed patio cover columns will be provided. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Development Director.

3. Garages

No garage will extend forward of a home's livable area or covered front porch by more than 10-feet, with the exception of a side entry garage designs.

At least one elevation per floor plan per parcel or product type will have the livable area of the home forward of the garage.

Front loaded garage doors shall not exceed fifty percent of the house width (frontage). Where more than a standard two car front entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

4. Additions and Modifications.

All additions to homes shall be constructed of the same building materials as the principal residence and painted to complement the home.

Garages shall not be converted or enclosed for other uses.

Accessory buildings shall be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence.

D. ADDITIONAL REQUIRMENTS FOR PAD RESIDENTIAL ARCHITECTURE

Four of the standards listed below will be mandatory for the developer to implement at Parks Ranch. These additional requirements for PAD residential architecture will be presented to the Planning and Zoning Commission prior to approval of the Final Subdivision Plat.

- Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
- Provide unique architectural styles for all homes within a parcel or parcels of a PAD. Depart from currently popular architectural styles to use other unique house styles, such as Craftsman, Prairie, Territorial, Ranch.
- Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and or dormers as standard features on all homes.
- Reduce the number of standard front-loaded garages. The number of floor plans using side-loaded garages as standard features shall be increased from the minimum required.
- Reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, providing multiple roof changes, and or other effective means.

- Place additional emphasis on windows by providing a variety of window shapes, sizes, and arrangements and or using bay windows on elevations facing streets and open space area.

Wall Plan Legend

- THEME WALL
- VIEW WALL
- SOLID WALL
- DOUBLE RAIL FENCE



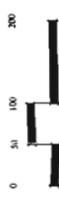
PARKS RANCH

CASA GRANDE, ARIZONA

Wall Plan

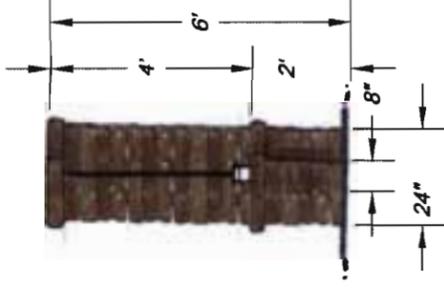
APRIL 26, 2006

4141 NORTH 32ND STREET
SUITE 102, TUCSON, ARIZONA 85718
PHONE: 520-884-4370
FAX: 520-884-4374
CONTACT: SCOTT PETERS, RLA





1/2"x1/2"x16 GA WROUGHT
IRON PICKETS



8"x4"x16" SLUMP BLOCK

VIEW WALL

SCALE: 1/2"=1'



6"x8"x16" CMU BLOCK WITH
HEAVY TEXTURE STUCCO

8"x4"x16" SLUMP
BLOCK CAP

8"x4"x16" SLUMP BLOCK

THEME WALL

SCALE: 1/2"=1'



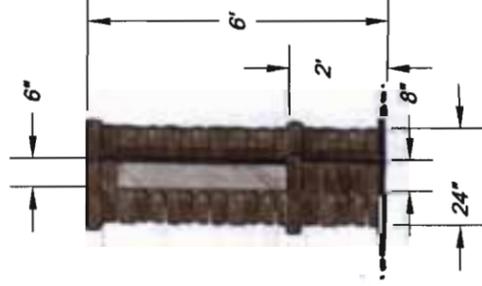
6"x8"x16" CMU BLOCK WITH
HEAVY TEXTURE STUCCO

8"x4"x16" SLUMP
BLOCK CAP

8"x4"x16" SLUMP BLOCK

SOLID WALL

SCALE: 1/2"=1'



PARKS RANCH

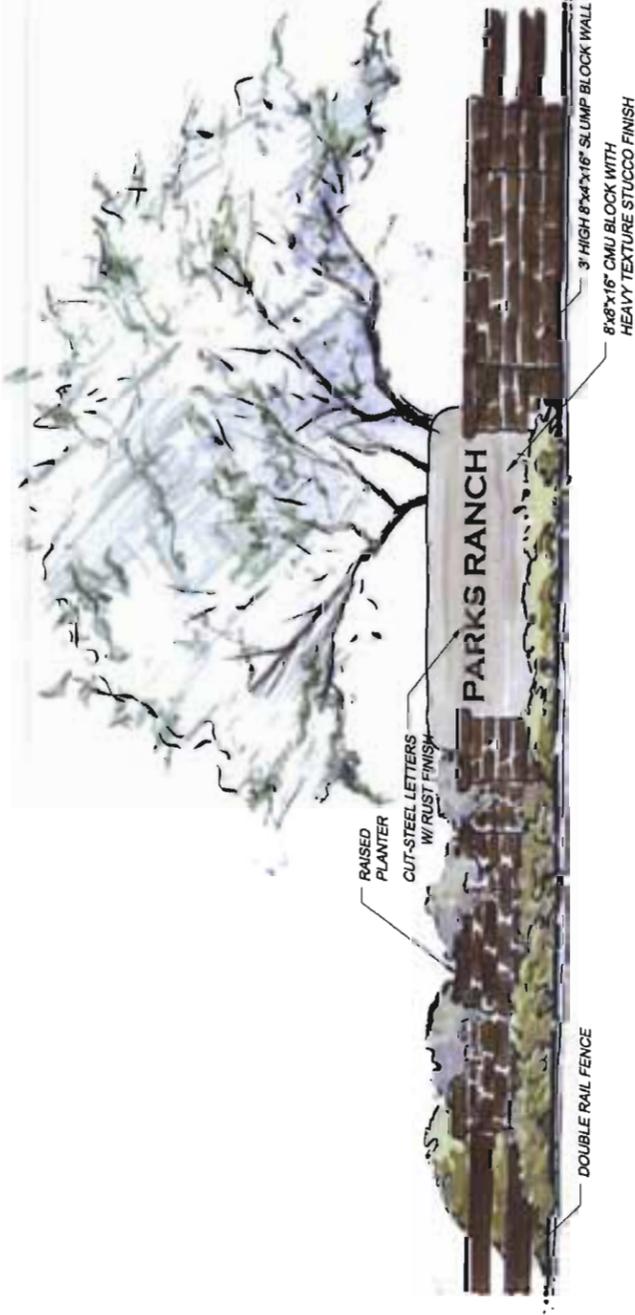
CASA GRANDE, ARIZONA

Wall Elevations

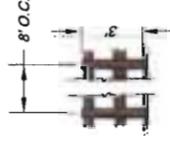


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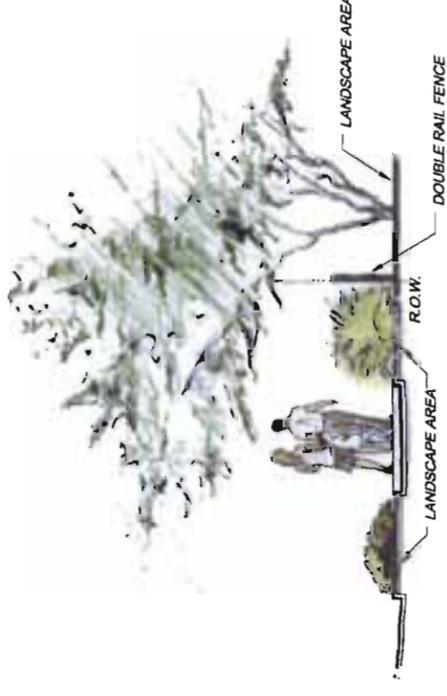
APRIL 20, 2006



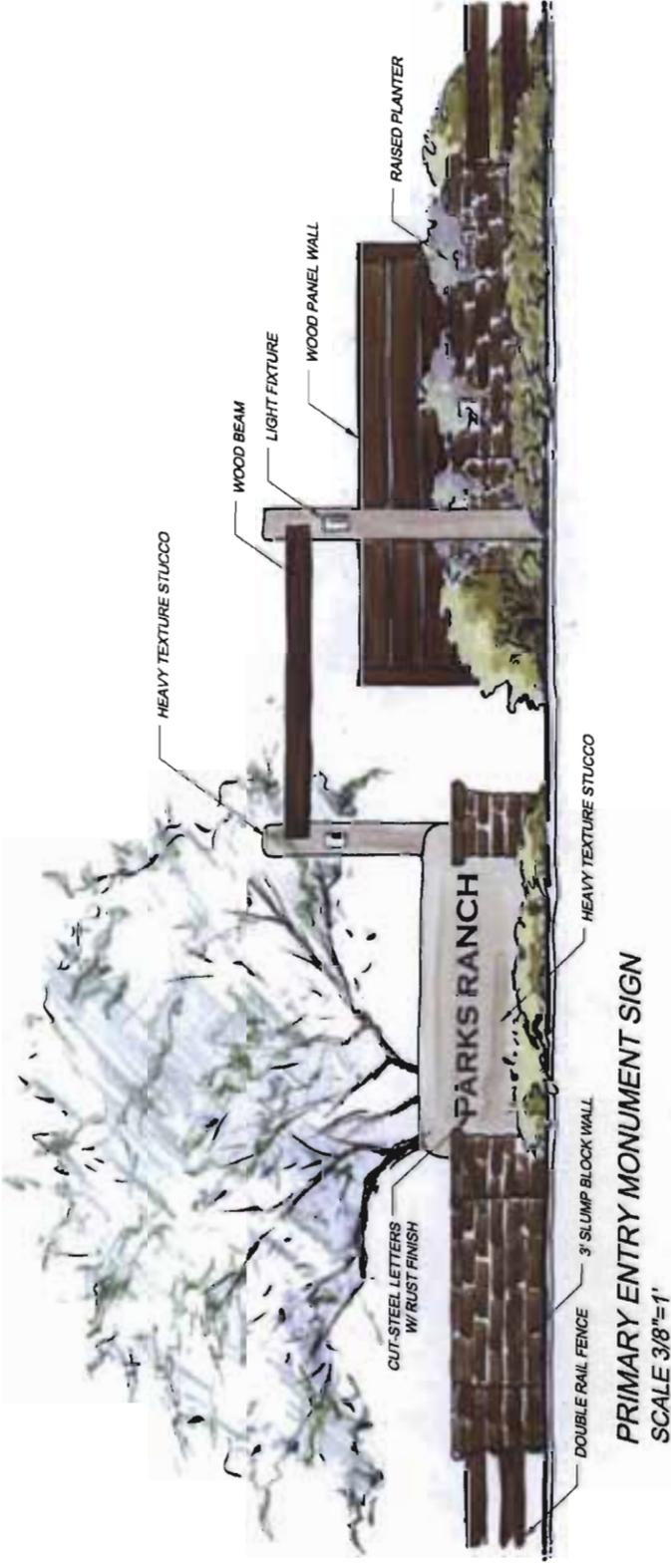
SECONDARY ENTRY MONUMENT SIGN
SCALE 3/8"=1'



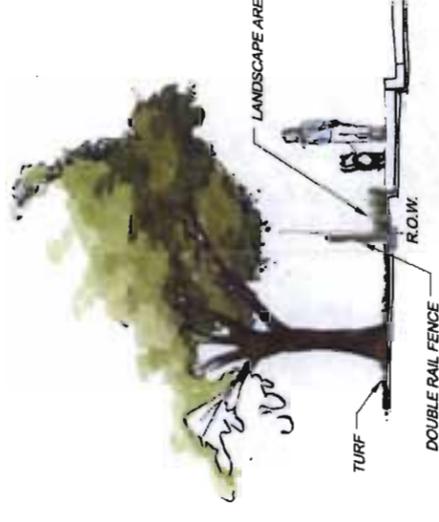
DOUBLE RAIL FENCE
SCALE 1/4"=1'



EXTERIOR STREET R.O.W.
SCALE 1/4"=1'



PRIMARY ENTRY MONUMENT SIGN
SCALE 3/8"=1'



INTERIOR OPEN SPACE R.O.W.
SCALE 1/4"=1'

PARKS RANCH

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Entry Monument Elevations



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TYPICAL PRIMARY ENTRY MONUMENT SIGN LAYOUT
SCALE 1"=10'

Conceptual Plant List:

TREES

- Desert Willow
- Fernox Ash
- Texas Honey Mesquite
- Southern Live Oak
- Emergreen Elm
- Texas Mountain Laurel
- Broadleaf Pear
- Purple Leaf Plum
- Chinese Pistache

SHRUBS

- Yellow Bird of Paradise
- Anacardium
- Hop Bush
- Joghbe
- Santitas Yellow Balls
- Rosemary
- Leucosiphium sp.
- Salvia sp.

GROUNDCOVERS

- Trailing Indigo Bush
- Lantana sp.
- Myoporum
- Creeping Germander

ACCENTS

- Deer Grass
- Pink Mufly
- Desert Spoon
- Yucca sp.



PARKS RANCH

Conceptual Landscape and Amenities Plan

CASA GRANDE, ARIZONA



APRIL 20, 2005

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