

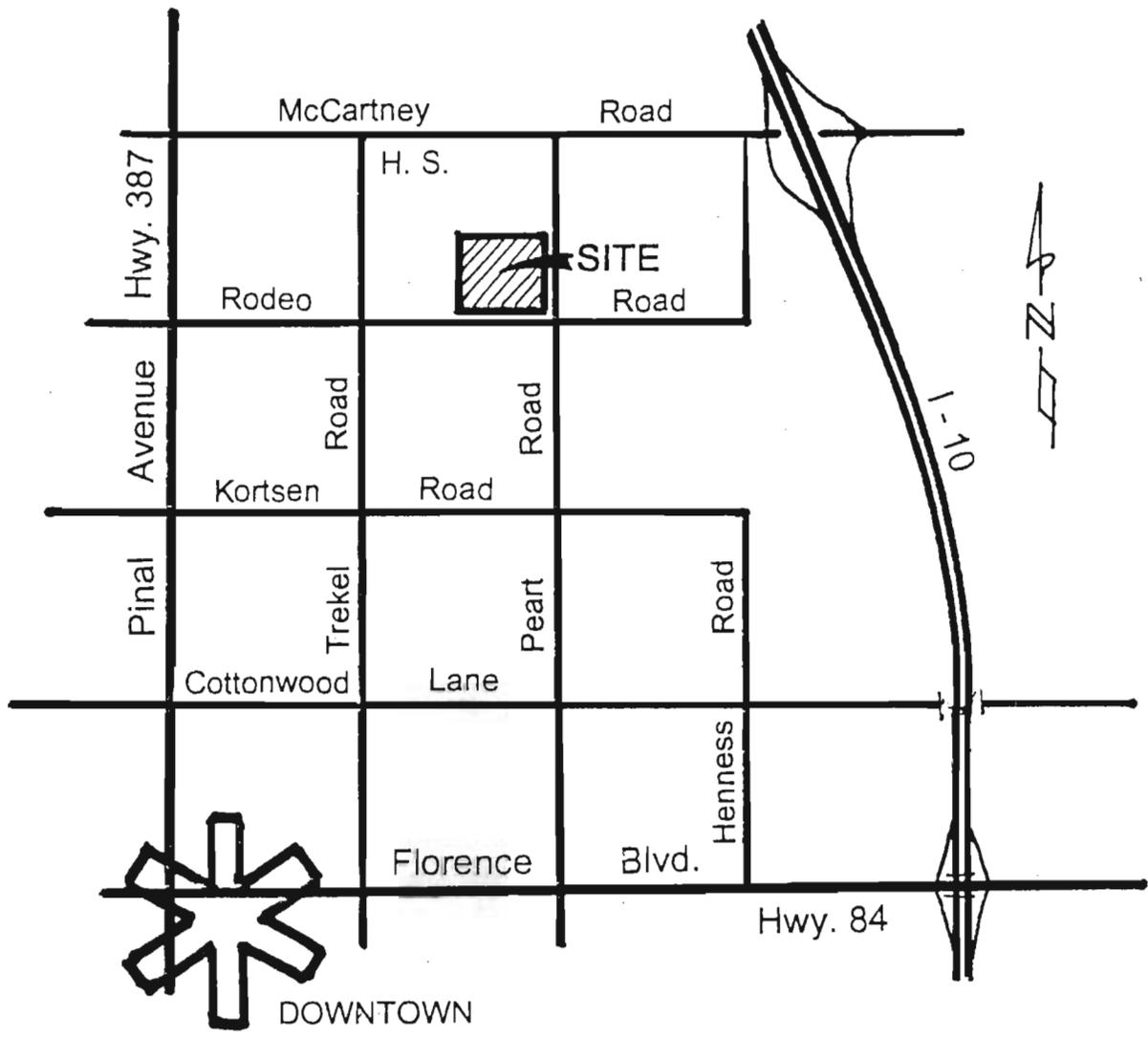
DEVELOPMENT GUIDE FOR  
MOUNTAIN VIEW RANCH  
A PLANNED AREA DEVELOPMENT  
CASA GRANDE, ARIZONA

Prepared by:

Rodeo Road Limited Partnership  
Stephen Homes  
1142 N. Melody Circle  
Chandler, AZ 85225  
Tel: (602) 917-1714

and

J. W. Stansel & Associates  
7860 Via Bonita  
Scottsdale, AZ 85258  
Tel: (602)-991-2986



LOCATION MAP





WHEN RECORDED, RETURN TO:

City of Casa Grande  
 300 East 4th Street  
 Casa Grande, Arizona 85230  
 ATTN: Mr. Rick Miller, Planning

MOUNTAIN VIEW RANCH  
 DEVELOPMENT GUIDE

I Project Description and Density:

Mountain View Ranch (“MVR”) is a 160-acre Planned Area Development (“PAD”) located at the northwest corner of Rodeo Road and Peart Road in the city of Casa Grande (the “City”), Arizona. The development is situated in the Southeast quarter of Section 4, Township 6 South, Range 6 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona. The property is currently unsubdivided and undeveloped. There is approximately a 2.5-acre parcel located along Colorado Street which is not part of this PAD. MVR is bounded by streets to the west, south and east and the north boundary has no improved road (El Paso Gas has a 150-foot wide right of way).

MVR will include a mixed use of commercial and low, medium and high density residential projects. It will also include a community Park (the “Park”), open space and retention areas. The proposed densities are listed below.

<u>Description</u>	<u>Designation</u>	<u>Acres</u>	<u>DU/Gross</u>	
			<u>Units</u>	<u>Acre**</u>
Park/Retention	Parcel H	8.3		
Open Space/Retention:				
Part of Parcel E		2.1		
Part of Parcel F		1.3		
Part of Parcel G		1.2		
Single-Family (Low)	Parcel B	3.9	15	3.5
Single-Family (Low)	Parcel C	3.1	6	1.8
Single-Family (Low)	Parcel D	43.6	160	3.4
Single-Family (Medium)	Parcel A	41.9	201	4.4
Single Family (Medium)	Parcel E	26.7*	139	4.8
Attached/Multi-Family	Parcel F	14.0*	<u>119</u>	<u>7.8</u>
Commercial	Parcel G	<u>13.7*</u>		
Total PAD		<u>159.8</u>	<u>640</u>	<u>4.0</u>

- \* Acreage amount for this Parcel has been reduced by the number of acres listed under Open Space/Retention above (i.e. total acreage for this Parcel should be increased by the amount shown under Open Space); the location of the open space will be determined when a site plan is prepared for that Parcel.
- \*\* Gross acres include the open space acreage.

The Park/open space/retention areas total 12.9 acres, which represents 8% of the property and should be more than adequate to handle the storm water retention requirements based on the drainage and soils studies performed to date. It should be noted that Parcels A, B, C and D will share the retention area designated as Parcel H.

II Development Description:

MVR will use the PAD zoning to provide for an overall development plan which delineates Park and open space, densities and types of development for proposed Parcels, traffic circulation and stormwater retention for the entire site. A preliminary PAD plan is attached.

Parcel G will be the commercial - retail/office area and is located at the southeast corner of the project at the intersection of two main arterial roads (Rodeo and Peart).

Parcel F, adjacent and north of the commercial area, will consist of high density residential product such as attached homes or apartments.

Further north along Peart Road, Parcel E will consist of medium density single-family detached homes with lot sizes yet to be determined. Refer to table below for setbacks.

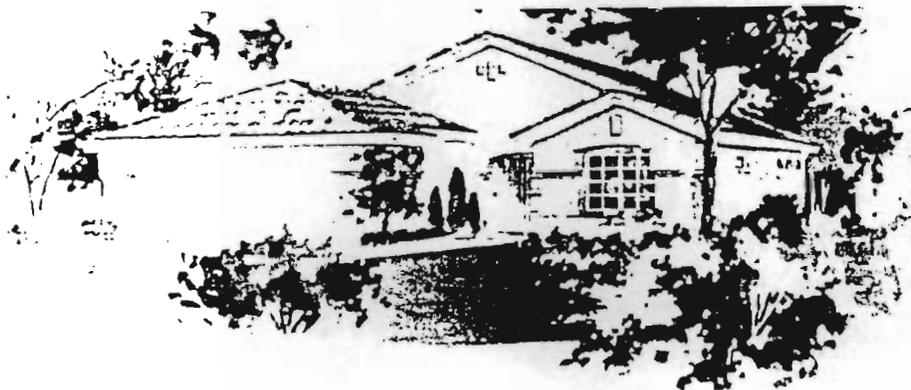
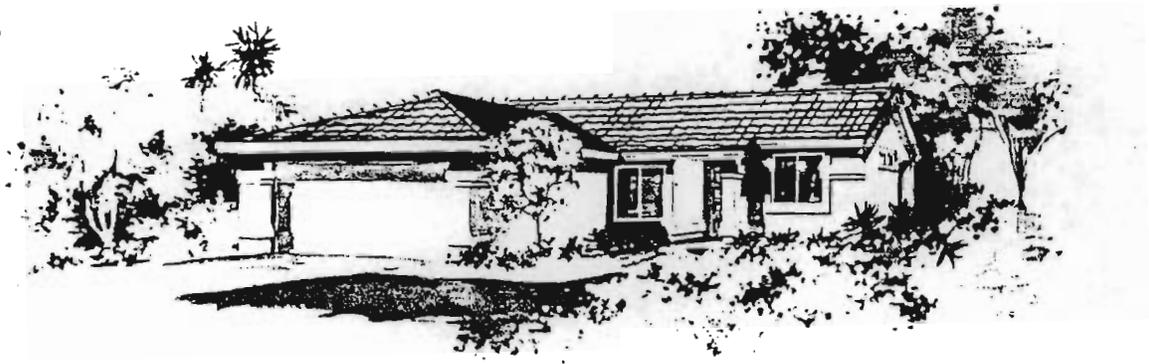
To the west along Rodeo Road, Parcel A will consist of medium density single-family detached homes. Standard lot size will be 60 feet wide and 105 feet deep. Setbacks are listed in the table below. This will be the first subdivision (named "Santa Rosa") and a preliminary plan is attached. Santa Rosa will be developed by Stephen Homes, whose owner, Gerald Kumpe, was a principal in Countrywalk Homes, a local homebuilder. While at Countrywalk, Mr. Kumpe was closely involved with the planning and home design of the Wildflower subdivision. The architectural style of Santa Rosa will be contemporary southwestern and examples of this style are included for reference.

To the north of Parcel A, Parcels B, C and D will represent the low density residential area. These will be single-family detached homes with minimum lot sizes of 70 feet wide by 100+ feet deep. Setbacks (foundation wall to property line) are listed in the table below.

Setback parameters for the single-family residential areas are as follows:

Density Type	Parcel No.	Front	Back	Side	Corner
(in feet)					
<del>Low</del>	<del>B, C &amp; D</del>	<del>20</del>	<del>20</del>	<del>5/10</del>	<del>20</del>
Medium	A	20	20	5/7	15
Medium	E	20	20	5/5	15

*see amendment*



ARCHITECTURAL STYLE

Parcel H, located on the northeast corner of Rodeo and Colorado, will represent the Park, including the green belts leading to Avenida Ellena and Colorado Street. The Park will be seeded with grass to the street sidewalk edge and trees/shrubs will be planted along the street frontage behind the sidewalks pursuant to City standards. The Park is intended to be placed under the ownership and management of the City's Parks and Recreation department as explained in the Phasing section. The Park will be large enough to accommodate two soccer fields and other uses; security lights will be installed (refer to Phasing section), but elevated high intensity night lights will not be allowed. The Park will be developed in phases along with the Santa Rosa subdivision (Parcel A) as described in the Phasing section.

### III Vehicle and Pedestrian Circulation:

MVR is designed to provide effective circulation of pedestrians and vehicles. The PAD includes the following design and development elements:

- \* A semi-central modified collector street running north and south, Mountain View Drive, which provides local access to the eastern and western portions of the development. The street will have decomposed granite on the west side (10-foot strip) and landscaping on the east side (14-foot strip); the landscaping will conform with City code requirements. The pavement and curb is currently planned to be 48 feet, but the final width will be determined by the traffic study noted under Phase 5 of the Project Phasing section.
- \* A semi-central modified collector street, running east and west, Avenida Ellena, between the higher density areas (Parcels E and F). This street will be the same as Mountain View Drive, but will become a residential local street on the west side of Mountain View Drive to Colorado Street.
- \* Widening of Peart and Rodeo arterial roads with frontage landscape buffer. It should be noted that the landscape buffer along the Rodeo arterial in front of Santa Rosa, which is 13 feet inside the right of way, will be widened to 16 feet and the City will be given an easement for the additional 3-foot strip of landscaped area. The landscaping will meet City code requirements and pursuant to City procedures, this buffer will be maintained by the City upon satisfactory completion.
- \* Widening of Colorado Street to collector status, including landscaped buffer along Parcels C and D.
- \* Residential local streets will be built in accordance with the City's standards.

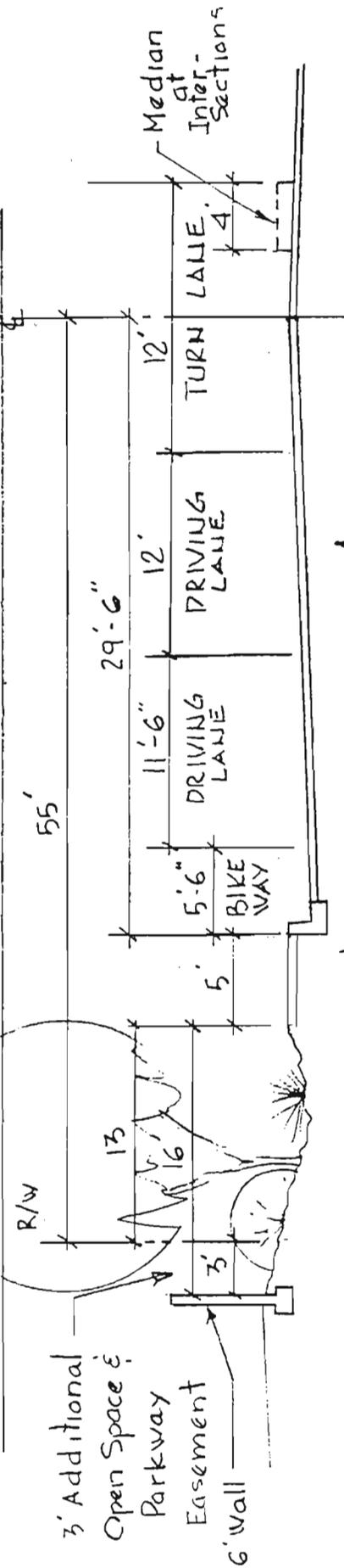
Street cross-sections are included herein for reference.

### IV Landscape Concepts:

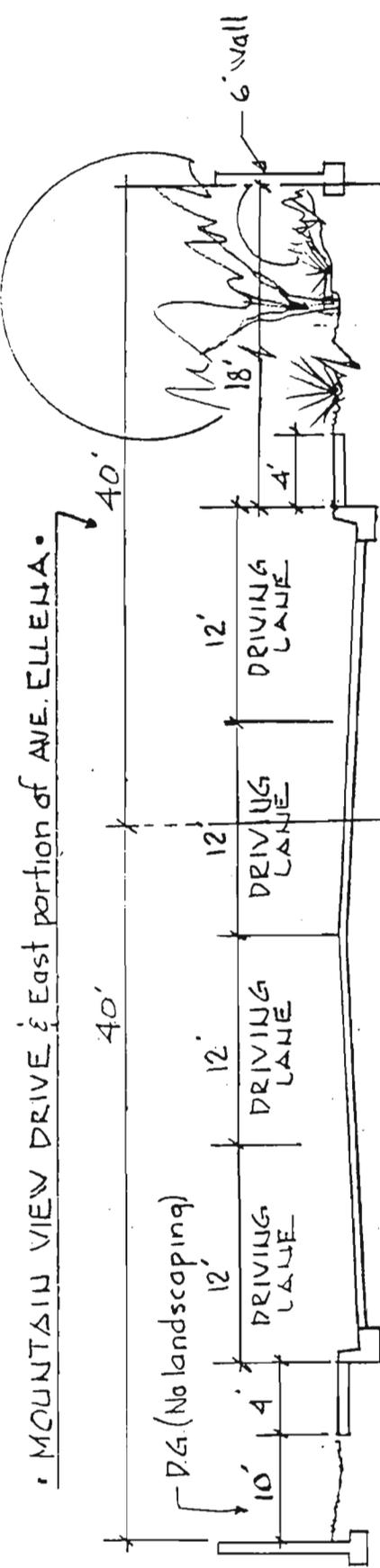
The landscape of MVR will be designed to meet the City's current requirements for street landscaping and will include the following:

- \* Low water use desert plant materials.
- \* Perimeter walls (up to 6 feet high) with some wrought iron in back yards overlooking the green belts. Perimeter walls will be masonry block and either one row of decorative block will be inserted near the top of the wall or the block will be stuccoed and painted.

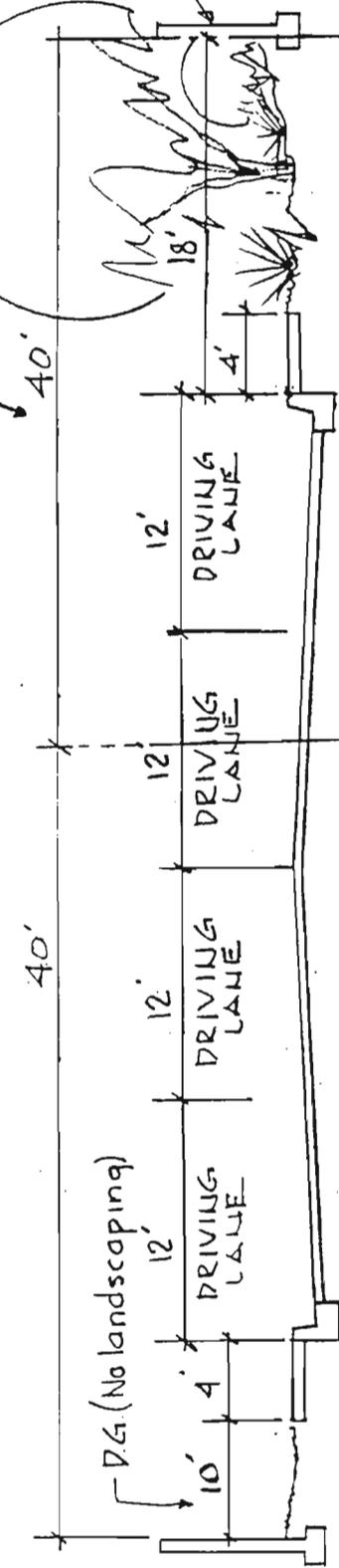
# PROPOSED STREET CROSS SECTIONS



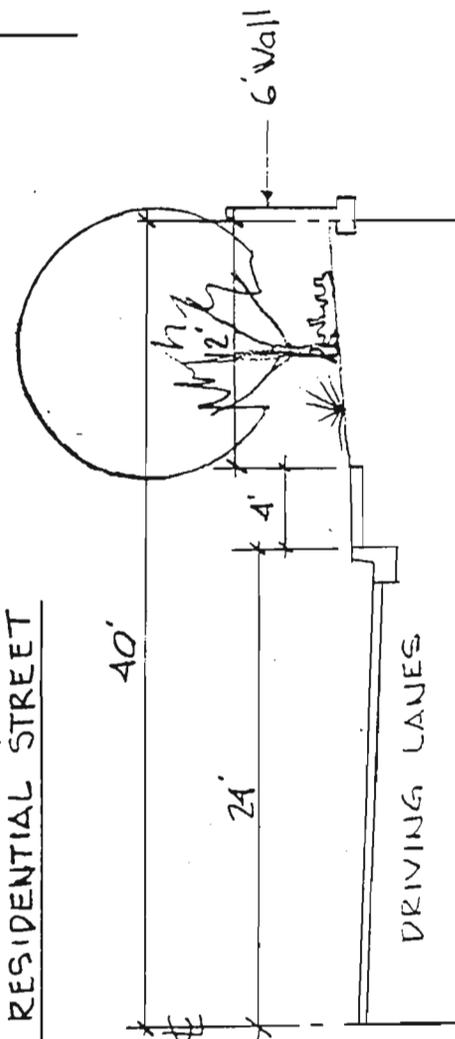
## RODEO & PEART ROADS



## MOUNTAIN VIEW DRIVE & East portion of AVE. ELLENA



## MODIFIED RESIDENTIAL STREET



## COLORADO STREET

NOTE:  
All residential local streets to comply w/ City Standard 44' R/W

- \* Perimeter treatments along Rodeo Road, Peart Road and Colorado Street (in front of Parcels C and D).
- \* Landscape buffer (14-foot wide) along Mountain View Drive and the eastern portion of Avenida Ellena as noted above.
- \* Community Park.
- \* Landscaping in private open space/retention areas.
- \* Plant areas in parking lot of the commercial section.
- \* All transformers, backflow preventers and other utility-related, ground-mounted equipment are to be painted to complement the development and are to be screened with landscape materials when located in designated landscaped common areas along roads, as allowed by utility companies. Any CC & R's will contain a provision requiring homeowners to screen utility boxes with landscape materials, as allowed by utility companies.

Landscape plans will be submitted to the City prior to start of work. Streetscapes are indicated as part of the aforementioned cross-sections for reference.

#### V Utilities and Infrastructure:

Water, sewer, telephone and electric will be provided to MVR by existing services and a decision has not yet been made with respect to natural gas. The existing sewer main is located at Rodeo Road and Pueblo Street and it will be extended commensurate with development activity along Rodeo Road (preliminary analysis indicates that the depth and size of the main should meet MVR's requirements). Water is available near Rodeo Road and Colorado Street but considering the size of the lines in Rancho Grande and the long term interest of MVR, developer plans to extend a main water line from Trekell Road. Electric power, telephone and gas are available nearby.

Construction of on-site sanitary sewer will be by the developer to applicable City standards. Upon completion, this facility will remain public and will be operated by the appropriate agency. The other utilities will be extended as per the standard practice of the respective utility company. Utility extensions will be commensurate with the development phases. The water delivery system will meet the requirements of the City's fire department.

Roads will be asphalt pavement with concrete curbs and sidewalks. Construction will conform to City standards and upon satisfactory completion, operation and maintenance of the streets will be the City's responsibility. The widening of Rodeo Road in front of Santa Rosa and the Park and the widening of Colorado Street in front of the Park will be done pursuant to the Phasing section. The construction and widening of other streets will be done commensurate with development.

All extended utility lines, except for overhead power lines along Peart and Rodeo Roads, and any utility lines installed in relation to this project, are to be installed underground.

#### VI Stormwater Management:

The open space and Park areas will be designed to retain the onsite runoff from a 100-year two-hour storm event and provision will be made to carry the offsite runoff through the development. The open space, Park and streets will be an integral part of MVR's stormwater management plan. Onsite water retention requirements will be met with several basins. The drainage plan will meet all applicable City requirements.

## VII Signage:

Temporary free standing signs, generally 4' x 8' to 8' x 12' in size on 6' to 8' high posts, will be used during development and will be placed near the entries of the subdivisions and MVR. A limited number of free standing signs may be used along main arterials to direct traffic as allowed by the City. All temporary signage will meet the City's sign code ordinance. Permanent lettering will ultimately be placed on entry monuments to identify the various subdivisions and the master planned community; examples are included herein for reference. The Santa Rosa monument will be completed during Phase I and the Mountain View Ranch monument will be completed at the time a second subdivision is started.

## VIII Project Phasing:

It is anticipated that the complete build-out of MVR will take ten to fifteen years depending on the area's rate of growth. The initial development of MVR will commence at Parcel A and the related infrastructure, Park and open space will be developed as set forth below (a phasing map is included for reference). Development of the remaining Parcels is not known at this time and the related infrastructure and open space will be completed commensurate with the completion of those Parcels.

Developer will complete the Park, including street frontage, during the construction of Parcel A regardless of whether construction is begun on another parcel in MVR. The components of the phasing of Parcel A and Parcel H (the Park) are listed below; however, because development is market driven, timetables are not included.

### Phase I:

- \* Develop the first 20+/- lots on the west side of Santa Rosa Drive to Avenida Seville and along the western half of Avenida Seville, including local streets. A temporary turn around radius or other satisfactory exit will be provided at the end of this phase and subsequent phases. As noted earlier, the water delivery system will meet the requirements of the City's fire department. Santa Rosa Drive to have curb and gutter (both sides) and sidewalk on west side and east side (along Phase I frontage by Avenida Seville). The local streets in this phase and subsequent phases will be built in accordance with City standards.
- \* Extend main water and sewer lines along the south side of Rodeo Road to the entry of Santa Rosa (the trunk line sizes will be sufficient to meet the needs of Mountain View Ranch).
- \* Complete curb, gutter, sidewalk, landscaping and perimeter wall at the entry to Santa Rosa at Rodeo Road.
- \* Grade and pave the north half of the intersection at Rodeo Road and Santa Rosa Drive.

- \* Install acceleration and/or deceleration lanes on Rodeo Road at the entry to Santa Rosa pursuant to recommendation made by a licensed traffic engineer; lanes to be designed and calculated pursuant to AASHTO standards.
- \* Complete landscaping and monument at entry to Santa Rosa.
- \* Begin excavation of the Park/retention area; excavation during this phase and subsequent phases will be sufficient to handle the additional run-off caused by the Phase(s).
- \* Build model complex next to entry.

Phase 2:

- \* Develop next 20+/- lots on the east half of Avenida Seville.
- \* Grade and pave the west side of Mountain View Drive as a two-lane road (24 feet wide with maricopa edge on east side) from the north end of Phase 2 to Rodeo Road and install curb, gutter, sidewalk, perimeter wall and decomposed granite (west side only) adjacent Phase 2. Work to be completed prior to occupancy of any homes in Phase II. The perimeter wall will start from along the side wall of the home on each corner lot at a point located five feet in front of the rear wall of the home. Construction of the west side of Mountain View Drive will be done on this basis in applicable subsequent phases of Parcel A. Curb and gutter will also be installed from Phase 2 to Rodeo Road on the west side of Mountain View Drive.
- \* Grade and pave the north half intersection of Rodeo Road and Mountain View Drive (Mountain View Drive to be done as two-lane road as noted above).
- \* Install acceleration and/or deceleration lanes on Rodeo Road at the entry to Mountain View Drive pursuant to recommendation made by a licensed traffic engineer; lanes to be designed and calculated pursuant to AASHTO standards.
- \* Continue excavation of the Park.

Phase 3:

- \* Develop next 20+/- lots along the west side of Avenida Barcelona north of Phase 1.
- \* Continue excavation of the Park.

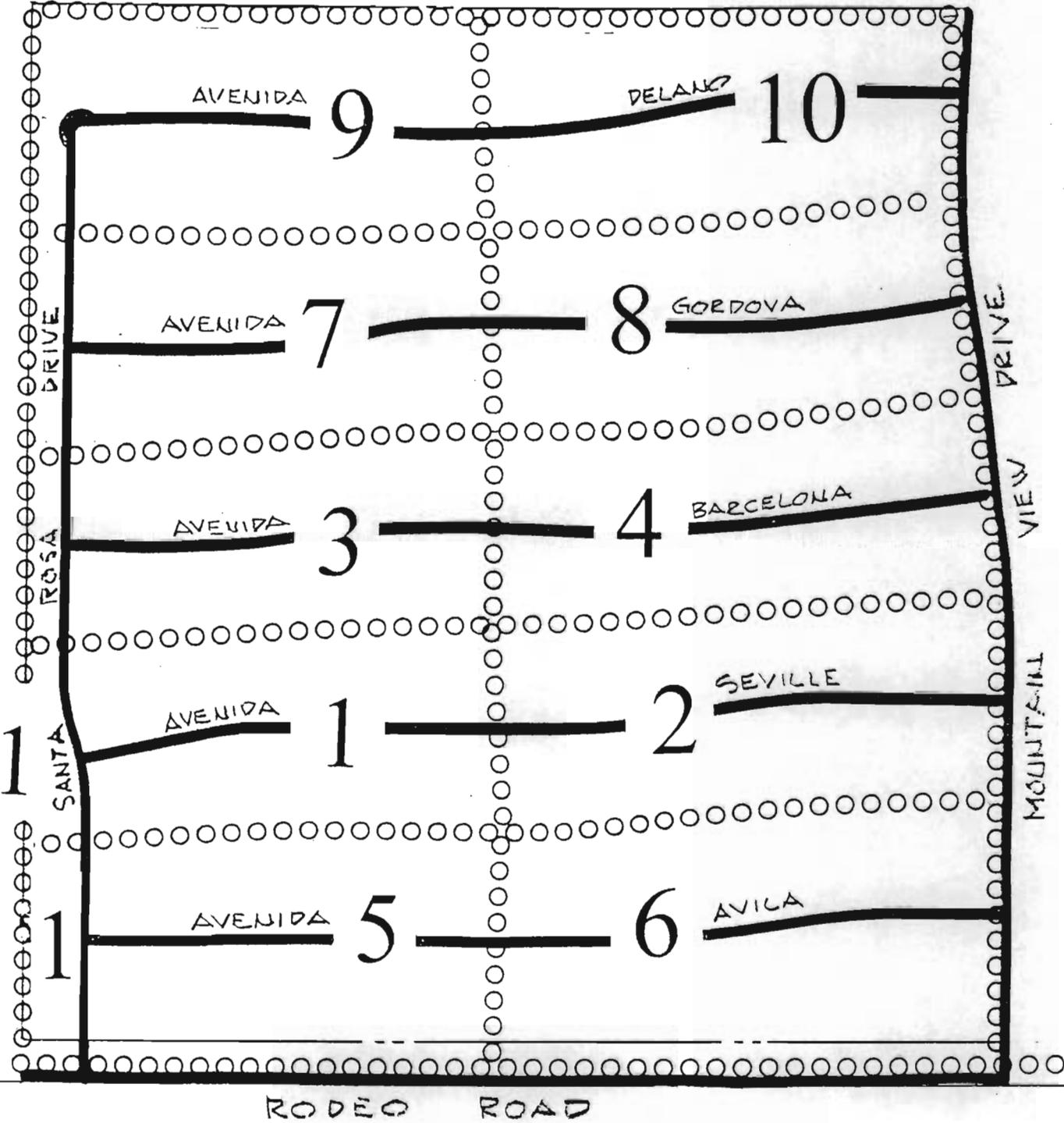
Phase 4:

- \* Develop next 20+/- lots along Avenida Barcelona north of Phase 2.
- \* Construct Mountain View Drive in front of Phase 4.
- \* Continue excavation of the Park.

Phase 5:

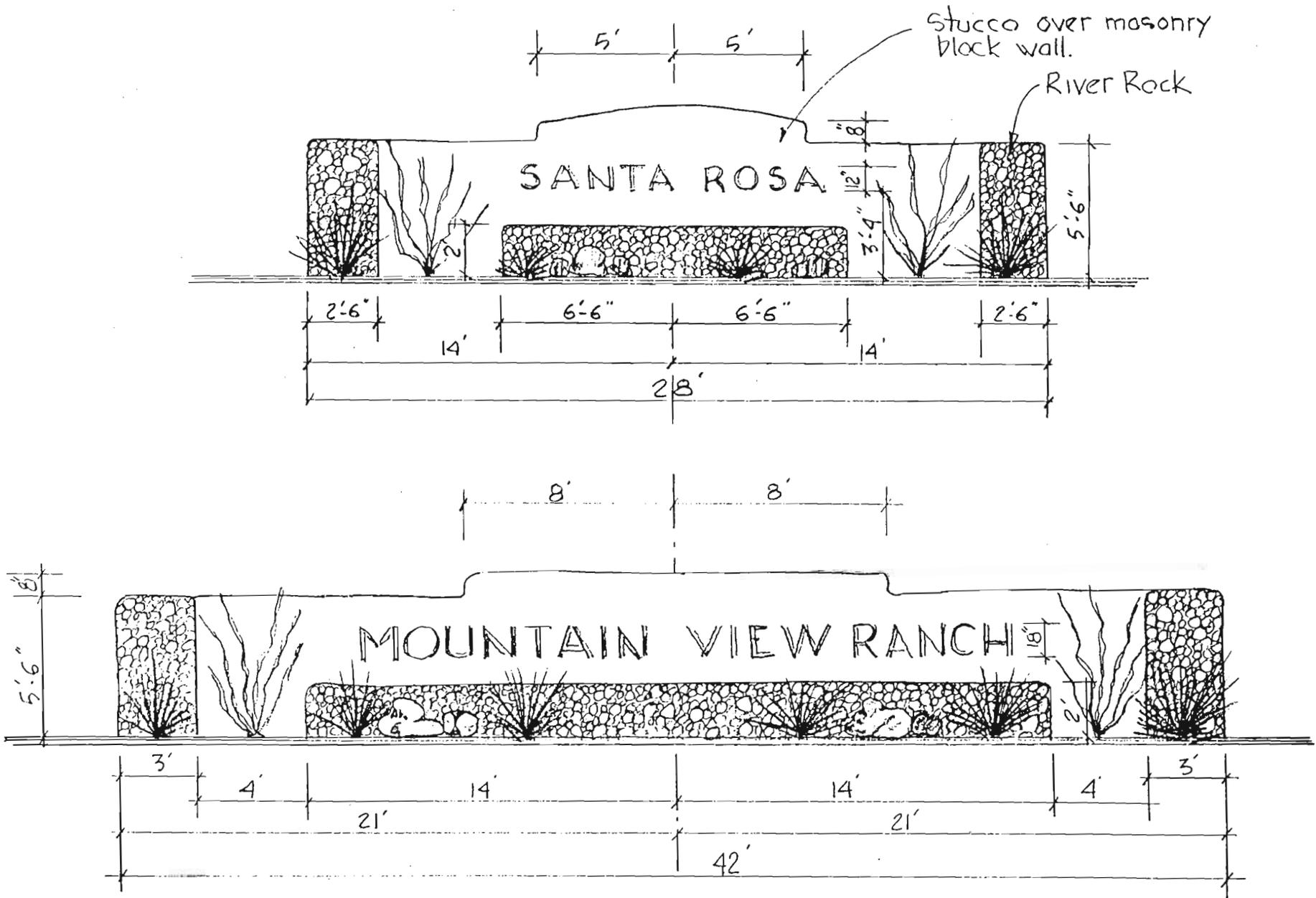
- \* Develop next 20+/- lots along west half of Avenida Avila adjacent Rodeo Road.
- \* Complete paving and curb, gutter, sidewalk, for the north side of Rodeo Road from Colorado Street to the east end of Phase 5. Perimeter wall and landscaping will be installed in front of Phase 5.
- \* Extend main water and sewer lines along the south side of Rodeo Road to the end of Phase 5.

# IMPROVEMENT PHASING



———— Street Lines

○○○○○ Phase Lines



TYPICAL ENTRY MONUMENTS

- \* Complete excavation of main Park area.
- \* Complete traffic impact study for the PAD.
- \* Continue excavation of the greenbelt areas extending from Park.
- \* Fine grade, install irrigation and hydroseed (common Bermuda) main Park area prior to issuance of any construction permits in Phase 5 (City to take over maintenance upon satisfactory completion).
- \* City to receive an allowance of \$14,000.00 for Park security lighting and other amenities. City to be responsible for design and installation of security lighting prior to hydroseeding.
- \* Developer to provide the City with financial assurance, in a form acceptable to the City's attorney, for the costs to complete the Park. Upon developer's proper completion of the main body of the park as set forth above and the posting of the guarantee, the entire Park (Parcel H as defined in the Guide) will be dedicated to the City and the City will take over maintenance of the Park. City and developer agree that the actual costs incurred in developing the main body of the Park will be used as a basis for preparing a budget for completion of the Park, which in turn will determine the amount of the developer's financial guarantee. The guarantee will be reduced over time as improvements are completed as set forth below.

#### Phase 6:

- \* Develop next 20+/- lots along east half of Avenida Avila adjacent Rodeo Road.
- \* Complete paving and curb, gutter, sidewalk, perimeter wall and landscaping in front of Phase 6 adjacent Rodeo Road.
- \* Complete perimeter wall and sidewalk and install decomposed granite along west side of Mountain View Drive adjacent Phase 6 (paving, curb and gutter completed earlier under Phase 2).
- \* Complete excavation of the green belt areas leading to main body of Park.

#### Phase 7:

- \* Develop next 20+/- lots along Avenida Cordova north of Phase 3.
- \* Fine grade, install irrigation and hydroseed (common Bermuda) green belt areas leading to Park prior to issuance of any construction permits in Phase 7 (City to take over maintenance upon satisfactory completion).
- \* City to receive an additional \$6,000.00 allowance for Park security lighting. City to be responsible for design and installation of security lighting prior to hydroseeding.

#### Phase 8:

- \* Develop next 20+/- lots along Avenida Cordova north of Phase 4.
- \* Construct west side of Mountain View Drive adjacent Phase 8.
- \* Widen and pave east side of Colorado Street (24 feet) and install curb, gutter and sidewalk adjacent the Park.

Phase 9:

- \* Develop next 20+/- lots along Avenida Delano north of Phase 7.
- \* Install irrigation system and road frontage bushes and trees in the Park along Rodeo and Colorado pursuant to City standards (One tree per 30 feet and three bushes per 30 feet). City to take over maintenance of the entire Park area (Parcel H) upon satisfactory completion.

Phase 10:

- \* Develop last 20+/- lots along Avenida Delano north of Phase 8.
- \* Construct west side of Mountain View Drive adjacent Phase 10.

IX Other Conditions:

Grading, retention and drainage plans will be submitted on a phase by phase basis for Santa Rosa and other Parcels as required by the City's engineering department.

Development of any commercial or multi-family residential projects of MVR is to undergo Major Site Plan review, and shall include any other requirements as may come under the Major Site Plan review process; provided, however; that the density and retention amounts will remain as stated in the Guide.

Development of the site is to comply with the above approved Development Guidelines for MVR.

Any and all development of the MVR PAD shall conform to all applicable City requirements for grading, drainage, retention, outdoor lighting, and the installation of street lights and fire hydrants (where deemed necessary); provided, however, that developer shall not be required to solve any of the flooding/drainage problems of the adjacent properties without appropriate compensation for any costs incurred.

The applicable conditions of the Guide are to be met prior to the occupancy of any structures in the project.

The undersigned hereby agree to the terms of the above written Development Guide for Mountain View Ranch, which is in compliance with the Guide approved by the Planning and Zoning Commission and City Council of Casa Grande on January 8 and February 2, 1998, respectively. IN WITNESS WHEREOF, the undersigned have executed this Agreement effective this \_\_\_\_\_ day of \_\_\_\_\_, 1998.

Rodeo Road Limited Partnership, an Arizona  
limited partnership  
By: Foundation Syndication, Inc. its managing  
general partner

By: \_\_\_\_\_  
Jalma Hunsinger

Date: \_\_\_\_\_

Stephen Homes, Inc., an Arizona corporation

By: \_\_\_\_\_  
Gerald S. Kumpe, President

Date: \_\_\_\_\_

City of Casa Grande, a municipal corporation

By: \_\_\_\_\_  
Richard C. Miller, Planning Director

Date: \_\_\_\_\_

By: \_\_\_\_\_  
Robert Mitchell, Mayor

Date: \_\_\_\_\_

By: \_\_\_\_\_  
Richard P. O'Neil, Planning & Zoning

Date: \_\_\_\_\_

Attested to by: \_\_\_\_\_  
Gloria Haro, City Clerk

Date: \_\_\_\_\_

ORDINANCE NO. 1178.97

AN ORDINANCE OF THE COUNCIL OF THE CITY OF CASA GRANDE, ARIZONA, AMENDING ZONING ORDINANCE #1178, AS AMENDED, BY CHANGING THE ZONING FROM UR (URBAN RANCH) TO PLANNED AREA DEVELOPMENT (P.A.D) ON PROPERTY LOCATED AT THE NORTHWEST CORNER OF RODEO AND PEART ROAD, CASA GRANDE, ARIZONA.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CASA GRANDE, ARIZONA, as follows:

**Section 1. Authorization for Rezoning**

Ordinance No. 1178 is amended by changing the zoning from UR (Urban Ranch) to Planned Area Development (P.A.D.) on property located at the Northwest corner of Rodeo and Peart Road, Casa Grande, Arizona. The legal description is attached as Exhibit A.

This Zoning Change is subject to the following conditions and recommendations made by the Planning and Zoning Commission:

1. Prior to issuance of any permits for any phase or portion of the Mountain View Ranch development, a revised development guide is to be submitted to and approved by Staff, and shall include the following information:
  1. Information and graphics regarding architectural and landscaping themes,
  2. Information and graphics regarding improvements to Rodeo Road, Mountain View Drive, Peart Road, and interior streets,
  3. Information and graphics regarding the proposed public park,
  4. Signage (detached) details and information,
  5. Screening wall details,
  6. Information concerning the establishment of an architectural review committee and/or a homeowner's association (if applicable)
2. Developer/owner must hydro-seed and irrigate the Main body of the park parcel prior to the commencement of Phase 5 of the project and prior to the City accepting the park parcel for dedication and continued maintenance.
3. Developer/owner shall complete park improvements or provide financial assurance acceptable to the City prior to the commencement of Phase 9.
4. Development of any commercial or multi-family residential projects of Mountain View Ranch is to undergo Major Site Plan Review, and shall include any other requirements as may be required under the Major Site Plan Review process
5. Development of the site is to comply with the approved Development Guidelines for Mountain View Ranch.
6. All transformers, back-flow preventers, utility boxes and other utility-related, ground-

mounted equipment are to be painted to complement the development and are to be screened with landscape material.

7. Prior to construction of any portion of Santa Rosa or Mountain View Ranch Planned Area development the developer is to install acceleration and deceleration lanes along the frontage of Rodeo Road. The design will be based on Maricopa Association of Governments (MAG) standards as adopted and/or amended by the City of Casa Grande.
8. Prior to the development of Phase II of Santa Rosa, the developer is to install a half collector street, including curb, gutter on the right-of-way shown as Mountain View Drive on the preliminary or final plat. All street and sidewalk improvements shall be constructed in accordance with City standards.
9. Prior to development of Phase II of Santa Rosa, the developer/owner shall landscape, in accordance with City standards, from the north boundary of Phase II to Rodeo Road.
10. Prior to development of Phase II of Santa Rosa, the developer/owner shall construct sidewalks, in accordance with City standards, along the Phase II street frontage.
12. Santa Rosa Drive is to have curb, gutter and sidewalk along the west side from Rodeo Road to the northern boundary of Phase I. The east side of Santa Rosa Drive is to have curb and gutter from Rodeo to the northern boundary of Phase I. Sidewalks will be required along the east side of Santa Rosa along Phase I frontage. All street and sidewalk improvements shall be constructed in accordance with City standards.

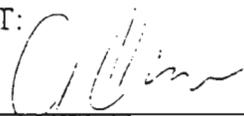
## Section 2. Operative Date

That the operative date of this ordinance shall be the later of March 19, 1998 or the date on which the final plat is recorded in the Pinal County Recorder's Office in substantial accordance with the requirements set forth by this Ordinance. If the final plat is not recorded prior to March 19, 1999, the Mayor and City Council may, after notifications to owner and applicant, schedule a public hearing to cause the property to revert to Urban Ranch (UR) zoning classification.

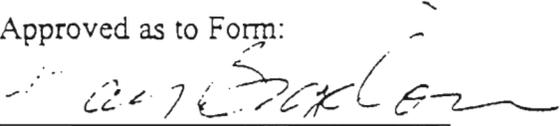
PASSED AND ADOPTED by the Mayor and Council of the City of Casa Grande, Arizona, this 17<sup>th</sup> day of February, 1998.

  
\_\_\_\_\_  
Mayor

ATTEST:

  
\_\_\_\_\_  
City Clerk

Approved as to Form:

  
\_\_\_\_\_  
City Attorney

**LEGAL DESCRIPTION**

The East half of the South 318.32 feet of the East half of the West half of Section 22, Township 6 South, Range 6 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona;

EXCEPT the East 30 feet thereof conveyed to the County of Pinal by Quit Claim Deed recorded in Book 45, Page 354 of Deeds

**PARCEL NUMBER**

505-22-00408

June 21, 1999

**Mountain View Ranch- "Cluster" Product**  
**Planned Area Development (P.A.D.) Amendment Text**

**Pulte Home Corporation - Parcel "F"**

Parcel "F" is planned and designed to utilize a "cluster" or "auto court" design which permits a site plan layout with a variety of orientations for the homes that minimize the views of garage doors from the street. This type of site plan creates a neighborhood that not only has greater aesthetic appeal but also is more private and functional for the residents and their children. Most of the homes are set back from the street and front on the "auto court" which helps to buffer the outdoor areas of the homes from the street providing a safer environment for young children. The "cluster" or "auto court" site design also has many other advantages as follows:

- The homes that actually front on the public street can be single-story homes which soften the streetscape visually and offers more diversity in the development. If two homes with the same floor plan occur next door to one another, they will have different architectural elevations.
- These homes are a newly designed product that the Pulte Home Corporation architects developed specifically for this type of site plan and home configuration.
- The access for the homes are through private drives served from the private auto courts which have textured paving improving the aesthetics of the front of the homes, along with landscaped spaces utilizing low water consuming plants around the "auto courts".
- There are a few homes that have driveways that enter their lot and garage directly from the public street for additional variety of visual appeal as well as functionality.

- The solid waste pick-up for these homes will be from containers on wheels which the residents roll out to the public street for pick-up once a week. This has become an industry standard in the vast majority of the single-family homes in the Phoenix Metro area.
- Both the internal lots at the back of the "cluster" require two-story home plans. There are two different floor plans that fit on these internal lots. (See the attached sheets of "cluster" site plans, architectural elevations, and floor plans for all the models). The other four lots in the "cluster" allow both single and two-story homes.
- This "cluster" or "auto court" site plan configuration inherently provides much greater visual diversity due to the alternate placement of the homes and garages. The architectural designs that Pulte Home Corporation developed over the last few months have been designed specifically to work with this site plan layout. These designs provide even greater visual diversity as well as greater functionality in this size and price of home than can be generally provided in the narrow lot/garage front design that has been so overused in recent history.
- Since the auto courts utilized in combination with individual home driveways are all held in private ownership and maintained by the homeowner's association, there will be a blanket public utility easement over all the private driveways and the "auto court" (hammerhead, cul-de-sac) paved area.
- In addition to the City park located at the intersection of Rodeo and Colorado, recreational amenities will include a ramada with picnic tables and barbeque along with a playground area for children
- The architectural style and character of this newly designed product is designed to have a more traditional look and feel that blends well with the historic character of the older sections of Casa Grande. Slightly steeper pitched roofs are

utilized on the front elevations to provide the traditional look that is desired in many communities today.

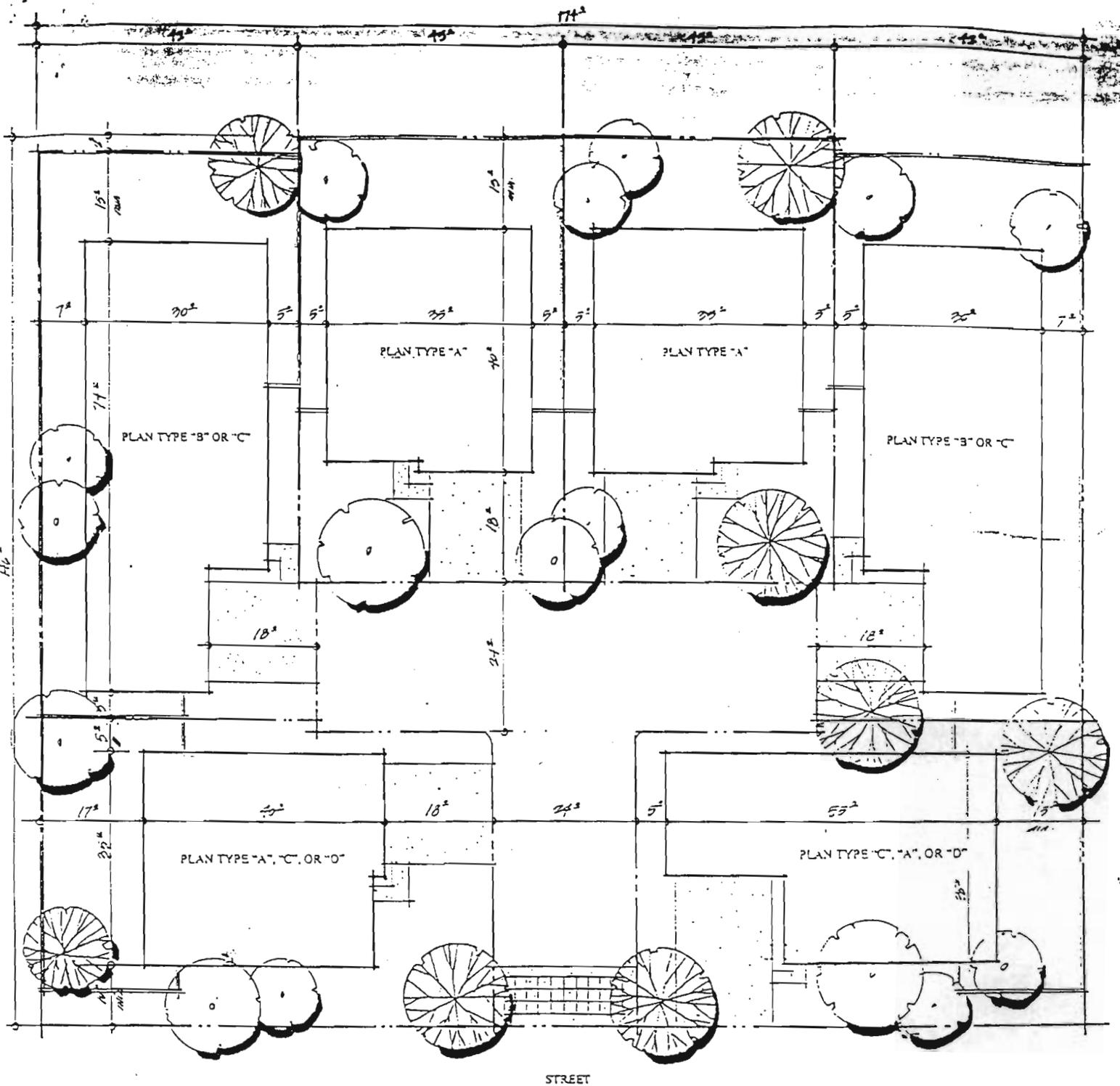
- The walls along the fronts and sides of the homes will comply with the City of Casa Grande's suggestions to keep the view from the street more open and viewer-friendly.

Cluster House Plans Offered:

<u>No.</u>	<u>Sq. Ft.</u>	<u>1 or 2 Story</u>	<u>2-Car Garage</u>
1.	1,245	1	yes
2.	1,396	1	yes
3.	1,733	2	yes
4.	1,879	2	yes
5.	2,139	2	yes

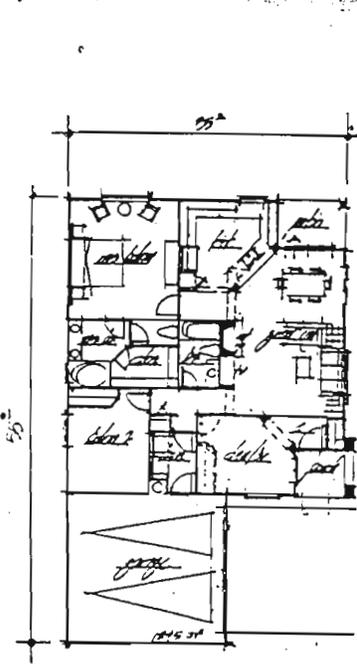
Note: All rear yard setbacks are a minimum of 15 feet. The side yard setbacks are a minimum of 5 feet both sides. The front setbacks to the face of the garage are a minimum of 18 feet so that cars can be parked in the driveways.

Att: "Cluster" layout and "cluster" plans and elevations.

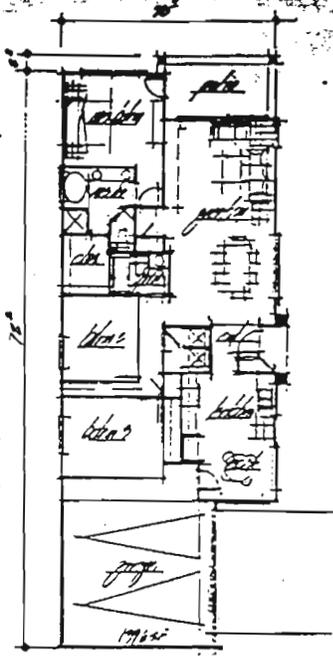


TYPICAL CLUSTER LAYOUT  
 SCALE: 1/8"=1'-0"

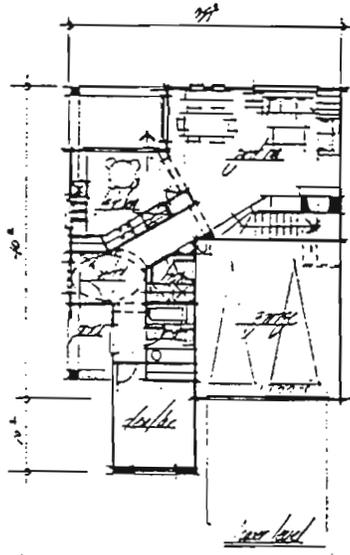
PHOENIX DIVISION  
 Mountain View Ranch



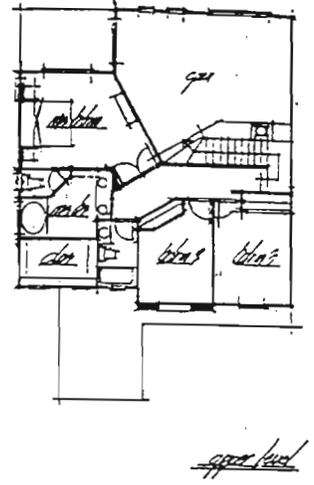
PLAN 1  
LOT FIT TYPE D



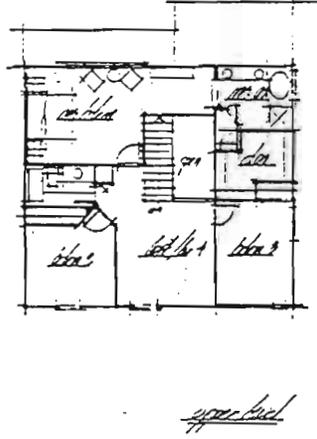
PLAN 2  
LOT FIT TYPE B



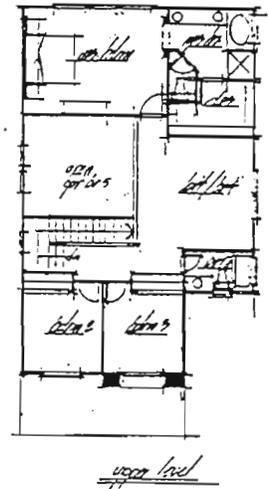
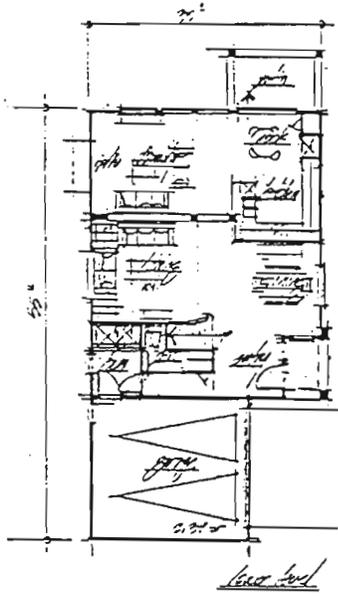
PLAN 3  
LOT FIT TYPE A



PLAN 4  
LOT FIT TYPE A



PLAN 5  
LOT FIT TYPE C



CLUSTER HOUSES

SCALE: 1/8" = 1'-0"

PHOENIX DIVISION  
Mountain View Ranch



SANTA BARBARA ELEVATION A  
PLAN 1



CRAFTSMAN ELEVATION B  
PLAN 1



FRENCH COUNTRY ELEVATION C  
PLAN 1



SANTA BARBARA ELEVATION A  
PLAN 2

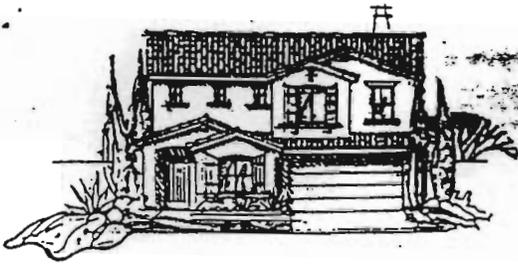


CRAFTSMAN ELEVATION B  
PLAN 2



FRENCH COUNTRY ELEVATION C  
PLAN 2

PHOENIX DIVISION  
Mountain View Ranch



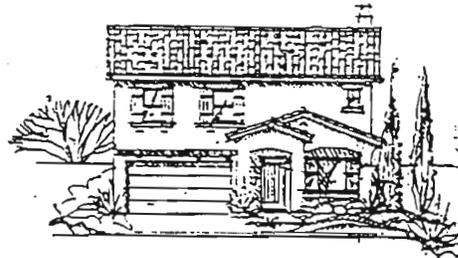
SANTA BARBARA ELEVATION A  
PLAN 3



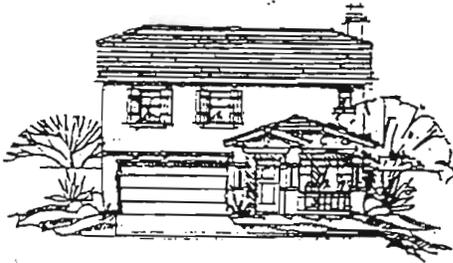
CRAFTSMAN ELEVATION B  
PLAN 3



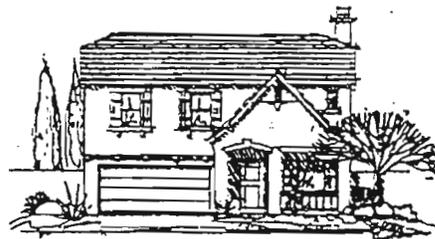
FRENCH COUNTRY ELEVATION C  
PLAN 3



SANTA BARBARA ELEVATION A  
PLAN 4

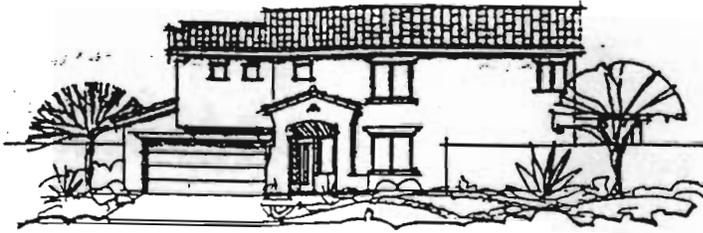


CRAFTSMAN ELEVATION B  
PLAN 4



FRENCH COUNTRY ELEVATION C  
PLAN 4

PHOENIX DIVISION  
Mountain View Ranch



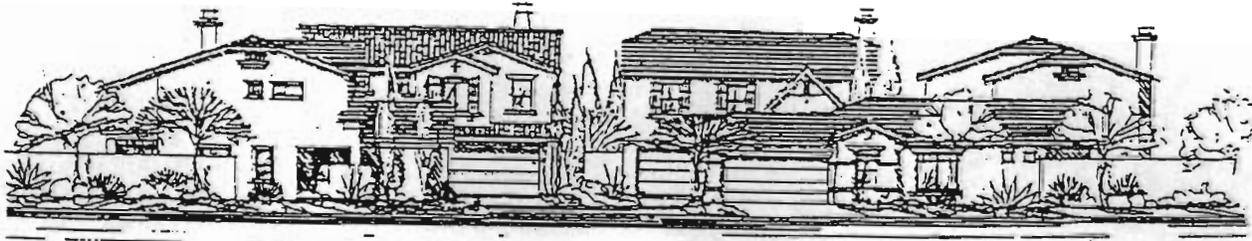
SANTA BARBARA ELEVATION A  
PLAN 5



CRAFTSMAN ELEVATION B  
PLAN 5



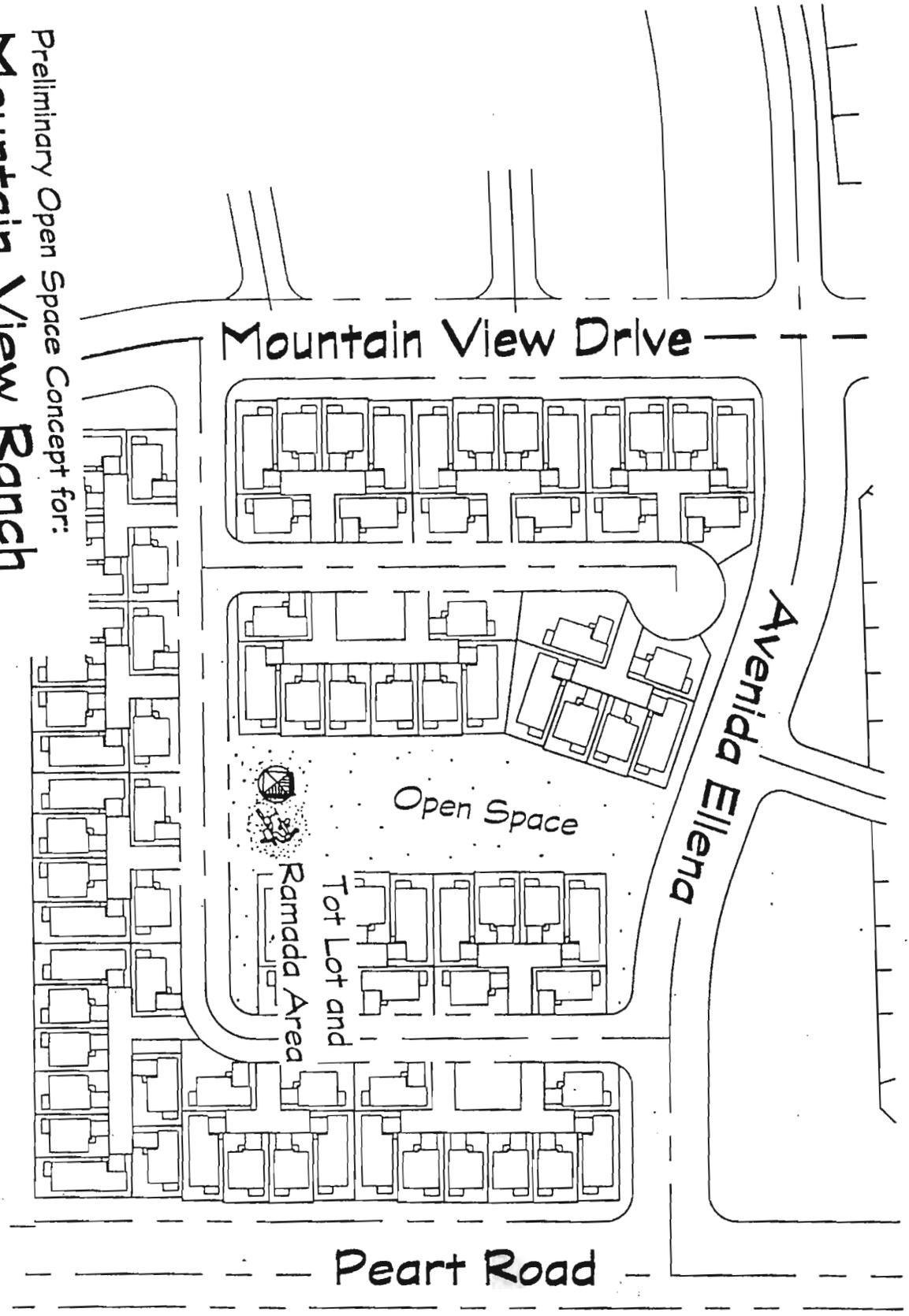
FRENCH COUNTRY ELEVATION C  
PLAN 5



TYPICAL CLUSTER STREET SCENE

PHOENIX DIVISION  
Mountain View Ranch

Preliminary Open Space Concept for:  
**Mountain View Ranch**





ORDINANCE NO. 1178.97.1

AN ORDINANCE OF THE COUNCIL OF THE CITY OF CASA GRANDE, ARIZONA, AMENDING THE ALLOWABLE USE AND DENSITY IN THE PLANNED AREA DEVELOPMENT (P.A.D.) ZONING ORDINANCE #1178.97 FOR PARCEL F OF THE MOUNTAIN VIEW ESTATES

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CASA GRANDE, ARIZONA, as follows:

**Section 1. Authorization for Rezoning**

Ordinance No. 1178.97 by changing the allowable use and density in Parcel F of the Mtn View Estates Planned Area Devmt from attached homes and apartments with a net density of 7.8 units per acre to a cluster type devmt of single family detached residences with a net density of 7.4 units per acre on property fronting Peart Road north of the Rodeo Road intersection, Casa Grande, Arizona.

This zoning change is subject to applicant/owner's compliance with all applicable law and ordinances as well as the following conditions:

1. This amendment shall only apply to Parcel F.
2. A final landscape plan, meeting the approval of the Planning Director, must be provided prior to approval of the Final Subdivision Plat for this parcel. Turf shall be utilized for a large portion of the central open space to create an area for passive recreation.
3. The developer/builder shall provide the following amenities for the central open area: one ramada with seating, one tot lot/play station, two barbecues, and one picnic table with benches. A concrete or asphalt walking path that provides access to the amenities shall also be provided.
4. A decorative masonry wall shall be provided around the perimeter of the parcel, except no wall shall be constructed along the north and south ends of the central open area. All other walls shall be limited to privacy walls around rear or side yard patio areas only. View walls (e.g., wrought iron and masonry) shall be utilized for all walls adjacent to the central open area. Wall designs, meeting the approval of the Planning Director, must be provided prior to approval of the Final Subdivision Plat for this parcel.
5. Setbacks for Parcel F shall be as shown in the typical cluster layout and as follows:
  - Homes shall have a minimum ten foot setback from back of sidewalk.
  - A minimum setback of eighteen feet is required for individual driveways.
  - At least one rear or side yard setback, other than the garage side, shall be a minimum of fifteen feet.
  - A twenty foot setback from the east perimeter of the PAD is required.
  - A fifteen foot setback from the south perimeter of Parcel F is required.
  - There shall be a minimum separation distance of ten feet between all homes.

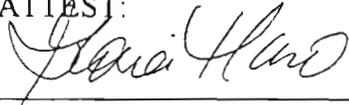
6. The following architectural requirements shall apply to this parcel:
- Elevations shall be as shown in the application materials.
  - Adjacent homes shall have distinct elevations.
  - Tile roofs are required. A minimum of three distinct colors of tile roofing shall be utilized.
  - A minimum of three home color schemes shall be utilized.
7. Any utilities running through the site or any utilities which need to be relocated for development of the site, must be placed underground. Residential dwelling units shall have no roof-mounted mechanical equipment (e.g., HVAC, swamp coolers).
8. Street names are subject to the approval of the Building Department.
9. Sewer facilities, street lights, and fire hydrants must be provided according to City codes and per the recommendations of the Engineering and Fire Departments.
10. All improvements discussed in the Cluster narrative will be provided and all public improvements must comply with the minimum requirements of the City code unless otherwise approved by City staff.
11. Development of the site shall be in accordance with all applicable code requirements of the Building, Fire, Planning, and Engineering departments.

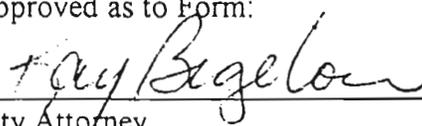
## Section 2. Operative Date

That the operative date of this ordinance shall be the later of September 16, 1999 or the date on which the final plat for Parcel F is recorded in the Pinal County Recorder's Office in substantial accordance with the requirements set forth by this Ordinance. If the final plat is not recorded prior to September 16, 2000, the Mayor and City Council may, after notifications to owner and applicant, schedule a public hearing for reversion of the property to the originally approved uses and density.

PASSED AND ADOPTED by the Mayor and Council of the City of Casa Grande, Arizona, this 16<sup>th</sup> day of August, 1999.

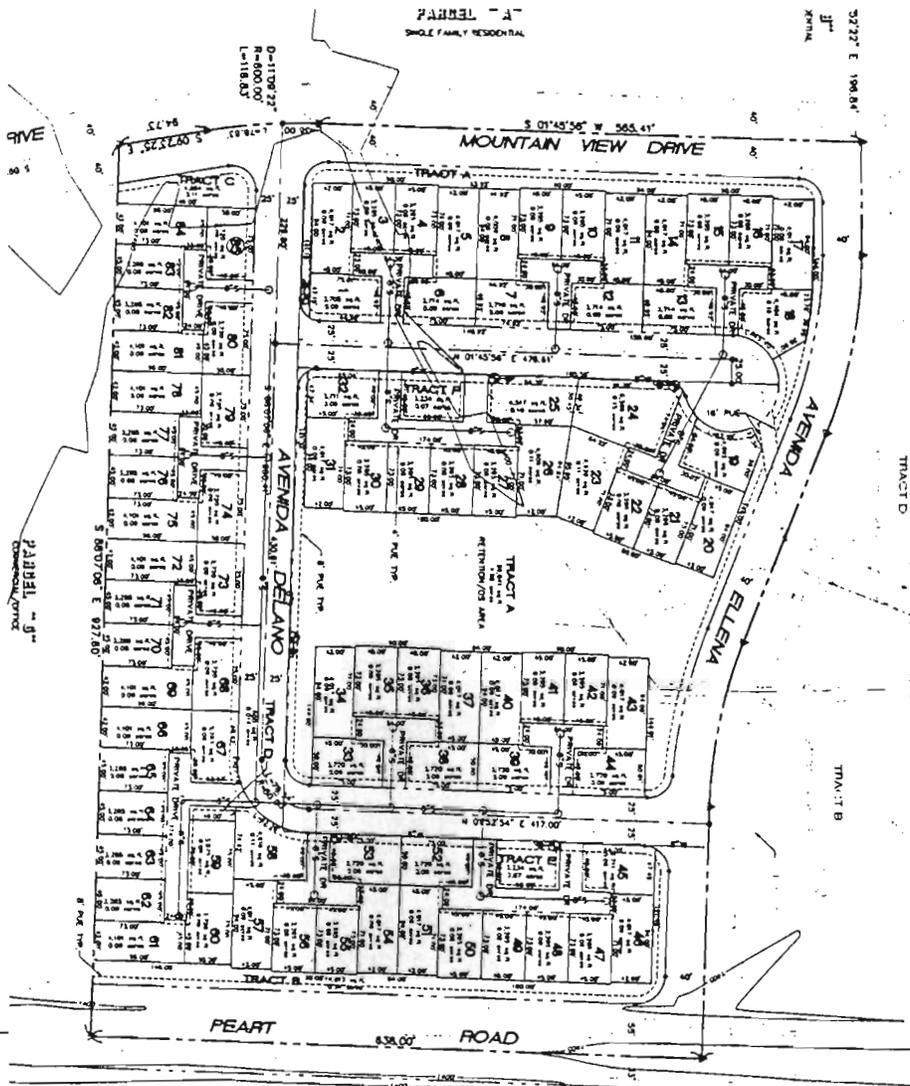
  
\_\_\_\_\_  
Mayor

ATTEST:  
  
\_\_\_\_\_  
City Clerk

Approved as to Form:  
  
\_\_\_\_\_  
City Attorney

**PANEL - G**  
MOUNTAIN VIEW RANCH  
PROPOSED SINGLE FAMILY RESIDENTIAL

**PANEL - F**  
MOUNTAIN VIEW RANCH  
PROPOSED SINGLE FAMILY RESIDENTIAL



REGISTERED ENGINEER

D & M ENGINEERING  
1783 W. UNIVERSITY DR., SUITE 130  
TAMPA, FL 33613  
PH (802) 350-9580

**MOUNTAIN VIEW RANCH**

PARCEL F  
AS RECORDED IN CAB C, BLD 087, PCR

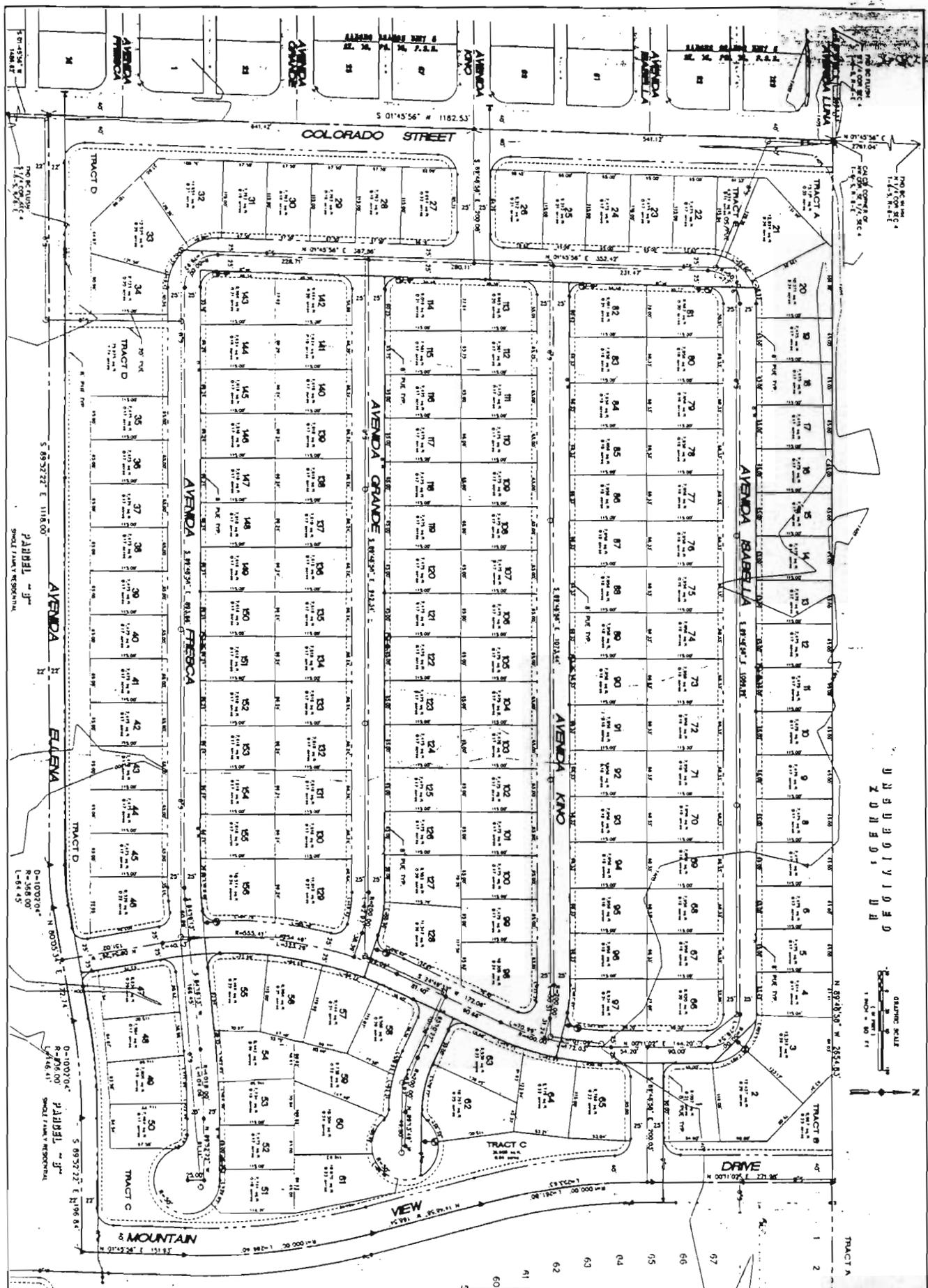
**PRELIMINARY PLAT**



REVISIONS	
NO.	DATE



**D & M ENGINEERING**  
Duron Thompson, P.E.  
1783 W. University Dr., Suite 130  
Tampa, AZ 85281  
PH (802) 350-9580



UNSUBDIVIDED  
ZONED U1



**MOUNTAIN VIEW RANCH**  
PARCEL D  
AS RECORDED IN CASE C, BLD 087, FOR  
**PRELIMINARY PLAT**

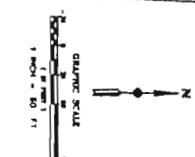
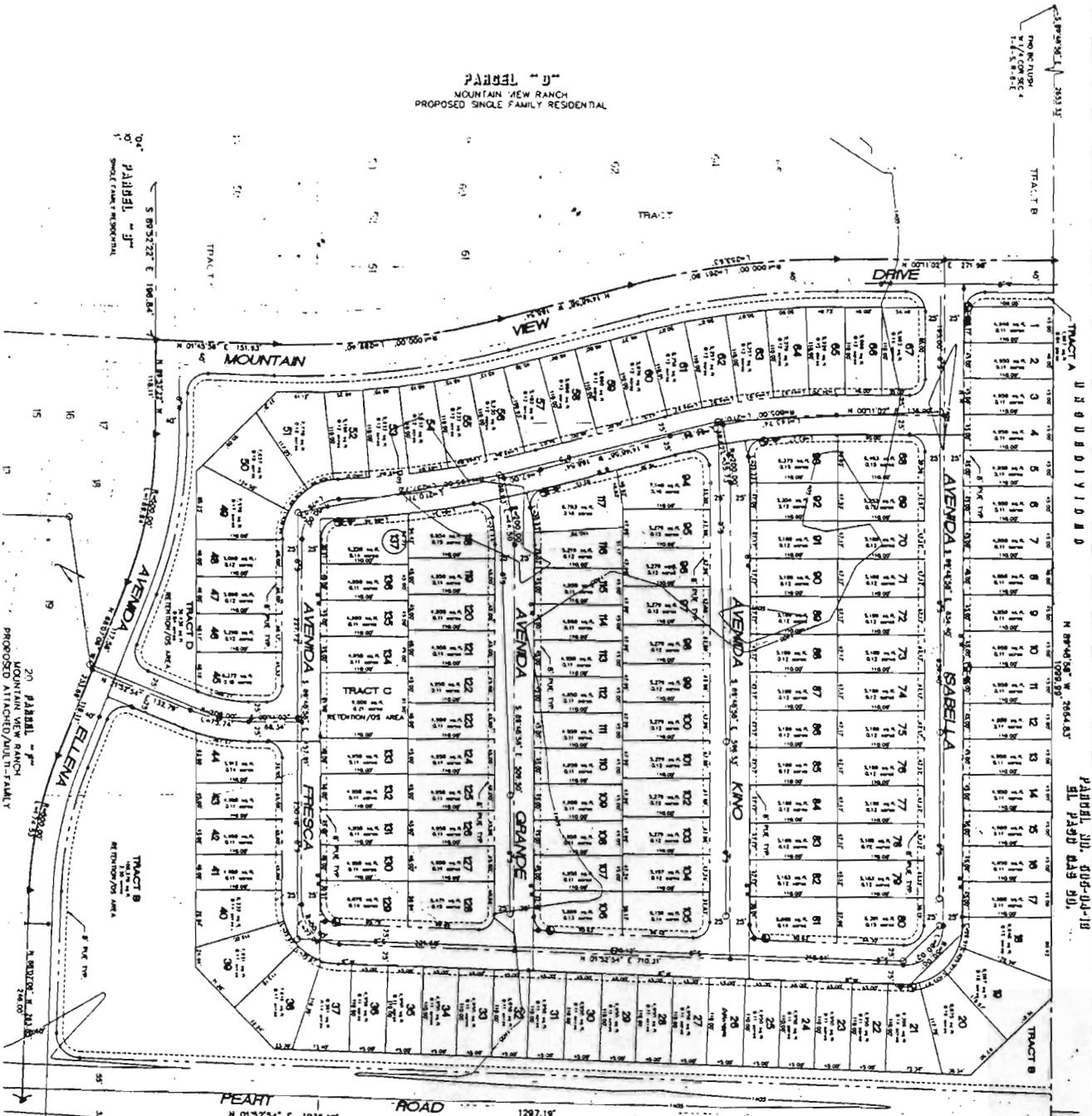


NO.	DATE	REVISIONS	DESCRIPTION

**D & M ENGINEERING**  
Duran Thompson, P.E.  
1783 W. University Dr., Suite 136  
Tempe, AZ 85281  
PH (602) 350-9500  
FAX (602) 350-0488

BHEET  
2 OF 2

**MOUNTAIN VIEW RANCH**  
 PROPOSED SINGLE FAMILY RESIDENTIAL



**MOUNTAIN VIEW RANCH**  
 PARCEL "E"  
 AS RECORDED IN GAB C, BLD 067, PCR  
 PRELIMINARY PLAT



NO.	DATE	REVISIONS	DESCRIPTION

**D & M ENGINEERING**  
 Duran Thompson, P.E.  
 1783 W. University Dr., Suite 136  
 Tempe, AZ 85281  
 PH (602) 350-9590



# City of Casa Grande

Land Dept. File  
 Project: MVPC  
 File: 8  
 Date: 10/20/00  
 Copies To: \_\_\_\_\_

October 4, 2000

**RECEIVED**

**NOV 05 2001**

CITY OF CASA GRANDE  
PLANNING DEPARTMENT

Mr. James M. Ratkovic  
 Vice President  
 Centex Homes  
 4711 N. 12<sup>th</sup> Street  
 Phoenix, Arizona 85014

**Re: Mountain View Estates Parcel "E"**

Dear Mr. Ratkovic:

Thank you for meeting with us on October 2, 2000 concerning your pending acquisition and proposed development of parcel "E" of the Mountain View Estates PAD. Your request for allowance of up to 50% for the construction of two-story homes was discussed in depth. As was explained in the meeting, the Mountain View Estates planned area development did not intend to allow two story homes on 45' wide lots. After our discussion concerning parcel "E", it has been determined that the following standards for the construction of two-story homes are as follows:

1. No two-story homes will be allowed on any corner lot within parcel "E".
2. No two-story homes will be allowed side by side of each other.
3. No two-story homes will be allowed immediately across the street from each other.
4. Tile roofs will be required on all homes built in parcel "E". (Flat or barrel acceptable)
5. Staggered front yard setbacks within a range of 5 feet shall be used as a standard.
6. Front yard landscaping provided prior to occupancy of homes.
7. Homeowner's association established to maintain all common areas including pool area.
8. Diversity in architecture, including colors, materials etc.
9. Reducc garage dominated appearance through architectural detailing around garage doors, projecting roof-lines between top of garage and second story, etc.

The above were standards discussed concerning two-story homes within parcel "E". The City of Casa Grande is extremely pleased that Centex/ Fox & Jacobs Homes desires to provide much needed quality homes to our community. We welcome you to our community.

Should you have any further questions, do not hesitate to discuss the matter with me.

Very Truly Yours,

Ken Buchanan  
 City Manager

cc: Mayor & City Council  
 Kay Bigelow, City Attorney  
 Rick Miller, Planning & Development Director

## STAFF REPORT

To: Planning and Zoning Commission  
 From: Mark Eckhoff, Senior Planner  
 Rick Miller, Planning and Development Director *RM*  
 Date: April 8, 2004  
 Re: CGPZ-49, 50-04: "Mountain View Ranch" PAD Amendment and P-Plat

---

The following two requests will be discussed together:

1. CGPZ-49-04: Request by MVR Investment LLC for approval of a Major Amendment to a Planned Area Development (a portion of the Mountain View Ranch PAD) on 50.58 acres m.o.l., located north of the northeast corner of Colorado Street and Rodeo Road, A.K.A. a portion of the SE ¼ Section 4, T6S, R6E, G&SRM, Pinal County, Arizona, a portion of APN 505-04-002N. The applicant is proposing to modify lot count, lot width, lot area, and site layout/development characteristics for parcels B, C, and D of the subject PAD.
  
2. CGPZ-50-04: Preliminary Plat request by MVR Investment LLC for a proposed residential subdivision within the Mountain View Ranch PAD (Parcels B, C, and D) on 50.58 acres, m.o.l., located north of the northeast corner of Colorado Street and Rodeo Road, A.K.A. a portion of the SE ¼ of Section 4, T6S, R6E, G&SRM, Pinal County, Arizona, a portion of APN 505-04-002N.

The subject undeveloped property is zoned PAD (Planned Area Development). The Mountain View Ranch PAD was originally approved in 1997 with the three subject parcels being planned for three separate subdivisions of 70-foot by 100-foot size lots. Surrounding properties are zoned and developed as follows:

Location	Zoning	Current Uses
North	UR (Urban Ranch)	Natural gas line
South	PAD (Planned Area Development)	Existing and proposed homes
West	R-1 (Single-Family Residential)	Existing homes
East	PAD (Planned Area Development)	Existing and proposed homes

This project is bounded by the Mountain View Ranch City Park and Santa Rosa subdivision to the south, Pottebaum Road to the east, Colorado Street to the west, and a natural gas line to the north. As a condition of project approval, adjacent collector rights-of-way will be completed to City standards. These collector rights-of-way, Colorado Street and Pottebaum Road, provide direct access to this subdivision and link to Peart Road and Rodeo Road. The remainder of the interior road system will also be improved to City standards.

One hundred and eighty-four (184) site-built single-family homes are proposed for this subdivision. All lots will be at least 7,000 square feet in area and many will be larger. The minimum 60-foot and 70-foot lot widths for the project will allow the proposed builder to build

two distinctly different product lines on the lots. The layout and design of the proposed subdivision is preferable to that previously considered for this site as all three parcels are now incorporated into one cohesive subdivision and the access and circulation has been revised and improved. With the development of these parcels of the PAD, only the planned commercial parcel at the northwest corner of Rodeo Rodeo and Peart Road and the small medium density parcel north of the commercial parcel remain.

Minimum residential open space requirements for the subject PAD parcels were previously met with the development and dedication of the Mountain View Ranch City Park. However, additional open space is provided within this project to accommodate drainage and retention needs as well as to add a landscape buffer along the adjacent collector roadways. A ten-foot wide concrete path will meander through the central open area to increase pedestrian access through the subdivision and improve access to the nearby City Park. Desert landscaping and a limited amount of turf will be used in the open space areas. A Homeowner's Association will be established to maintain all open space areas.

No concerns or objections were received from either the Elementary or High School Districts when this PAD was originally approved. As this was several years ago, the school districts have been made aware of these current applications.

Although this PAD pre-dates even the first *Residential Design Standards for Planned Area Developments*, this portion of the Mountain View Ranch PAD has been amended to comply with current PAD standards. The proposed lower residential densities, larger lot sizes, architectural standards, and multi-use pathway increase the project's diversity and sustainability. The proposed homebuilder, DR Homes, will submit floor plans, elevations, colors, and materials to staff and the Commission at a future date for review and approval.

Phasing of this development, proposed in four phases, is shown on the p-plat.

**Staff recommends approval of CGPZ-49-04, subject to the following conditions:**

1. Development of this site shall be in compliance the Amended Mountain View Ranch Development Guide for Parcels B, C, and D dated March 26, 2004 and all applicable City codes.
2. Any other conditions the Commission deems necessary.

**Staff recommends approval of CGPZ-50-04, subject to the following conditions:**

1. All Plats shall be in conformance with the Amended Mountain View Ranch Development Guide for Parcels B, C, and D dated March 26, 2004 and all applicable City codes.
2. All street names are subject to the approval of the Building department.
3. The improvement plans must be submitted and approved by City staff prior to Council approval of the Final Plat(s). The method and amount of financial assurance shall be approved as to form by the City Attorney prior to Council approval of the Final Plat(s).
4. Any other conditions the Commission deems necessary.

AMENDMENT

# PLANNED AREA DEVELOPMENT APPLICATION

1. PROPERTY:

Street Address None

Location NE of intersection of Rodeo Road / Peart Road

Assessor's Parcel Number 505-04-002N

Legal Description (Section, Township & Range) SE 1/4, Section 4, Township T6s, Range 6E  
(Parcels B. C. & D of Mountain View Ranch PAD)

Size \_\_\_\_\_ sq. ft. 50.58 acres

2. USE:

Existing Zone PAD

Existing Use of the Property Single Family Residential

Proposed Use of the Property Single Family Residential

3. APPLICANT INFORMATION: (Please Print)

Name MVR Investment LLC

Mailing Address 2980 N. Campbell, Ste. 110  
Tucson, AZ 85719

Phone 520-795-5111 Fax 520-795-9323

Status (Owner, Lessee, Agent, etc.) Developer

4. PROPERTY OWNER(S):

Name Rodeo Road Limited Partnership

Mailing Address P O Box 24258  
Tempe, AZ 85285

Phone 480-893-3600 Fax 480-496-9200

**\*If more than one owner, attach additional sheet with names and addresses.  
NOTE: APPLICANT MUST ATTEND THIS MEETING!**

I have read the procedure for applying for a Planned Area Development zone and understand that if my application is not complete in all respects, it will not be scheduled until such time as it is complete.

[Signature]  
Signature

2-25-04  
Date

DON KUNITZ  
Print or type Signature

2-25-04  
Date

# SUBDIVISION PLAT APPLICATION

(Preliminary or Final)

1. **NAME OF SUBDIVISION:** Mountain View Ranch  
**General Location** NW of Intersection Rodeo Road / Pearl Road  
**Assessor's Parcel Number(s)** 505-04-2N  
**Legal Description (Section, Township & Range)** Parcels B, C, D Mountain View Ranch Pad  
SE 1/4 Section 4, Township 65, Range 6E  
**Land Area (acreage/square feet):** 50.58  
**Number of Lots:** 184  
**Type of Subdivision (Residential, Commercial, etc.):** Residential  
**Brief Description of Project** Residential Subdivision to be developed in 4 phases

2. **APPLICANT INFORMATION: (Please Print)**  
**Name** MVR Investment LLC  
**Mailing Address** 2980 N. Campbell, Ste 110, Tucson, AZ 85719  
**Phone** 520-795-5111 **Fax** 520-795-9323  
**Status (Owner, Lessee, Agent, etc.)** Purchaser

3. **PROPERTY OWNER(S) (If different than above):**  
**Name** Rodeo Road Limited Partnership  
**Mailing Address** P.O. Box 24258  
Tempe, AZ 85285  
**Phone** 480-893-3600 **Fax** 480-496-9200

4. **ENGINEER/SURVEYOR:**  
**Name** Paul Hansen, Trabue, Hansen & Hinshaw, Inc.  
**Mailing Address** 115 South Main Street, Coolidge, AZ 85228  
**Phone** 520-723-9198 **Fax** 520-723-3739

I have read the subdivision plat submittal application packet and understand that if my application is not complete in all respects, it will not be scheduled until such time as it is complete.

Don Kunitz 2-25-04  
Signature Date  
Don Kunitz 2-25-04  
Print or type Signature Date

*Amendment to the  
Design Guide*

For

**MOUNTAIN VIEW RANCH  
A Planned Area Development  
PARCELS B, C, and D**

March 26, 2004

*Developer:*

MVR Investment LLC  
2980 N. Campbell Suite 110  
Tucson, AZ 85719

Prepared by:

**Trabue, Hansen & Hinshaw Inc.**  
115 South Main Street  
Coolidge, Arizona  
(520) 723-9198

**THHinc**

..... *about the possibilities*

**AMENDMENT to the DEVELOPMENT GUIDE**  
for  
**MOUNTAIN VIEW RANCH**  
**A Planned Area Development**  
**PARCELS B, C, and D**

**Introduction:**

Mountain View Ranch is an existing Planned Area Development (PAD) previously approved by the City of Casa Grande. It is located at the northwest corner of Rodeo Road and Peart Road, and comprises the approximately 160 acres of the southeast quarter of Section 4, Township 6 South, Range 6 East. Mountain View Ranch includes eight parcels designated Parcels A-H. Parcel A and Parcel E have been developed as the Santa Rosa and Stoneridge subdivisions respectively. Parcel H is utilized for park, open space, drainage and storm water retention and has been completed. The remaining parcels are undeveloped.

This amendment proposes minor changes to the current Design Guide for Mountain View Ranch to facilitate the development of Parcels B, C and D.

**Amendment Changes:**

MVR Investment LLC proposes to develop Parcels B, C, and D as an overall integrated single family residential subdivision rather than the three distinct separate parcels proposed in the Mountain View Ranch PAD. This development will provide additional common area, and an increase in the total number of lots from 181 lots to 184 lots. Tables 1 and 2 summarize the current PAD requirements and these proposed changes.

**Table 1 – Open Space**

Parcels B, C, & D	Current PAD	Amendment
Open Space, Drainage & Retention*	0	5.2 acres

\* Parcels A, B, C, & D utilize Parcel H for open space/storm water retention

**Table 2 – Lots / Density**

	Area	Current PAD		Amendment	
		# Lots	DU/Acre	# Lots	DU/Acre
Parcel B	3.9	15	3.8	11	2.8
Parcel C	3.1	6	1.9	8	2.6
Parcel D	43.6	160	3.7	165	3.8
Total	50.6	181	3.6	184	3.6

Addition changes are proposed for front and corner setbacks, and minimum lot width. It is proposed that the front setback be reduced from 20 feet to 15 feet for side entry garages, front livable area, and covered front porches. Additionally, it is proposed that the corner side setback be reduced from 20 feet to 15 feet, and that the minimum lot width be reduced from 70 feet to 60 feet for approximately half the lots in the

subdivision. The Preliminary Plat shows these narrower 60-foot wide lots in Phases 1 and 3 in the southern portion of the project, and the 70-foot wide lots in Phases 2 and 4 in the northern area. This not only provides a transition from the 60' wide 6,000 square foot lots of the Santa Rosa subdivision located on the south side of this project, but also accommodates a more diverse product within the development. The current PAD requirements and the proposed Amendment changes are shown in Tables 3 and 4.

**Table 3 - Setbacks**

	Current PAD				Amendment			
	Front	Rear	Side	Corner Side	Front	Rear	Side	Corner Side
Southern Portion (Phases 1 & 3)	20'	20'	5'/10'	20'	15'	20'	5'/10'	15'
Northern Portion (Phases 2 & 4)	20'	20'	5'/10'	20'	15'	20'	5'/10'	15'

**Table 4 – Lot Area and Width**

	Current PAD		Amendment	
	Area (min)	Width (min)	Area (min)	Width (min)
Southern Portion (Phases 1 & 3)	7,000 sf	70'	7,000 sf	60'
Northern Portion (Phases 2 & 4)	7,000 sf	70'	7,000 sf	70'

**Residential Design Standards:**

The current Residential Design Standards for Planned Area Developments were not in place in their current form when the Mountain View Ranch PAD was approved. However, the current standards were reviewed with respect to the development and the proposed amendment and the following comments are presented.

Section 1A.

1. Open Space – The approved open space requirement for the Mountain View Ranch PAD Parcels A, B, C and D was met by Parcel H (8.3 acres). Additional open space, landscaping, drainage and retention of 5.3 acres are shown on the Preliminary Plat for Parcels B, C and D. The total open space is 13.6 acres. The developer will install a 10-foot sidewalk in the central open space to provide connectivity to the park area south of the subdivision. If required by the City, owner shall complete the process for the formation of a park maintenance or enhanced municipal services improvement district pursuant to Arizona state statues for maintenance of the common areas for which a homeowners association (HOA) is primarily responsible. This Improvement District will only levy assessments if HOA fails to maintain or replace common area amenities
2. Single family lot sizes – The changes to the current PAD have been presented previously. The proposed changes are in compliance with this item.
3. Setbacks – The proposed changes comply with this item.
4. Multi family and single family attached development – Not Applicable.
5. Manufactured Homes – Not Applicable.
6. Multi story Homes – The developer will comply with this item. Only single story homes will be located in the lots adjacent to the subdivision entry points, and also in the lots that border the Santa Rosa subdivision.
7. Streetscapes and entrances – The developer will comply with this item and provide decorative perimeter walls and monuments to compliment the Stoneridge and Santa Rosa subdivisions.
8. Front yard landscaping – The developer or builder will comply with this item.
9. School sites – Not Applicable per approved PAD.
10. Miscellaneous – The developer will comply with this item.

Section 1B. – The developer meets or will meet the requirements of Items 1, 4, 5, and 7 as follows.

Item 1 – The Preliminary Plat shows cul de sacs, curvilinear streets, and corner eyebrow.

Item 4 – The developer or builder will stagger front setbacks as required by this item.

Item 5 – The developer or builder will provide a 10-foot wide concrete walk in the drainage/open space. The developer/builder shall provide low-impact lighting along the multi-use path to ensure the path is adequately lighted while minimizing light spillover on adjacent residential lots.

Item 7 – The developer or builder will install view fencing on the lots adjacent to the drainage/open space.

Section IIA and IIB – The architectural plans will be prepared during the design phase of the project and presented to the Planning and Zoning Commission and City staff for their review and approval prior to the issuance of building permits for the subdivision. The Commission shall retain the discretion to vary the architectural requirements for this project as determined necessary so long as the intent of the guidelines are followed and sustainability and diversity objectives are achieved.

#### Additional Requirements

1. The Builder or Developer of each subdivision phase shall note on the Final Plat and in their Public Report the proximity of the El Paso Natural Gas Company pipeline on the north side of the subdivision.
2. The project improvements will comply with applicable City of Casa Grande codes pertaining to water, sewer, roads grading, drainage, and retention basins including drywells as required by the City Engineer,.
3. A Homeowners' Association (HOA) (one for the entire 184 lot subdivision) shall be established to own and maintain all common area landscaping, pathways, community signs, and common amenities. The HOA shall also be responsible for maintaining all landscaping within adjacent collector right of ways.
4. Open space and right-of-way landscape, wall, and subdivision sign plans/designs are subject to the review and approval of the Planning and Development Director.
5. Phasing of this project shall be subject to the review and approval of the City Engineer and the Planning Director.







*Mountain View  
Ranch*



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**D. R. · HOMES**

# Mountain View Ranch



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# Mountain View Ranch



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# Mountain View Ranch



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# Mountain View Ranch



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# Mountain View Ranch



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