

PALM CREEK
Golf & RV Resort



**P.A.D. Amendment
Village Homes
Council Study Session**

August 2005

From: "Chris Huck" <chrish@vistososo.net>
To: "Leila Demaree" <LDemaree@ci.casa-grande.az.us>
Date: 10/26/2005 2:55:03 PM
Subject: RE: Palm Creek Resort

Leila,

With the Application we are adding the 5 acres at the NEC of the property into the PAD, therefore the acreage increase by +/- 5 acres to 279.69 Acres.

Density:	10.01 DU/Ac
Total Acreage:	279.69 Acres
Total Open Space:	68 Acres
Landscaped Area includes golf course:	61 Acres
Total Space Count:	2800 Spaces
Phase 1: All RV Spaces	1089 Spaces

Phase 2

RV:	502 Spaces
Village Homes:	283 Spaces
Total:	785 Spaces

Phase 3

RV:	139 Spaces
Village Homes:	787 Spaces
Total:	926 Spaces

To confirm our application:

- 1) We are adding 5 acres into the PAD, at the NEC of the Community
- 2) We are requesting the addition of Village Homes (manufactured homes) to be allowed within the community within Phase 2 and 3 for the above counts.

Thanks
Chris

-----Original Message-----

From: Leila Demaree [mailto:LDemaree@ci.casa-grande.az.us]
Sent: Wednesday, October 26, 2005 11:20 AM
To: chrish@vistososo.net
Subject: Palm Creek Resort

Hi Chris,

Thanks for returning my call. Here's what I need:

Break down of the # of spaces per phase (identify # of lot spaces for RV and Village Homes)
Total Open space area
% of O.S. provided
Total landscape area and %
updated Density

Thank you.

Leila A. DeMaree, Senior Planner
City of Casa Grande
510 E. Florence Blvd.,
Casa Grande, AZ 85222

Phone: 520-421-8637 ext. 303
Fax: 520-421-8631

CC: "John Lang" <jlang@wlbgroup.com>, "Rick Miller" <RMiller@ci.casa-grande.az.us>, "Ashton Wolfswinkel" <ashtonw@vistosonet.net>



Palm Creek Resort
 Casa Grande, Arizona
 PAD Amendment: "Village Homes"

AMENDMENT REQUEST:

Palm Creek Golf & RV Resort wishes to amend the currently approved PAD to allow for "Village Homes" within all 3 Phases of Palm Creek. The PAD was previously known as Casa De Fiesta Golf and RV Resort.

COMMUNITY:

Overview:

Palm Creek is an active adult community that caters primarily to the RV lifestyle. Palm Creek offers over 100 activities and amenities, providing state of the art facilities for our residents to live and interact together in a beautiful desert oasis setting. The Resort offers land leases to the residents for short and long term stays. The current PAD is approved for a total of 3000 RV spaces with a minimum site size of 1750 square feet (35' x 50') and an overall density of 10.92 dwelling units per acre. The overall density and space count has decreased with the recent development of larger spaces within Phase 2. The Resort currently offers spaces for Recreational Vehicles and 400 SF Park models. The Park Models allow for Room additions in order to increase space. Currently there are Park models with room additions that exceed 1200 SF.

Vision:

Over the past eight years, Palm Creek has set the standard for RV Parks around the Country. In the process of actively designing, developing, marketing and managing the Park, we have learned the necessity to adapt and cater to the changing needs of our current and future residents. With each phase of development we have added additional amenities and facilities. We are currently redesigning the Entertainment/Conference Facility to increase the size to 25,000 SF to accommodate the growing needs of our residents and the community. In addition, we will be relocating and expanding the softball field facilities with the development of Phase 3.

While we have continued to provide a diverse offering of amenities, we have also expanded our offering of space sizes to 40' x 50' and 50' x 50' with the development of Phase 2. In a continuing effort, we are proposing larger spaces within Phase 3. The growing and expanding market is requiring increased unit sizes with front porches, improved interior spaces with upgraded material finishes, and landscaping. The additions of "Village Homes" to the Palm Creek product offering within all phases will fulfill this growing need. RV Parks including Pueblo El Mirage in El Mirage, Viewpoint RV and Golf Resort in Mesa, and Monte Vista Village Resort in Mesa, currently offer these units within their parks. This expanded offering will promote the continued growth and solvency of Palm Creek. Palm Creek has enjoyed living within the City of Casa Grande, and hopes to continue the strong and supportive relationship for the benefit of all parties involved.

CURRENT AND PROPOSED LOT SIZES:

Phase	Space Dimensions	Space Size	Min. Setbacks All Sides*	Perimeter Property Setback	Height Max.
Current:					
1	40' x 50'	2000 SF	5'	20' (w/ 15' Landscape Buffer)	25'
2A	40' x 50'	2000 SF	5'	20' (w/ 15' Landscape Buffer)	25'
2B	50' x 50'	2500 SF	5'	20' (w/ 15' Landscape Buffer)	25'
Proposed:					
3	40' x 65'	2600 SF	5'	20' (w/ 15' Landscape Buffer)	25'

Notes: On-site additions such as carports, decks and porches, and accessory sheds shall be permitted.
 * Measured from the property line to the leading edge of any structure.

VILLAGE HOMES:



Please view the provided photos under Tab “Village Homes”

The “Village Home” is a single-family unit with architecturally appealing facades with front porches and front yard landscaping. Units will range in size from 800 to 1100 square feet, and may also include single bay garages and side yard patios. Interior spaces will offer upgraded finishes including cabinetry and fixtures. The homes are built in accordance with the National Manufactured Home Construction and Safety Standards Act of 1974 and Title VI of the Housing and Community Development Act of 1974. The homes are transportable to the site in one or more sections; are placed on a site-built permanent foundation, may include expandable rooms and other projections containing interior space, and includes the plumbing, heating, air conditioning, and electrical systems contained therein.

All “Village Homes” shall comply with The Federal Manufactured Home Construction and Safety Standards (commonly known as the HUD Code) and the Federal quality assurance standards administered by the U.S. Department of Housing and Urban Development (HUD). The Federal standards regulate manufactured housing design and construction, strength and durability, transportability, fire resistance, energy efficiency, and HVAC, plumbing, and electrical systems.

“VILLAGE HOMES”: BENEFITS FOR THE CITY OF CASA GRANDE:

- Higher sales tax revenue will be generated for the city with additional “Village Homes”. The average price for a “Village Home” is \$60,000 to \$70,000 compared to a park model which has an average price of \$30,000 to \$40,000.
- “Village Homes” provide a quality image to the resort, which in turn makes the city more appealing to residents and visitors. The addition of “Village Homes” will also enable Palm Creek to sell more units, as the demand is currently far greater than the supply, creating more tax revenue for the City.
- The “Village Homes” have the appearance of a traditional house.
- The RV Resort industry is changing. With more affluent people buying RV’s there is a need to offer an upgraded product to our customers. “Village Homes” give Palm Creek more flexibility to sell another quality product that is currently in high demand. We will be able to capture a larger market share as we are currently losing potential customers who are disinclined to purchase because they desire something larger than a 400 square foot park model.
- The sales process is simplified to our end user. Our sales staff will be able to sell a complete home package and the buyer of a “Village Home” will not have to make any exterior improvements to the unit. This gives us the ability to completely control how each unit looks on any lot. New “Village Home” buyers will then spend more money on landscaping rather than decks and room additions.
- The construction of a doublewide home is safer and more efficient than a park model with a room addition. All doublewides that come from the factory are all built and regulated by HUD. HUD building codes are more stringent, better quality, and easier to control than onsite remodeling contractors. “Village Homes” are also more energy efficient because they are built with thicker insulation.

“VILLAGE HOMES”: BENEFITS FOR THE CITY OF CASA GRANDE (cont’d.):

- Palm Creek would be ground-setting all doublewide units. This makes the mobile home like a traditional stick built home, and is also safer for our residents by eliminating the use of steps every time they enter/exit their home.
- As owners of Palm Creek, we invested tens of millions of dollars, and have seen minimal returns. Sales projections and absorption rates have been much lower than we anticipated when we built Palm Creek. We feel it is necessary for the stability of the resort to offer a new product, which has been very well received in similar resorts. We would ask for the support of the council in approving this PAD amendment for it would increase our financial stability.
- Lessens our density because we will be re-engineering Phase 3 to accommodate for the larger doublewide homes.
- The Resort currently offers long and short term leases. The Owner intends to maintain this ownership and operational structure in order to avoid additional burdens on the City with issues and problems that arise within individual space ownership communities.
- Lessens the workload on city inspectors. Inspectors will only have to come out once to inspect homes once they are set, as opposed to multiple times when an inspector has to come out to inspect a deck, shed, awning, room addition, etc. This will drastically relieve some of the pressures on city employees.

VILLAGE HOME PICTURES:



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VILLAGE HOME PICTURES:



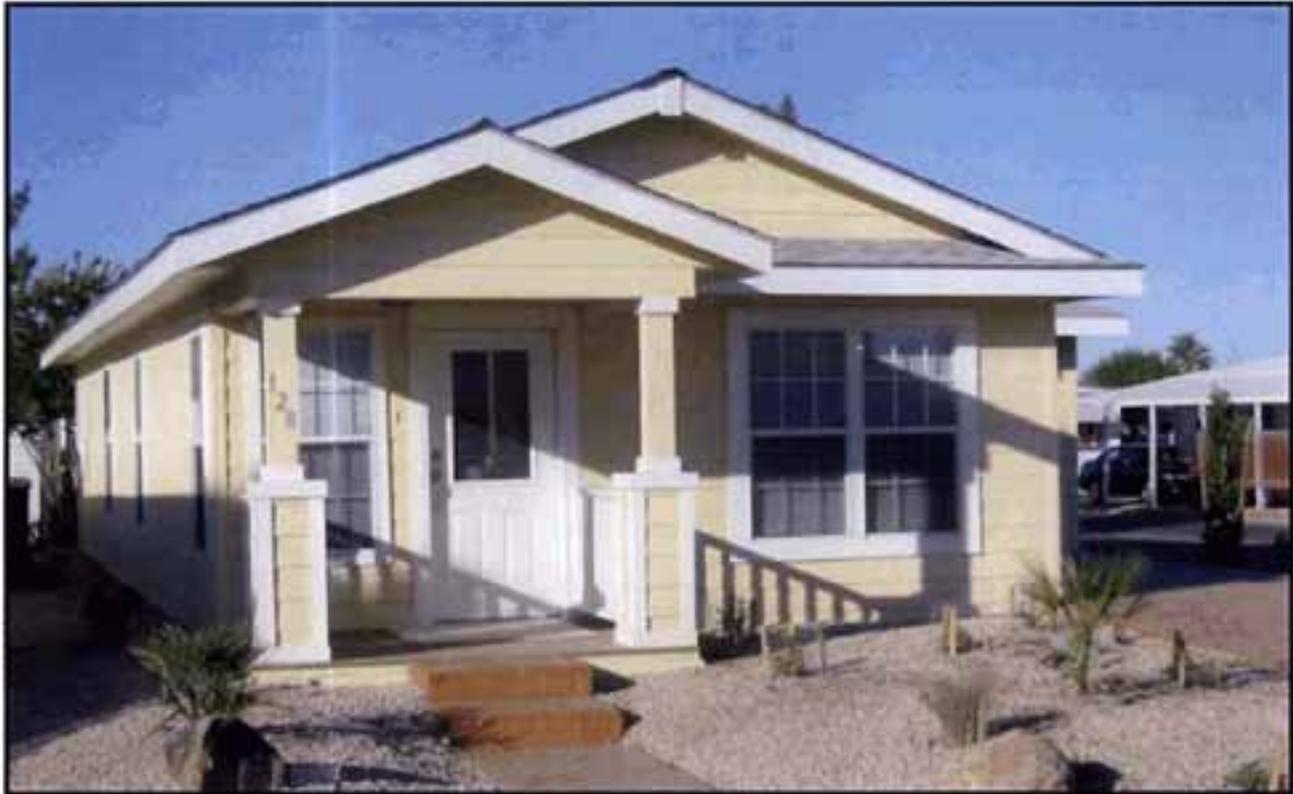
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PALM CREEK
Golf & RV Resort

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