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Palm Creek Golf and RV Resort

A Master Planned RV Community – Planned Area Development

The WLB Group | **WLB** | **VIVIFY MEDIA**
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Palm Creek Golf & RV Resort

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Palm Creek Golf & RV Resort

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Planned Area Development Guide For
Palm Creek Golf & RV Resort
A Master Planned Community

***PROPOSED
LAND USE AND
CONFORMANCE***

The proposed land use for the Palm Creek Golf and RV Resort is a Recreational Vehicle and Village Home Resort. The individual RV & Village Home spaces within the resort will be for rent only, not sold. The proposed land use change is from the current Urban Ranch (UR) zoning to a Planned Area Development District (PAD). The 274.63 ± 5 acre, three-phase development includes a 51.55 acre, 18-Hole, Par 3 Pitch and Putt golf course, with an additional 7 acres for programmed recreational use. The overall density will be 10.92 density dwelling units per acre, with a maximum of 3,000 RV and Village Home spaces. The minimum lot size will be 1,750 square feet.

Amenities to be included are:

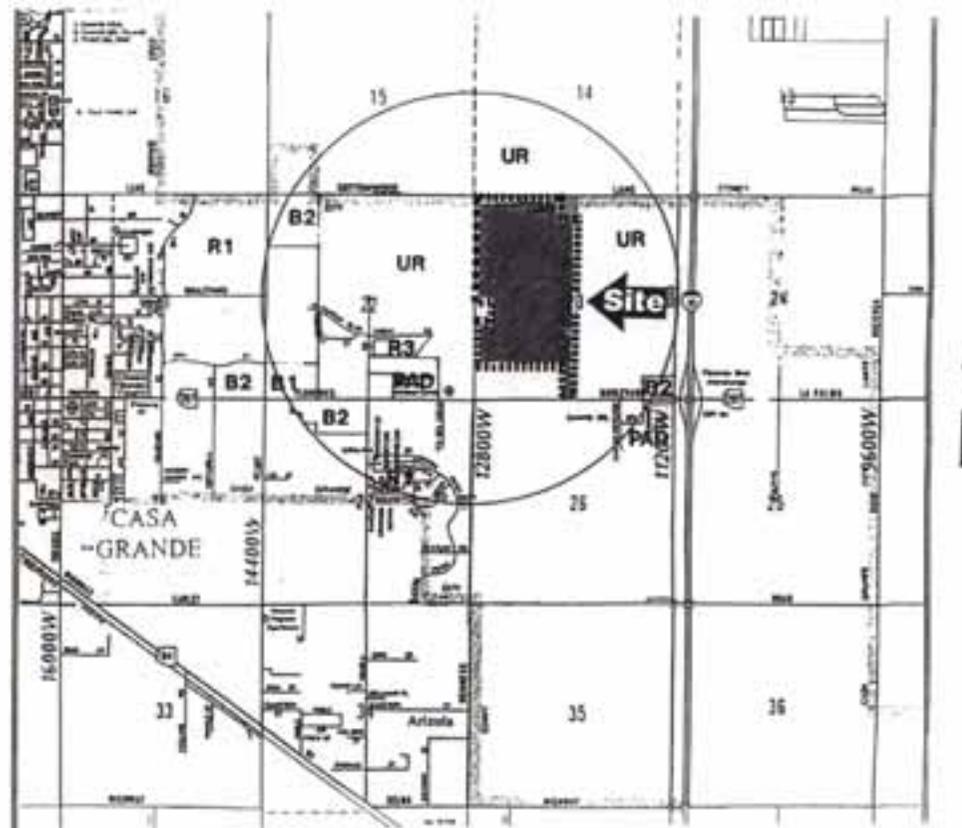
- 18 hole, par 3 golf course,
- 7 tennis courts and 4 pickle ball courts
- 1 softball field,
- 1 swimming pool,
- lawn bowling (bocci ball),
- horseshow and shuffleboard courts,
- community building,
- craft/hobby rooms,
- cable T.V.
- laundry/shower facilities.

Figure 1: Conceptual Site Plan



**GENERAL PLAN
CONFORMANCE**

Currently The Land Is Designated As Low Density Residential Under The Casa Grande General Plan. A General Planned Area Development Is Being Processed Concurrently With The Zoning Change To Permit Medium Density Residential Use On This Property. The Predominant Current Land Use In The Area Is Agricultural.



Casa Grande Zoning Map

***DESCRIPTION,
PROPERTY
BOUNDARIES &
LOCATION***

The zoning within a one mile radius include:

- UR: Urban Ranch
- R-1: Single Family Residential
- R-3: Multi Family Residential
- B-1: Neighborhood Business
- B-2: General Business
- PAD: Planned Area Development

The site is located in the west half of Section 23, Township 6 South, Range 6 East, of the Gila and Salt River Meridian, Pinal County, Arizona (see Appendix A). The property is a 274.63 + ± 5 acre parcel located approximately 1/2 mile west of I-10, and approximately 670 feet north of Florence Boulevard. The Henness Road alignment delineates the west property line, and the Cottonwood Lane alignment delineates the north property line. The east property line is represented by the north, south mid-section line.

Main access to Palm Creek Golf and RV Resort will be from Henness Road. Emergency access to the site will be via a 110 foot right-of-way easement running south to Florence Boulevard from the southeast corner of the property. The emergency access point will be equipped with a “knox-box” for emergency vehicle use. Additional entrances will be provided on Henness Road and Cottonwood Lane.

Figure 2: Project Location



***SURROUNDING
LAND USE***

Adjacent Properties: All land uses immediately surrounding the property are agricultural and commercial.

Neighborhood Properties: Land uses within a one-mile radius of the site are a mixture of agricultural land, residential properties, a hospital and a nursing home.

***COMMON
OPEN SPACE***

The Palm Creek Golf and RV Resort includes 68.00 acres of common open space. This includes 42.00 acres of golf, providing a pleasant open vista and landscape corridor looking north through the center of the property from Florence Boulevard.

Almost 3 miles of pedestrian greenbelt corridors that will link the neighborhoods and the various recreation areas. The pedestrian greenbelt will be landscaped in drought tolerant, low water consumptive plants to enhance the desert setting and provide safe walking trails.

Adding to the community atmosphere of Palm Creek Golf and RV Resort is a clubhouse campus that includes 7 acres of recreational facilities comprised of a 1.43 acre softball field, a swimming pool, spa, activity rooms, horseshoe and shuffleboard courts. A separate tennis complex which features 7 tennis courts and 4 pickle ball courts.

**ARCHITECTURAL
STYLE**

Permanent structures on the site will include the clubhouse, ballroom, activity rooms, and dispersed laundry facilities to service the different areas of the resort. The architecture shall reflect the integration.

The design elements that form the architectural character of Palm Creek Golf and RV Resort are: *(see elevations on page 10)*

- Soft desert pastel building wall covers;
- Smooth stucco finish with hand troweled/mottled look;
- Simple, pitched tile roofs;
- Appearance of “thick” walls
- Courtyards, alleys, intimate spaces;
- Small tile details;
- Offset wall planes;
- One and two story buildings mass;
- Small over-hanging fascia with cornice bands;
- Sequencing of enclosed space.



**NEIGHBORHOOD
DESIGN**

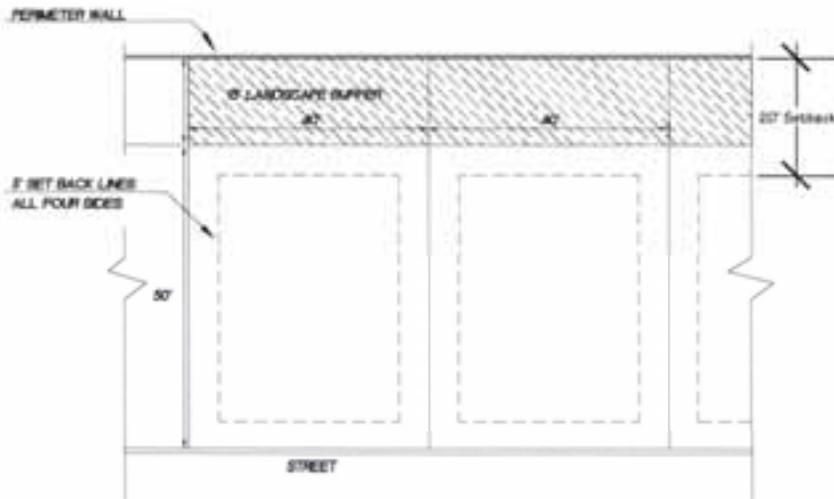
The overall development is organized into smaller neighborhoods serviced by an internal loop road, and centered around a par three executive golf course. These senior communities are buffered from each other, and will accommodate varying numbers of recreational vehicle units. All lots shall be a minimum of 35' x 50', or 1750 square feet.

DENSITY

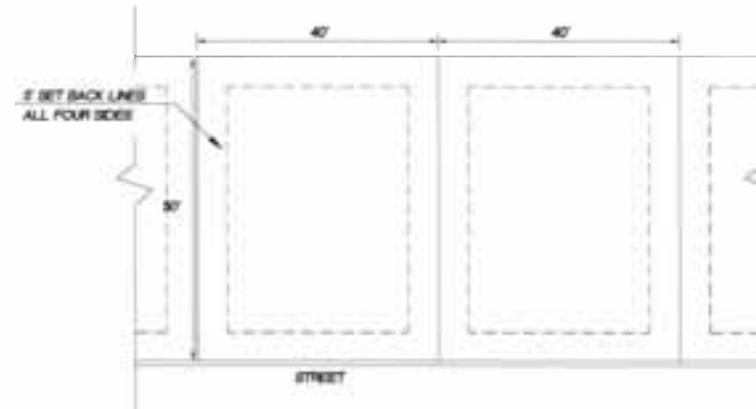
The total area of the property is 274.63 + ± 5 acres, with a maximum of 3,000 units proposed. The maximum density will be 10.92 units per acre.

SET BACKS

- All lots will be required to have a 5 foot set back on all four sides. The 5 foot setback will assure at least a 10 foot distance between recreational vehicles & village home space(s)
- RV spaces that border the Palm Creek PAD boundary will be required to have a 20 foot setback from the perimeter property line.
- A 15 foot landscaped buffer zone will be installed within the 20 foot perimeter set back (see detail below).



Typical PAD Perimeter Setback



**Typical Interior Building Setback
(All Space Sizes)**

HOUSING TYPE

The overall development is grouped into smaller neighborhoods serviced by an internal loop road. Each of these senior communities is buffered by vegetative zones, and will accommodate varying numbers of Recreational Vehicle (RV) and Village Home units, with the sites made hook-up ready for all utilities. The minimum lot size shall approximately 35' x 50', or 1,750 square feet.

VILLAGE HOME

The “Village Home” is a single-family unit with architecturally appealing facades with front porches and front yard landscaping. Units will range in size from 800 to 1,100 square feet, and may also include single bay garages and side yard patios. Interior spaces will offer upgraded finishes including cabinetry and fixtures. The homes are built in accordance with the National Manufactured Home Construction and Safety Standards Act of 1974 and Title VI of the Housing and Community Development Act of 1974. The homes are transportable to the site in one or more sections; are placed on a site-built permanent foundation, may include expandable rooms and other projections containing interior space, and includes the plumbing, heating, air conditioning, and electrical systems contained therein.

All “Village Homes” shall comply with The Federal Manufactured Home Construction and Safety Standards (commonly known as the HUD Code) and the Federal quality assurance standards administered by the U.S. Department of Housing and Urban Development (HUD). The Federal standards regulate manufactured housing design and construction, strength and durability, transportability, fire resistance, energy efficiency, and HVAC, plumbing, and electrical systems. Village Homes are subject to design approval by the resort.



Figure 3: Architectural Elevations



Elevations

Palm Creek Golf & RV Resort
A Master Planned Golf & RV Community

SIGNAGE

Design guidelines for signage for Palm Creek Golf and RV Resort stipulate that signs shall be constructed of masonry. Signs may be double faced and illuminated. Marquis signs shall be constructed on masonry bases and be landscaped on all four sides. Colors of the masonry structures shall match the perimeter walls.



ENTRY MONUMENT



WROUGHT IRON FENCE



LANDSCAPE PLAN

***WALLS/
SCREENING***

A six foot masonry wall will be constructed on the property line to encompass the development. A six foot decorative wrought iron/masonry fence will be integrated along the south and west property line where the golf course abuts, adding articulation and providing visual access to the open spaces. The perimeter walls will be designed with alternating insets that runs for 50 feet. These insets will occur every 150 feet along the perimeter in order to provide articulation and visual relief. All of the masonry perimeter walls will be constructed of color integrated masonry block. The specific color of the perimeter walls will be of a desert tone as approved by the City of Casa Grande Planning Commission as part of the Major Site Plan Review for this project. Style and color will be consistent with the overall appearance of the resort.

PHASING

Palm Creek Golf and RV Resort is planned to develop a strong sense of community through incremental growth in three phases. Each phase or portion thereof, is to undergo Major Site Plan Review by the City of Casa Grande Planning and Zoning Commission, with emphasis on:

- Architecture
- Landscaping
- Access (ingress/egress)
- Lighting
- Signage
- Etc.



Phase I

The initial phase will develop the southern portion of the property, including the first nine holes of the golf course, the recreation facilities, the first two courts of an 8 – court tennis complex, and adequate laundry/service facilities. The number of RV lots will be approximately 1,000 units. A formal entry featuring a landscaped median and guard house will be constructed at the main entrance to the project off Henness Road near the southwest corner of the property. The first phase of the internal loop road shall be constructed. Henness Road will be built from Florence Boulevard, north of the location of the main gate. This will include the installation of a traffic signal on Florence Boulevard, and other required roadway improvements (page 21), a 6 foot masonry wall on the west property line of the development along Henness Road, from the southern boundary, extending north to the McMurray Road alignment and on the east property line to parallel the wall on the west. A 6 foot wrought iron/masonry fence shall be constructed where the golf course abuts the west and south boundaries, permitting an open view along the green space corridors. Installation of street lighting and landscaping of the said areas will also take place at this time. During this phase, existing irrigation canal structures that are not in use shall also be abandoned.



Figure 4: Phase I Site Plan

Phase II

The second phase will include the back nine holes of the golf course, a ballroom and theater to be built in the clubhouse campus, additional laundry facilities, and extension of the loop road to an entrance on Cottonwood Lane. Construction of the remaining six tennis courts and kiosk will complete the tennis complex. Henness Road will be constructed from the main entrance, north to Cottonwood Lane, and Cottonwood Lane east to the entrance on Cottonwood Lane. The 6 foot masonry wall will be extended on the west boundary along Henness Road north to Cottonwood Lane, then east to the entrance on Cottonwood Lane. Phase II consists of 785 RV lots will be constructed during the 2nd phase in the northwestern portion of the property.



Figure 5: Phase II Site Plan

Phase III

The final phase of the project shall complete the development of RV and Village Home lots. The loop road will be extended to complete its “loop,” and laundry facilities will be constructed in the northeast area. The perimeter wall will be completed from the entrance on Cottonwood Lane, to the east boundary, and then south to join the existing wall. Cottonwood Lane will be extended to the northeast corner of the property. The Pedestrian Way will be built in each phase as the area is developed. This final phase is market driven and projected to be completed based on market demand.



Figure 6: Phase III Site Plan

***STREET UTILITIES,
SERVICES & PUBLIC
FACILITIES***

All utilities shall be provided to the individual lots, and installed underground. The actual provider of each utility to the development is listed below.

Water: Water for domestic use shall be provided by either on-site wells or Arizona Water Company. There is a 24” waterline on Florence Boulevard to the south, and a 12” waterline to the west on Henness Road, extending to Florence Boulevard from the well site owned by Arizona Water Company. All water lines will be adequately sized for fire hydrant and flows.

Irrigation water for the golf course and all common area landscaping, will be drawn from wells on site in accordance with requirements as set forth by Arizona Department of Water Resources (ADWR). Off-site right of way landscaping between the perimeter wall and the back of curb shall also be watered by the same source. A “Conservation Plan” will be prepared which addresses in detail the irrigation requirements of the golf facility. Existing irrigation and tail-water canals that are not needed shall be filled and/or abandoned.

Storm Sewer: Run-off water will be retained on site in the golf course area in accordance City of Casa Grande on-site retention requirements and with the second Management Plan of ADWR for the Pinal Active Management Area.

Sanitary Sewer: Sanitary sewer will be connected with the system currently maintained by the City of Casa Grande. There is an existing sewer line which runs westerly along Florence Boulevard and turns north on Henness Road, and continues north to Cottonwood Lane. The sewer line in the south half of Henness Road is a 15” line. The sewer line in the north half of Henness Road is an 18” line. These adjacent sewer line have sufficient capacity for the Palm Creek Project.

***STREET UTILITIES,
SERVICES & PUBLIC
FACILITIES***

The Cottonwood Lane Relief Sewer (Jan. 1996) and the Korsten Road Relief Sewer (Sept. 1997) are two projects planned by the City of Casa Grande to improve capacity of the downstream sewer lines which will serve Palm Creek. The role played by Palm Creek in these planned sewer improvement projects will be specified in the Development agreement for this project.

The Palm Creek project will be subject to two sewer pay back agreements, through which they will pay their pro rata share of the sewer mains which have been constructed to, and past, their property. These sewer extensions were constructed in conjunction with the Casa Grande Community Hospital and Mercado Outlet Mall.

The existing sewer lines adjacent to the project site are too shallow to provide service to all portions of the project. Palm Creek will construct a public sewage lift station as part of their project. They will also extend a public sewer main through the project to provide future sewer service to properties east of Palm Creek.

Electric Power: New electrical installations will be serviced by Arizona Public Service (APS). They have an existing duct bank located on the north side of Florence Boulevard. APS has a substation located approximately 1/2 mile to the west of the west boundary of the property. From this substation, there is an existing duct bank that terminates slightly less than 1/2 mile from the west boundary of the property, and it is from the site that APS will provide service to the property.

**STREET UTILITIES,
SERVICES & PUBLIC
FACILITIES**

Primary feeder cables shall be installed underground along the roadway network. Except where cost prohibitive, Electrical District #2 power lines, and all overhead power lines on Henness Road and the midsection line shall be placed underground. Secondary circuits will be constructed underground along the back of the unit spaces. All other existing overhead utility lines in the interior of the property shall also be placed underground.

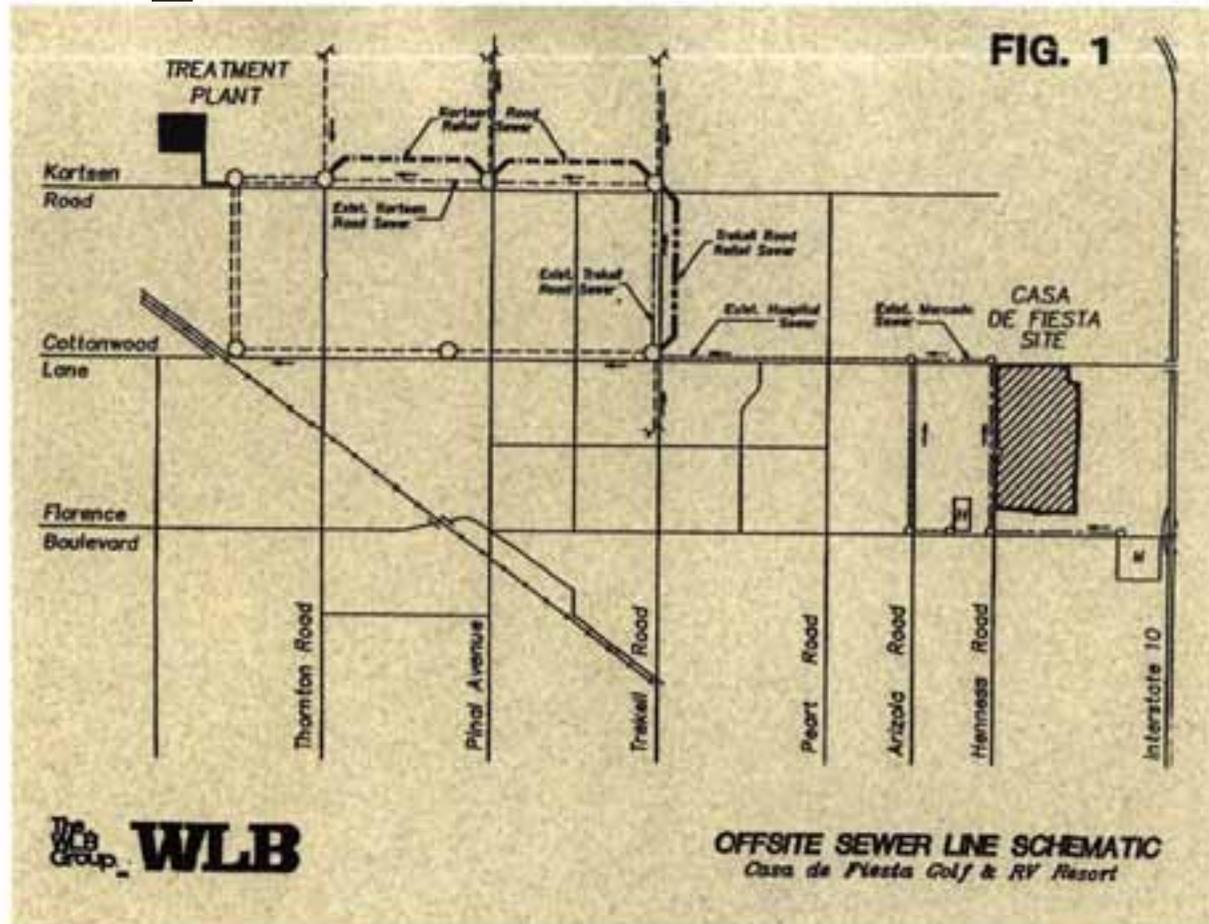


Figure 7: OFFSITE SEWER LINE SCHEMATIC
Palm Creek Golf & RV Resort

***STREET UTILITIES,
SERVICES & PUBLIC
FACILITIES***

There is the possibility of revenues received from permanent power usage being used to offset the initial development cost. This will be determined by an economic analysis to be performed by APS.

Existing electrical service to irrigation wells is provided by Pinal Electrical District 2. There will be no change in existing uses, although lines will be placed underground.

Cable Television: Lines will be installed underground for cable television to each lot.

Telephone: Telephone and line service are available in the area.

Natural Gas: Southwest Gas Service provides natural gas to developments in Casa Grande.

TRANSPORTATION

Existing transportation and the impacts of Palm Creek Golf and RV Resort have been analyzed by Dr. Curtis Lueck of Curtis Lueck and Associates. (*See Traffic Study for a detailed analysis of existing facilities.*)

Off Site Improvements:

- The developer shall dedicate one half (1/2) street right-of-way (55 feet) of Henness Road and Cottonwood Lane arterial rights of way.
- The developer also commits to constructing the first two (2) paved lanes of each roadway to meet City of Casa Grande specifications, per City-approved phasing plan.
- In addition, 18 feet of landscaping will be provided for the right of way from back of curb to the property line along said roadways at the developer's expense.

TRANSPORTATION

Proper signalization and other roadway improvements will be provided at the developer’s expense as recommended by the traffic study, or as required by the City and/or Arizona Department of Transportation in order to provide safe ingress and egress to the project. Other improvements include:

- deceleration/acceleration lanes
- curbs
- gutter
- 5’ sidewalks
- landscaping
- screen wall on property line
- bike lane

Street lights on the off-site, improved arterials will be installed by the developer to meet City of Casa Grande specifications for spacing, and will be maintained by the City upon acceptance of the roadways.

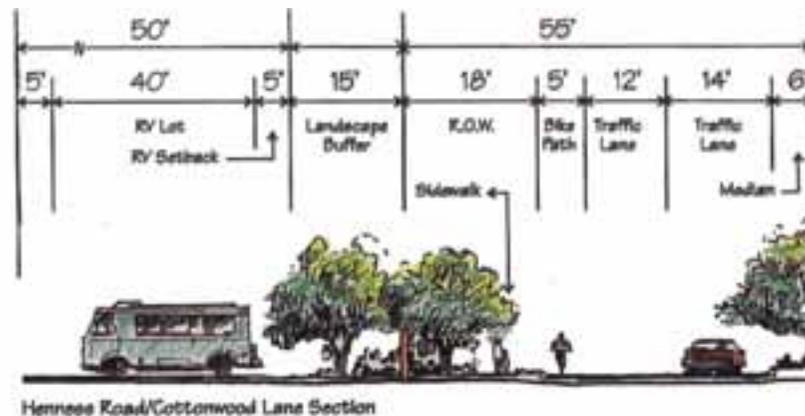
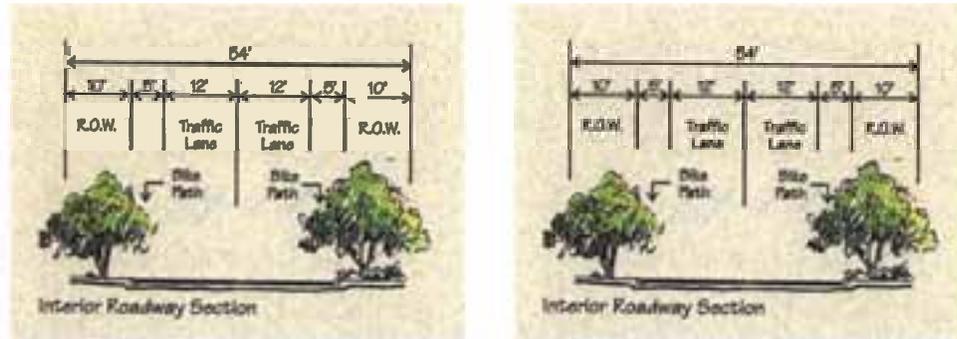


Figure 8: Henness Road/Cottonwood Lane Section

TRANSPORTATION

Interior: An internal loop road will serve as a collector for the local streets. All roadways within the development will remain private property. Roadways will be constructed and maintained by the owners of Palm Creek Golf and RV Resort. The internal loop road and all ingress/egress points will be completed in accordance with the Phase Plan.

Figure 9: Interior Roadway Sections



TRANSPORTATION

Possible future redevelopment of Palm Creek Golf and RV Resort would accommodate the re-alignment of McMurray Road in an east-west orientation, splitting the golf course into two parcels, or front and back nine holes. In the event of said alignment, the road shall be constructed in such a manner that it would permit continued use of both parcels. The alignment would run from the Henness Road Entrance on the west, between the currently proposed front and back nine holes of the golf course, and exit to the east on the road south of the proposed clubhouse/recreation campus (see illustration).

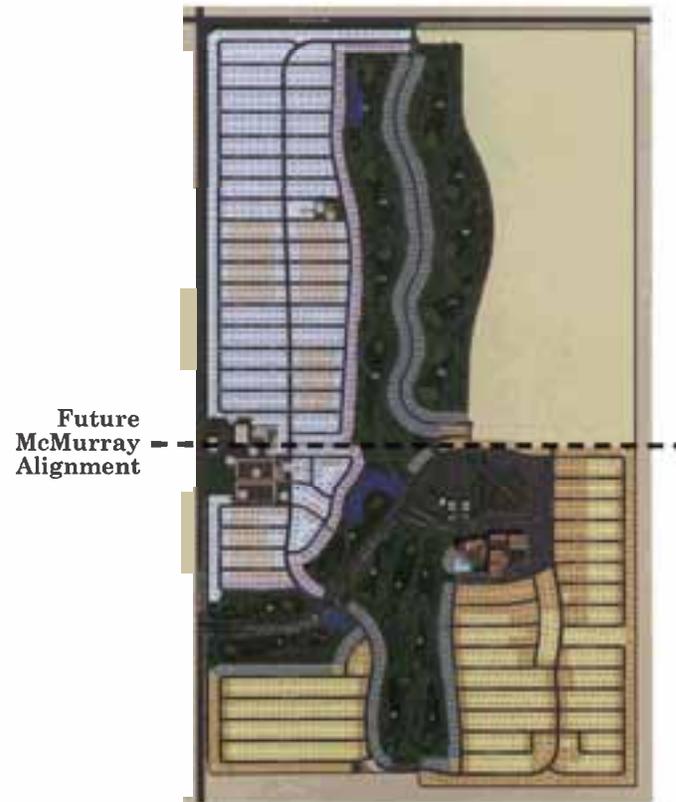


Figure 10: Potential McMurray Alignment

OPEN SPACE

Active Open Space	Golf Course Recreational Areas*	= 42 ac. = 9 ac.	=15% =3%
Passive Open Space	15' Perimeter Buffer Pedestrian Corridor	= 5 ac. = 5 ac.	=2% =2%
Internal Loop Road	R.O.W. Landscape	= 7 ac.	=3%
Totals		= 68 ac.	=25%

*Recreational Areas include the following amenities: 7 tennis courts and 4 pickle ball courts, 1 softball field, 1 swimming pool and spa, lawn bowling (bocci ball), horseshoe and shuffleboard courts.

**OPERATION,
MAINTENANCE
AND CONTROL
OF COMMON
FACILITIES**

All facilities, phases, lots, or portions of real estate will remain the property of Vanderbilt Farms, LLC., maintenance and control of all common facilities will also be handled by Palm Creek Golf and RV Resort.

***BUILDING HEIGHTS
AND SET BACKS***

All permanent buildings, with the exception of the woodshop building and the maintenance shed (which has a 10 foot setback) will be more than 20 feet from the perimeter of the property. The building heights of permanent structures shall not exceed 30 feet. Recreational Vehicles and Village Homes located along the perimeter of the property will also be set back a minimum of 20 feet.

LANDSCAPING

Landscaping will act to unify and reinforce the open space and circulation components in the creation of the community structure. A 15' wide landscaping buffer is included along the entire perimeter of the project, between the property line and the RV spaces and village homes. The buffer zone shall be landscaped with a xeriscape theme, with emphasis on indigenous plant materials and water conservation (See Appendix for the plant palette). In addition to the perimeter landscape buffer, one tree will be planted on each RV space, and all common areas and rights-of-way will be landscaped and maintained by use Operating Entity.



***OFF SITE
IMPROVEMENTS***

The development of infrastructure and right of way as listed in the Transportation section will comprise the site improvements. Landscaping on the outside of the perimeter wall will further enhance the visual attractiveness. The right of way on the entrance drive from Florence Boulevard will be fully landscaped, including a 10 foot wide landscaped median. Henness Road and Cottonwood Lane medians will be landscaped by owner in accordance with the plan approved by the city.

APPENDIX A

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE WEST HALF OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 6 EAST, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING AT A 3 INCH PCDOT DISC IN HANDHOLE FOUND FOR THE SOUTHWEST CORNER OF SAID SECTION FROM WHICH A 3 INCH PCDOT DISC IN HANDHOLE FOUND FOR THE SOUTH 1/4 CORNER OF SECTION 23 BEARS NORTH 89° 50'56" EAST, A DISTANCE OF 2646.13 FEET;

THENCE ALONG THE WEST SECTION LINE OF SAID SECTION, NORTH 00° 05'00" WEST, A DISTANCE OF 747.54, FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SECTION LINE, NORTH 00° 05'00" WEST, A DISTANCE OF 1701.67 FEET;

THENCE DEPARTING SAID SECTION LINE NORTH 89° 53'48" EAST, A DISTANCE OF 208.71 FEET;

THENCE NORTH 00° 05'00" WEST, A DISTANCE OF 208.71 FEET;

THENCE SOUTH 89° 53'48" WEST, A DISTANCE OF 208.71 FEET TO A POINT ON THE WEST SECTION LINE OF SAID SECTION;

THENCE ALONG SAID SECTION LINE, NORTH 00° 05'00" WEST, A DISTANCE OF 2657.92 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF COTTONWOOD ROAD;

THENCE ALONG SAID RIGHT OF WAY LINE NORTH 89° 56'43" EAST, A DISTANCE OF 2659.95 FEET TO A POINT ON THE NORTH-SOUTH SECTION LINE OF SAID SECTION;

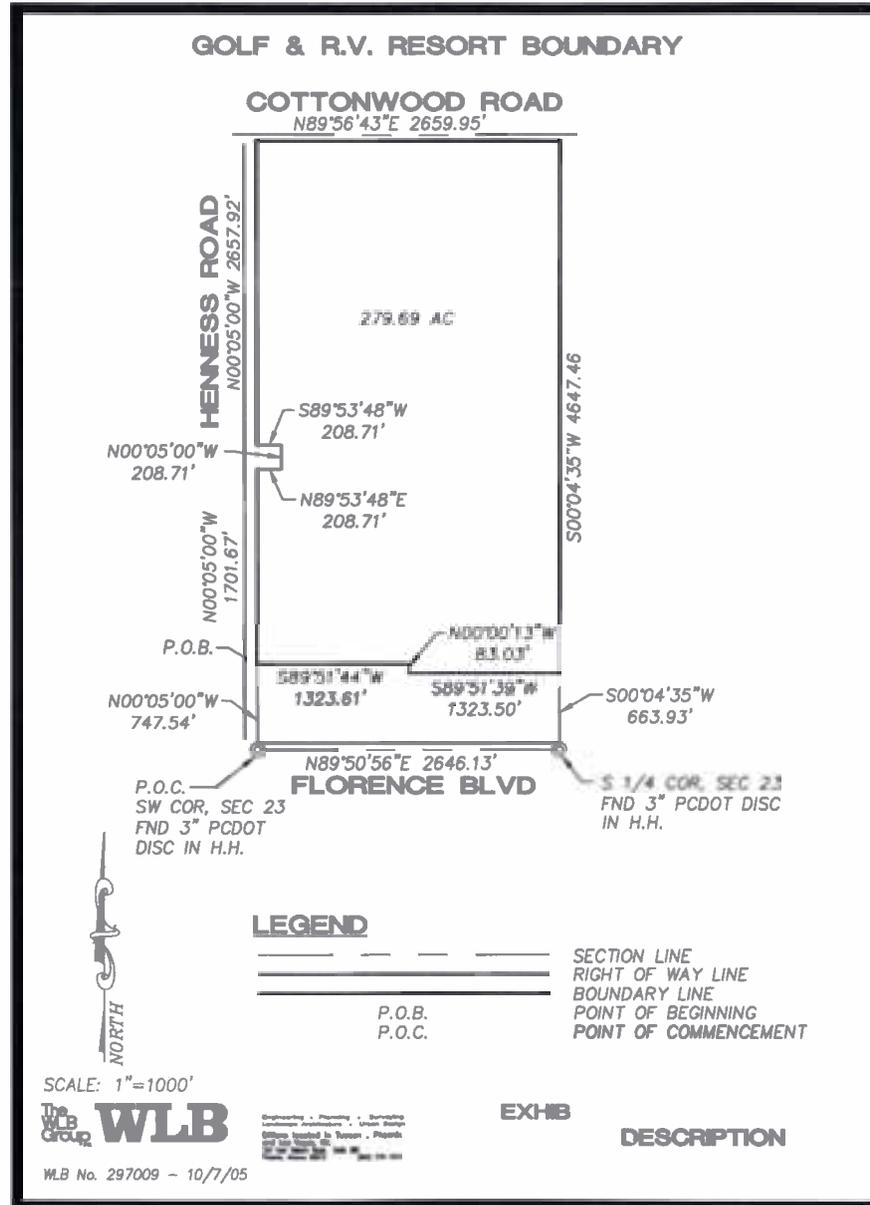
THENCE ALONG SAID SECTION LINE, SOUTH 00° 04'35" WEST, A DISTANCE OF 4647.46 FEET;

THENCE DEPARTING SAID SECTION LINE, SOUTH 89° 51'39" WEST, A DISTANCE OF 1323.50 FEET;

THENCE NORTH 00° 00'13" WEST, A DISTANCE OF 83.03 FEET;

THENCE SOUTH 89° 51'44" WEST, A DISTANCE OF 1323.61 FEET TO THE POINT OF BEGINNING AND CONTAINING 279.69 ACRES OF LAND, MORE OR LESS.

PARCEL MAP



***SURROUNDING
LAND USE:***

North of Site: The north border of the site is adjacent to Cottonwood Lane, a two lane, paved road with median. Agricultural land is located on the north side of the road.

South of Site: The south border of the site is adjacent to a planned shopping center called Palm Creek Common.

East of Site: The east border of the site is adjacent to agricultural land.

West of Site: The west border of the site is adjacent to agricultural land owned by the State of Arizona, residential and professional office.

APPENDIX B

PLANT PALETTE

Accent Trees at Entries/Intersections

TREES

Palm species (includes all)
Olea europæana
Acacia smallii
Nerium oleander std. tree
Phoenix spp.
Pinus eldarica
Washingtonia robusta
Quercus virginiana
Pyrus kawakamii

Park Areas:

Quercus virginiana
Prosopis relutina
Dalbergia sissoo
Pinus eldarica
Washingtonia robusta
Olea europæana
Fraxinus spp. Var. Fan Tex
Nerium oleander std. tree
Pistachia chinensis 'Red Push'
Ulmus parvifolia

APPENDIX B

TREES

Streetscapes & General Trees:

Acacia smallii
Prosopis velutina
Cercidium spp. 'Praecox' 'Desert Museum'
Olyneyatesota
Pithecellobium flexicavle
Quercus virginiana
Pinus eldarica
Olea europeana
Pistachia chinensis 'Red Push'
Washingtonia robusta

SHRUBS

Caesalpinia spp.
Calliandra spp.
Cassia nemophylla
Dalea All spp.
Dodonaea viscosa 'Angustifolia' green
Lantana spp.
Vauquelinia arizonica
Leucophyllum varie. Green Cloud
Nerium spp.
Simmondsia chinensis
Ruellia spp.
Rosemarinus spp.
Myrtlus communis 'compacta'
Pittosporum tobira 'Variegata'

APPENDIX B

GROUND COVERS

Dalea spp.
Rosemarinus prostrate
Lantana spp.
Wedalia ?
Carissa 'green carpet'

**YUCCA/CACTI/
SUCCULENTS**

Carnegica gigantean
Agaves pp.
Aloe spp.
Yucca spp.
Fouquieria splendens
Barrel cactus
Hesperaloe parvifolia
Dasyliirion wheeleri