

MISSION PARK

Preliminary Development Plan & Development Guide for a Planned Area Development

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520.836.5501

ADMIN APPROVED

Date: 12-18-08

Case #: DSA-08-00130

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MISSION PARK

Preliminary Development Plan & Development Guide for a Planned Area Development

1.0 Purpose of Request

Mission Park is a proposed 82-acre master planned community located south of Rodeo Road between the Arizola and Henness Road alignments in Casa Grande, Arizona. Pinal County Assessor's Parcel Number for the site is 505-10-001. The site is located in Section 10, Township 6 South, Range 6 East of the Gila and Salt River Base and Meridian. See Vicinity Map, **Figure 1**.

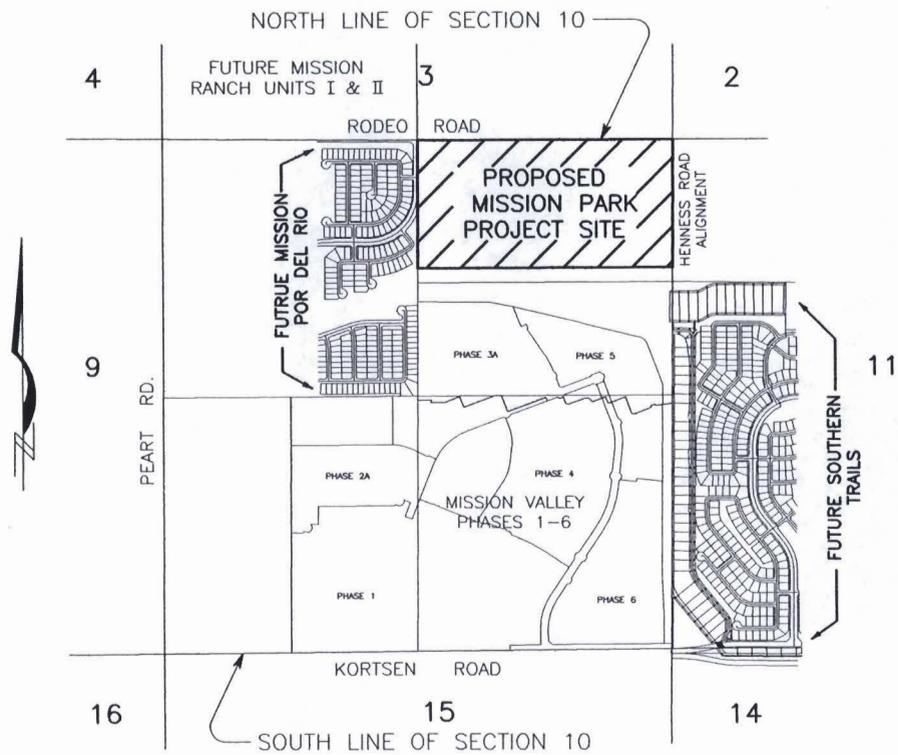
This Development Guide is being submitted to the City of Casa Grande as a supplement to the PAD Zoning application and is intended to demonstrate the quality of subdivision design intended for the new community.

The purpose of the zoning application is to request a zone change for **Mission Park** from the property's current zoning of UR (Urban Ranch) to Planned Area Development (PAD) zoning. This request for a PAD is consistent with the Mission Valley PAD located to the south and the future Mission Por del Rio PAD located to the west. See Existing Zoning, **Figure 2**.

2.0 Preliminary Development Plan - Project Description

Mission Park has been planned to create a high-quality living environment within the City of Casa Grande. The community will consist of no more than 245 site-built single-family detached homes and well-designed open space. See Concept Plan, **Figure 3**. Six open space areas / park sites and a pedestrian trail system are designated for open space (22.00% minimum of the residential area).

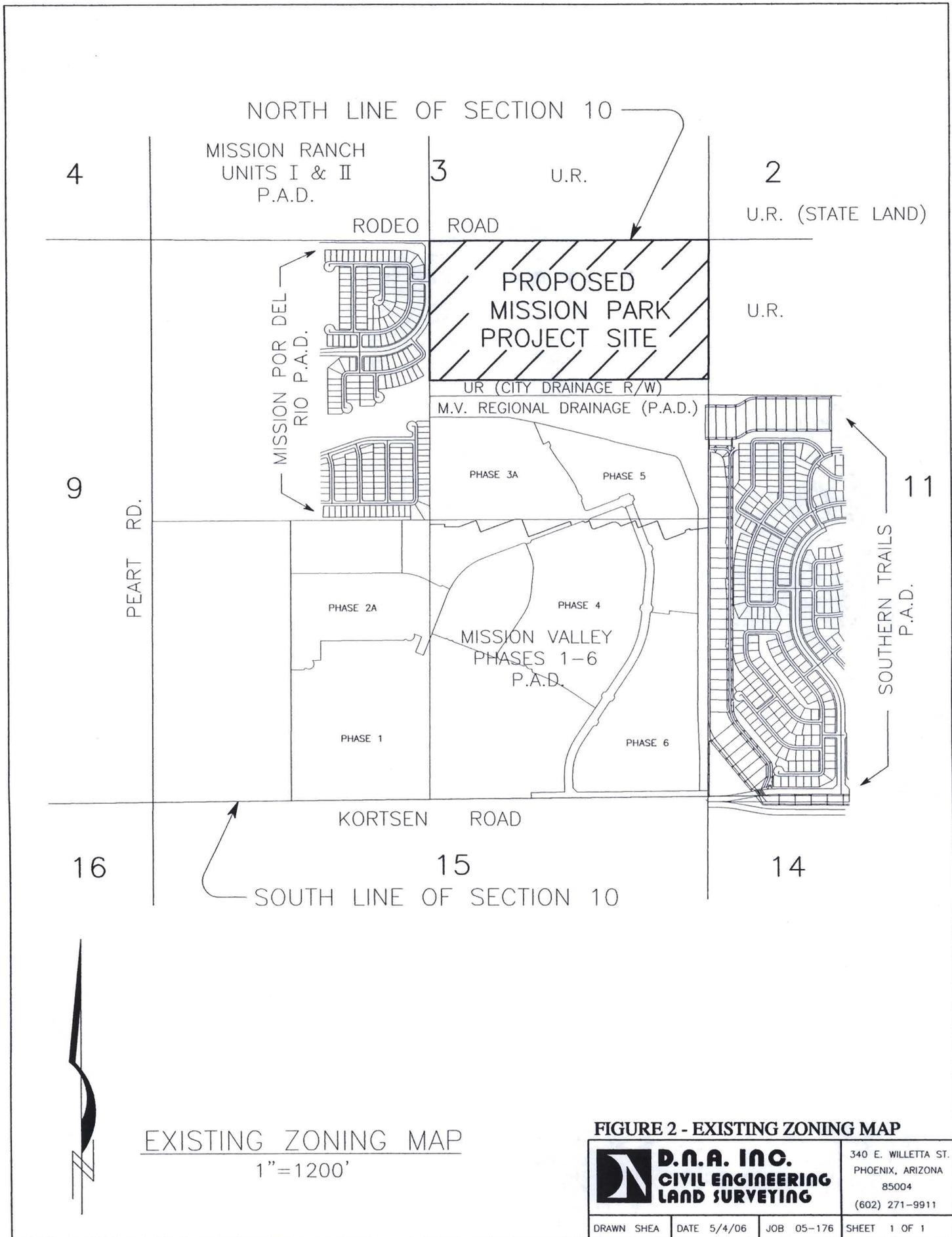
The residential area has been designed with two single family detached lot sizes, offering a mix of housing opportunities within one master planned community, consistent with the Casa Grande General Plan Goal to: *"Provide a range of residential densities and housing types in the City of Casa Grande"*.



VICINITY MAP
1"=2000'

FIGURE 1 - VICINITY MAP

 D.N.A. INC. CIVIL ENGINEERING LAND SURVEYING	340 E. WILLETTA ST. PHOENIX, ARIZONA 85004 (602) 271-9911	
	DRAWN SHEA	DATE 5/4/06
SHEET 1 OF 1		



MISSION PARK

CONCEPTUAL LAND USE PLAN

THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE MERIDIAN, PINAL COUNTY, ARIZONA.

SITE DATA

TOTAL GROSS ACRES: 82.25
 ARTERIAL ST. R/W (RODEO RD.): 3.38 AC.
 TOTAL NET ACRES: 78.87
 TOTAL NO. LOTS: 245
 DENSITY: 3.11 DU/AC
 OPENSAPCE: 17.76 AC.
 PERCENT OPENSAPCE: 22.51%

PROPERTY OWNER

CHARLES K. POWELL
 128 FROST CIRCLE
 VENTURA, CA 93003
 PHONE: 805-656-2921

APPLICANT

RICHARD L. FAUSSET
 FAUSSET NEELY INC.
 199 FIGUEROA ST., THIRD FLOOR
 VENTURA, CA 93001
 PHONE: 805-643-9358 ext. 12
 FAX: 805-643-0361

LAND PLANNER

JACKIE GUTHRIE AICP
 ASSOCIATES
 19410 W. BLACK KNOB ST.
 CASA GRANDE, AZ 85222

PROJECT ENGINEER

WILLIAM E. COLLINGS P.E., R.L.S.
 D.N.A. INCORPORATED
 314 E. 8TH STREET
 CASA GRANDE, AZ 85222
 PHONE: 520-836-5501
 FAX: 602-271-9985

TRACT	AREA	PROPOSED USE
A	3.74 AC.	OPENSAPCE, UTILITIES, RETENTION
B	0.85 AC.	OPENSAPCE, UTILITIES, RETENTION
C	0.27 AC.	LANDSCAPE, UTILITIES, RETENTION
D	0.06 AC.	LANDSCAPE, UTILITIES
E	0.06 AC.	LANDSCAPE, UTILITIES
F	0.06 AC.	LANDSCAPE, UTILITIES, RETENTION
G	0.84 AC.	OPENSAPCE, UTILITIES, RETENTION
H	1.09 AC.	OPENSAPCE, UTILITIES, RETENTION
I	0.78 AC.	OPENSAPCE, UTILITIES, RETENTION
J	0.05 AC.	LANDSCAPE, UTILITIES
K	0.05 AC.	LANDSCAPE, UTILITIES
L	2.45 AC.	OPENSAPCE, UTILITIES, RETENTION

TRACT	AREA	PROPOSED USE
M	0.03 AC.	LANDSCAPE, UTILITIES
N	0.10 AC.	LANDSCAPE, UTILITIES
O	0.05 AC.	LANDSCAPE, UTILITIES
P	0.93 AC.	OPENSAPCE, UTILITIES, RETENTION
Q	0.08 AC.	LANDSCAPE, UTILITIES, RETENTION
R	0.22 AC.	LANDSCAPE, UTILITIES, RETENTION
S	0.08 AC.	LANDSCAPE, UTILITIES, RETENTION
T	4.35 AC.	OPENSAPCE, UTILITIES, RETENTION
U	1.57 AC.	OPENSAPCE, UTILITIES, RETENTION
V	0.12 AC.	LANDSCAPE, UTILITIES
W	0.12 AC.	LANDSCAPE, UTILITIES

TOTAL: 17.76 Acres
 NOTE: ALL TRACTS ARE TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

UNSUBDIVIDED (MISSION RANCH UNIT II P.A.D.)

FND 5/8 REBAR N X COR. SEC. 10

EXIST. 33' ROADWAY RESERVATION

N 89°49'44" E 2675.16'

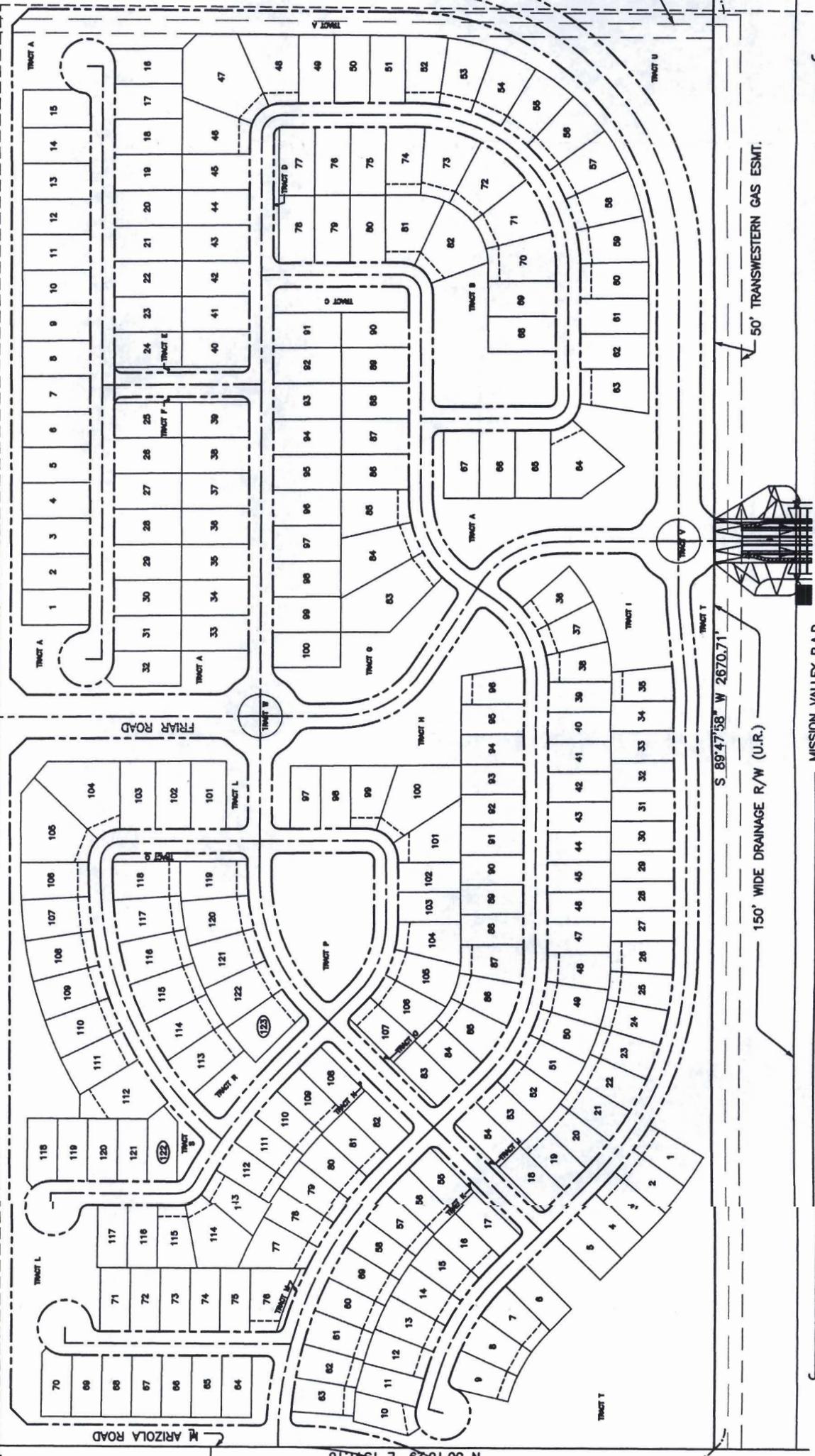
UNSUBDIVIDED (U.R.)

M RODEO ROAD

STATE LAND (U.R.)

FND AL CAP L.S. 17288 NW COR SEC 10

UNSUBDIVIDED (MISSION POR DEL RIO P.A.D.)
 N 00°16'29" E 1341.16'



UNSUBDIVIDED (U.R.)
 PROP M SANTA CRUZ TRAIL (HENNESSY ROAD ALIGNMENT)
 S 00°27'56" W 1339.83'

PROPOSED TRANSWESTERN GAS LINE

SCALE: 1"=250'

MISSION VALLEY P.A.D.

50' TRANSWESTERN GAS ESMT.

S 89°47'58" W 2670.71'

UNSUBDIVIDED (SOUTHERN TRAILS P.A.D.)

FIGURE 3 - CONCEPT PLAN

CALL TWO WORKING DAYS BEFORE YOU DIG
 263-1100
 1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)

340 E. WILLETTA ST.
 PHOENIX, ARIZONA 85004
 (602) 271-9911

D.N.A. INC.
CIVIL ENGINEERING
LAND SURVEYING



JOB NO. 08-018

DATE 9/10/2008

DESIGNER Shea K.

SCALE 1"=250'

2.1 Single Family

Within this single-family community approximately 122 lots have a minimum lot area of 6,325 square feet with a 55-foot, minimum, lot width. Approximately 123 lots are 8,060 square feet in size with a 65-foot, minimum, lot width.

Table 1 illustrates the percentage of the project's yield by minimum lot size. As **Table 1** illustrates, 49.8% of the proposed lots have a minimum of 6,325 square feet and 50.20% have at least 8,060 square feet. This meets the PAD requirement that for every single family lot less than 7,000 square feet in area, an equal number of lots or spaces that are at least 8,000 square feet in area must be provided. With this project being in the concept stage, the number of lots and resultant densities may vary at the time that preliminary and final plats are completed; however at no time shall the number of lots less than 7,000 square feet exceed the number of lots over 8,000 square feet. The General Plan for this site indicates a Future Land Use of Low Density Residential (1-4 DU/AC, Target Density 2.5 DU/AC).

Homes within **Mission Park** will likely be developed by a production homebuilder, with home designs indicative of the particular homebuilder. At the present time no homebuilders have been chosen, therefore' no examples of housing product are available. The housing product will conform to the City of Casa Grande's Residential Design Standards for Planned Area Developments (February 2003). After the property owner's review and approval, plans will be submitted to the City of Casa Grande for review and approval by the Planning Department and the Planning and Zoning Commission prior to issuance of any permits for any homes.

Model home sales offices / complexes for any of the single-family residential parcels may occur within **Mission Park** with the approval of applicable Temporary Use Permits and Building Permits.

Minimum Lot Size and Area	Yield	% of Total Yield
55' x 115' – 6,325 sq/ft	122	49.80%
65' x 124' – 8,060 sq/ft	123	50.20%
Total	245	100%

The minimum setbacks and maximum height for homes within **Mission Park** are as follows:

Front Setback:	15' – 23' (front loaded garages will vary from 20' to 23' for every 3 rd or 4 th home. 15' front setback to front porches, livable area and/or side loaded garage.
Side Setback:	5' and 10' (15' total)
Corner Setback:	15' (can include an adjacent 10' wide landscape tract)
Rear Setback:	20'
Maximum Height	28' / 2 stories

See Typical Lot Layouts, **Figure 4**.

Other development standards will be per any applicable sections of the City of Casa Grande Zoning Ordinance.

2.2 Residential Subdivision Design

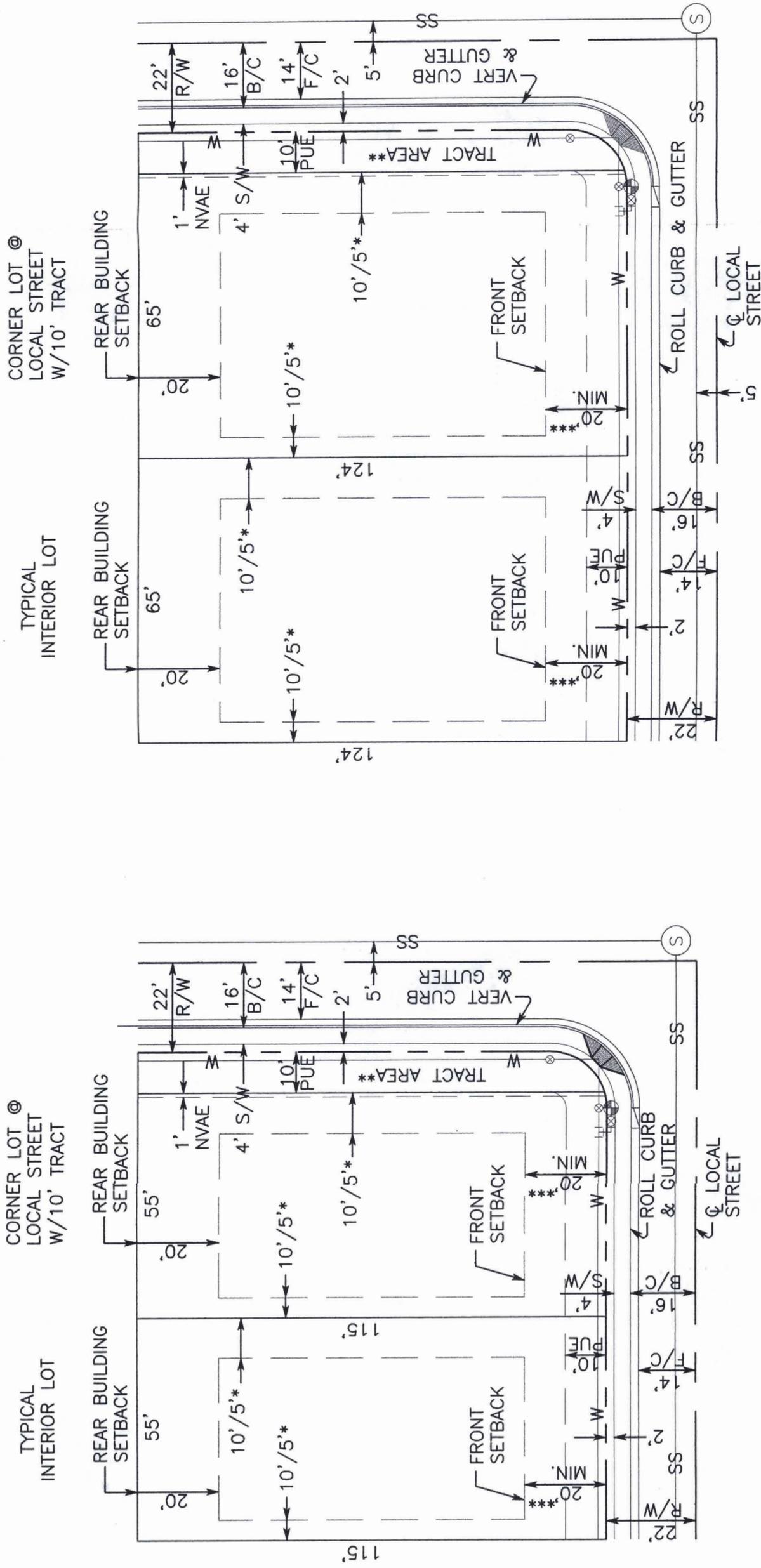
The design of a subdivision is critical to the success of a “sustainable”, “diverse”, and “innovative” community. **Mission Park** has been designed with curvilinear streets, cul-de-sacs and roundabouts to support the flow of traffic, and a series of parks and open space areas, which provide an interesting and diverse street scene. The open space system provides accessible, useable and highly visible open space. The local streets are designed to discourage cut-through traffic and to provide traffic-calming.

The six open space areas / parks within the community are located adjacent to neighborhood streets, which allow easy access, and encourage the use and supervision of the areas. Landscaped buffer / drainage channels are provided throughout the community.

To provide an appealing streetscape as well as create a unifying design element, all corner lots are designed with a landscape tract adjacent to the street. A homeowner's association will maintain the landscaped tracts. See **Figure 5**, Conceptual Landscape Plan.

To create a sense of arrival, the two major entries into the community include open space views and entry monuments. The entry monumentation and theme wall design for **Mission Park** creates a unifying element at the entries, in the roundabouts and throughout the community. See Conceptual Entry and Wall Details, **Figure 6**.

TYPICAL LOT LAYOUTS



TYPICAL LOT LAYOUT FOR 55' WIDE (MIN.) & 65' WIDE (MIN.) LOTS

- NO SIDE OR REAR PROPERTY WALLS WILL BE PERMITTED WITHIN THE 10' P.U.E.
- *ONE SIDE YARD SETBACK SHALL BE 10' MINIMUM & THE OTHER SHALL BE 5' MINIMUM.
- **ALL SIDE LOT TRACT AREAS SHALL BE SUBJECT TO PUBLIC UTILITY EASEMENTS
- ***FRONT YARD SETBACKS SHALL VARY FROM 20' TO 23' BUT MAY DECREASE TO 15' FOR HOMES WITH FRONT LIVEABLE AREAS OR SIDE LOADED GARAGES

FIGURE 4 - TYPICAL LOT LAYOUTS

CALL TWO WORKING DAYS BEFORE YOU DIG
263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)



340 E. WILLETTA ST.
PHOENIX, ARIZONA 85004
(602) 271-9911

D.N.A. INC.
CIVIL ENGINEERING
LAND SURVEYING



JOB NO.	05-176
DATE	5/4/06
DRAWN	SHEA
SCALE	NO SCALE



Ironwood Planning
 Landscape Architecture
 Land Planning
 Phoenix Office
 (PH) 623-362-1375
 (FAX) 623-362-2813
 Email: ironw@ironw.com
 3/20/08

SITE DATA:
 GROSS SITE AREA = 82.25 AC.
 NET SITE AREA = 78.87 AC.
 OPEN SPACE = 17.76 AC (22.51 % O.S.)
 DENSITY:
 3.11 DU/AC 245 UNITS

Casa Grande, Arizona

MISSION PARK

CONCEPTUAL LANDSCAPE PLAN

0 80' 160'

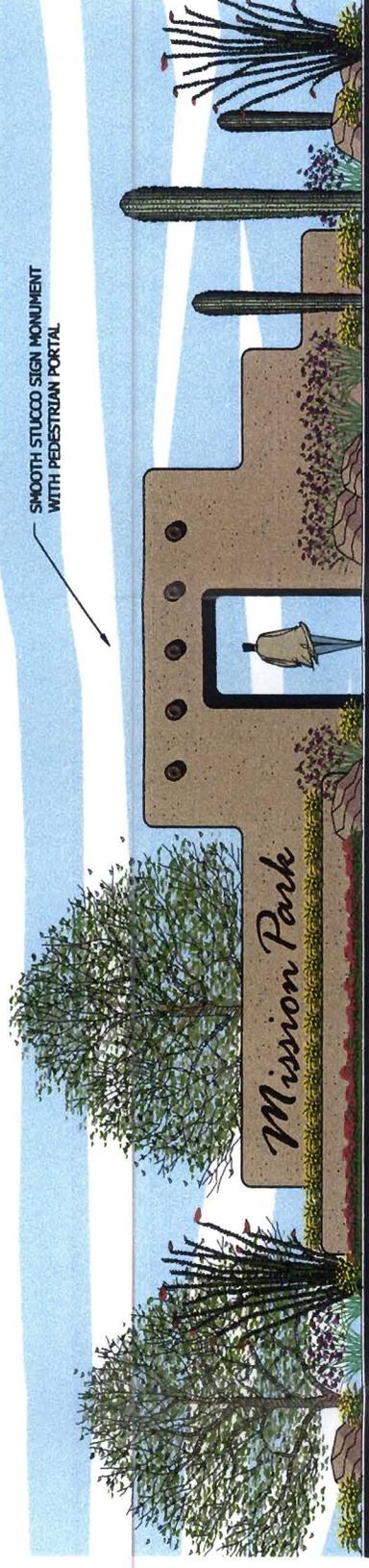
FIGURE 5



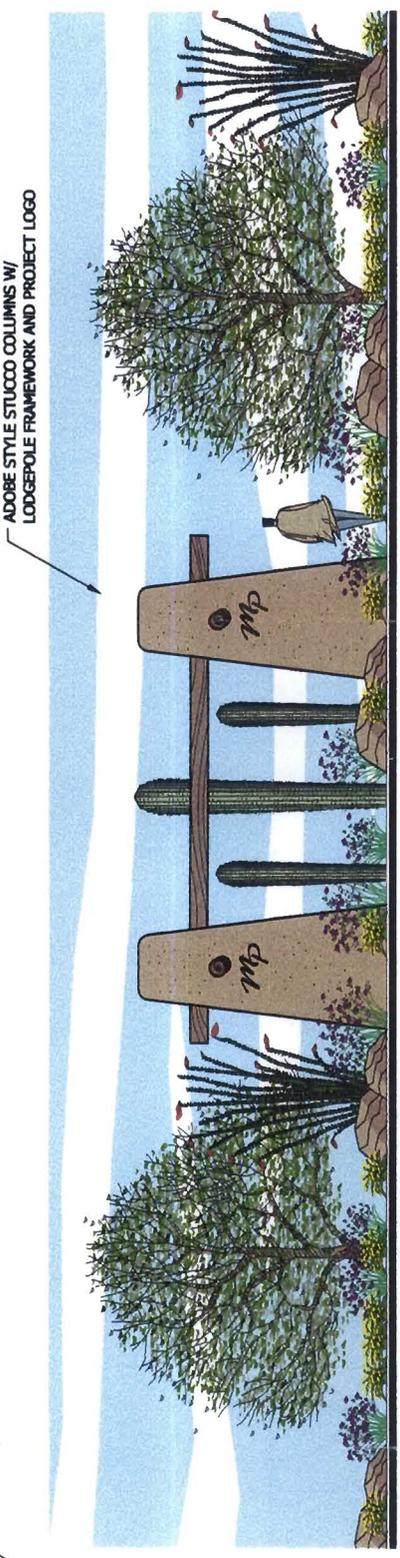
A



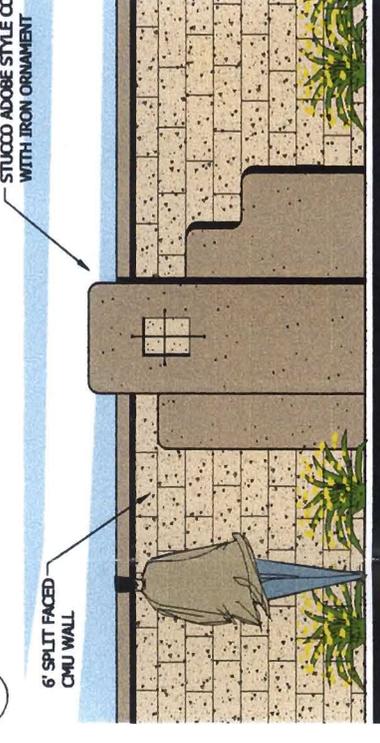
B



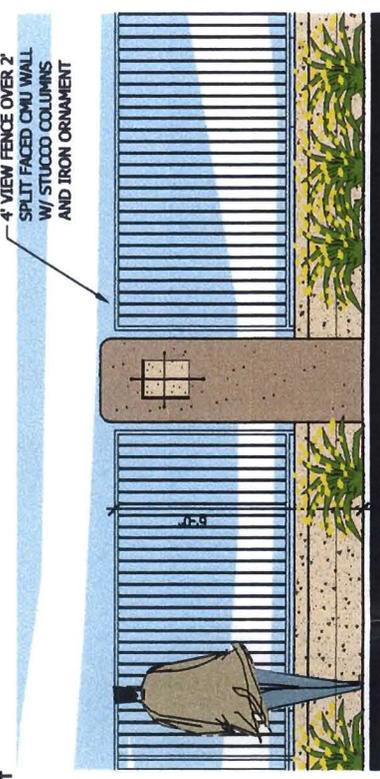
C



D



E



F

Casa Grande, Arizona

MISSION PARK

Ironwood Planning
 Landscape Architecture
 Land Planning
 Phoenix Office
 (Ph.) 602-362-1375
 (Fax) 602-362-2813
 Email: ironw@cox.net
 MAY 2006

CONCEPTUAL ENTRY AND WALL DETAILS

Details regarding the specific subdivision and home development standards, as well as a discussion of this project's conformance to Casa Grande's PAD Residential Design Standards, are noted in Appendix 'A' to this Development Guide.

2.3 Open Space

Approximately 17.76 acres of open space is proposed within **Mission Park** to be landscaped as inviting recreational areas. This open space is approximately 22.51% of the residential area – substantially more than the 15% minimum required by the city.

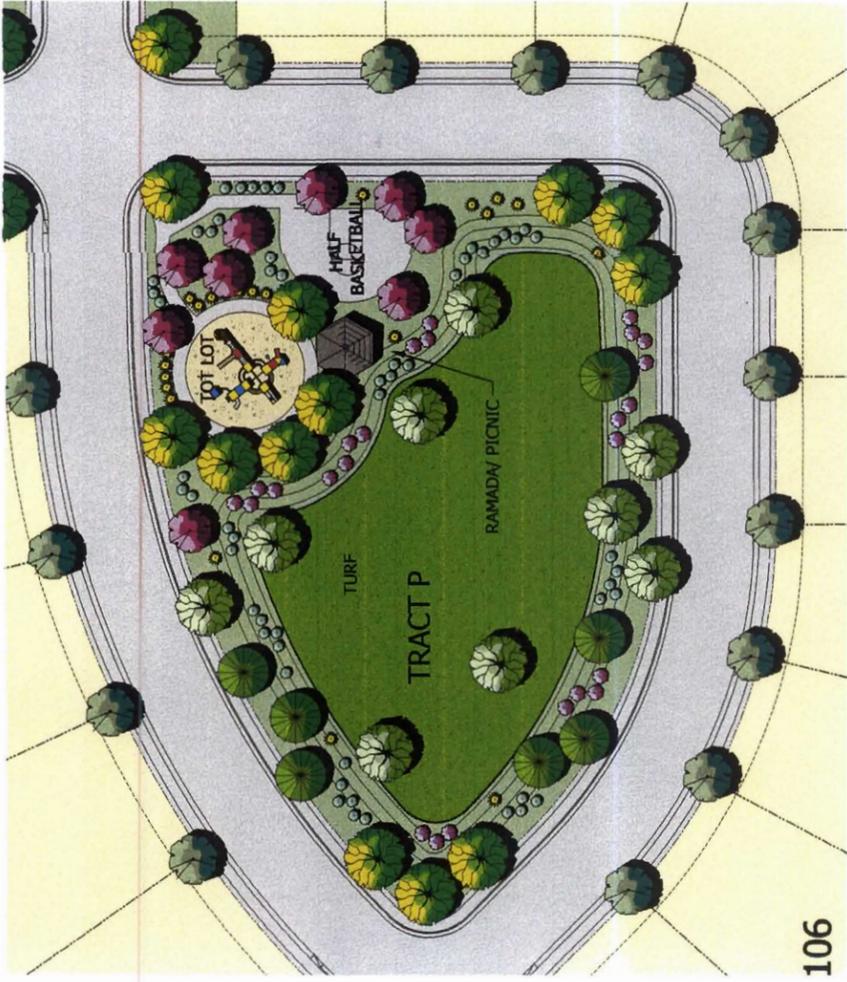
The internal open space, pathways and parks are strategically located for high visibility and easy access. In addition, the open spaces serve as connections through the site. Pedestrian trails and sidewalks provide convenient access to the parks (Tracts C, Q and U), as illustrated on the Conceptual Landscape Plan, **Figure 5**.

A 10-foot multi-use trail runs along the North Branch of the Santa Cruz Wash in accordance with the City of Casa Grande General Plan *Multi Use Path Plan*. A meandering 6-foot wide path will provide a pedestrian link for **Mission Park** residents to access the Santa Cruz Wash Trail. Trails are also designed along the entire length of Friar Road, from Tract C to the south collector street and from Arizola Road to the Cul-de-sac; providing a fully linked trail system. Pedestrian lighting will be provided along the pathways at a frequency that lights the paths in a safe manner, to be determined by the Landscape Architect or lighting consultant and the Planning Director. See Conceptual Entry and Wall Details, Conceptual Trail Light, **Figure 6**.

All walkways and paths will be constructed of concrete and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director and shall be covered by pedestrian and multi-use public access easements.

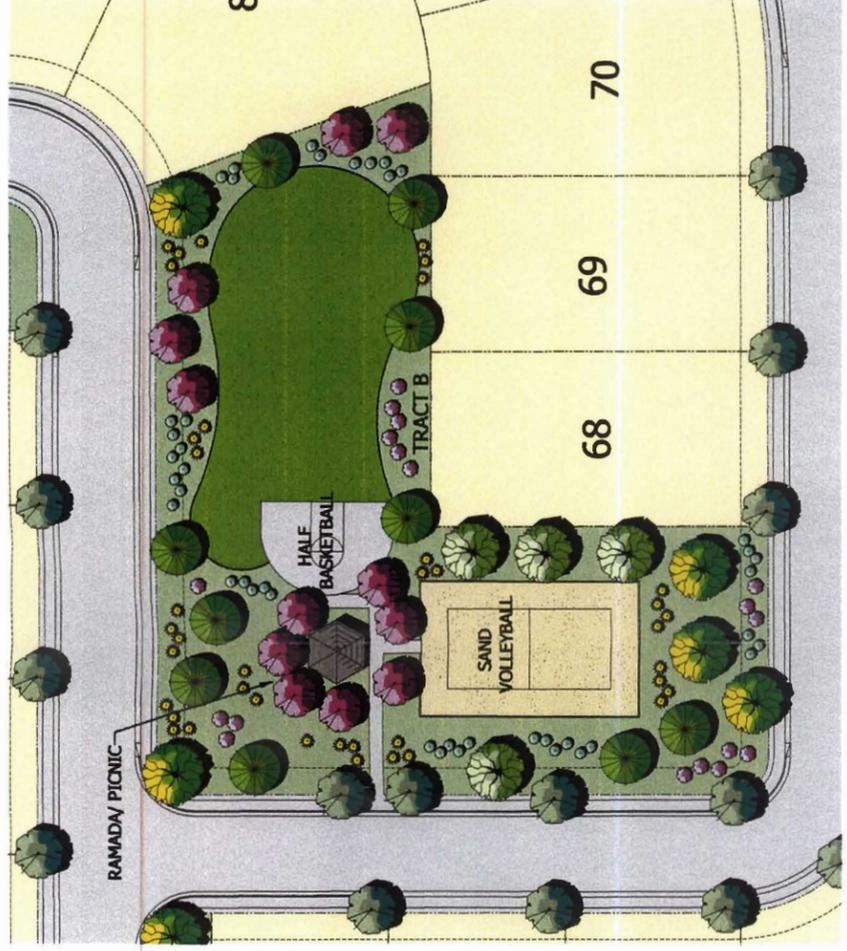
The open space areas are designed to retain or facilitate the flow of storm water generated on the site in an aesthetically pleasing design. The landscape design concept for the open space areas will include the use of shade trees, shrubs, ground cover, and areas of turf for passive recreation. Trees and plant materials selections are derived from the City of Casa Grande's approved plant palette, reflect the native vegetation of Arizona and are drought tolerant. See Conceptual Amenity Areas, Conceptual Plant Legend, **Figure 7**.

Open space tracts for the PAD shall be improved (i.e., landscaped, paths installed, etc.) concurrent with the phase in which it is located. Final landscape and amenity plans are subject to review and approval of the Planning Director.



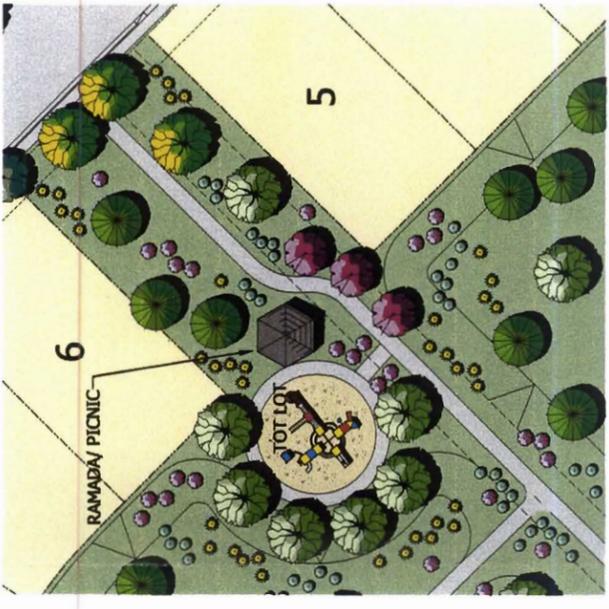
A AMENITY AREA "A"

Scale: 1"=30'



B AMENITY AREA "B"

Scale: 1"=30'



C AMENITY AREA "C"

Scale: 1"=30'

CONCEPTUAL PLANT LEGEND

SYMBOL	BOTANICAL/COMMON NAME	SIZE	SYMBOL	BOTANICAL/COMMON NAME	SIZE	SYMBOL	BOTANICAL/COMMON NAME	SIZE
	TREES PROSOPIS SP. 'PHOENIX' HYBRID MESQUITE	15 GAL.		SHRUBS CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE JUSTICIA CALIFORNICA CHUPAROSA	1 GAL. 5 GAL. 5 GAL. 5 GAL.		ACCENTS HESPERALOE PARVIFLORA RED YUCCA DASYLIRION LONGISSIMUM GREEN DESERT SPOON	5 GAL. 5 GAL.
	CERCIDIUM FLORIDUM BLUE PALO VERDE	24" Box		LARREA TRIDENTATA CREOSOTE CALLIANDRA ERIOPHYLLA PINK FAIRY DUSTER SIMMONSIA CHIMENSIS JOJOBA	5 GAL. 5 GAL. 5 GAL. 5 GAL.		FOUQUERIA SPLENDENS OCOTILLO AGAVE PALMERI PALMER'S AGAVE CARNEGIA GIGANTEA SAGUARO	12 CANE MIN. 5 GAL. VARIES
	CERCIDIUM PRAECOX PALO BREA	24" BOX		LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE LEUCOPHYLLUM CANDIDUM THUNDERCLOUD SAGE	5 GAL. 5 GAL.		GROUNDCOVER CONVOLVULUS CNEORUM BUSH MORNING GLORY LANTANA SPECIES 'NEW GOLD' 'NEW GOLD' LANTANA	1 GAL. 1 GAL.
	ACACIA ANEURA MULGA	24" BOX					MATERIALS CURBIMATE CONCRETE HEADER BY CURBIMATE DECOMPOSED GRANITE 'DESERT GOLD' OR APPROVED EQUAL MIDIRON HYBRID BERMUDA WEATHERED GRANITE BOULDER SURFACE SELECT (NO PIT RUN)	6 x 6 CURBSTYLE 1/2" SCREENED HYDROSEED

Casa Grande, Arizona

MISSION PARK

CONCEPTUAL AMENITY AREAS

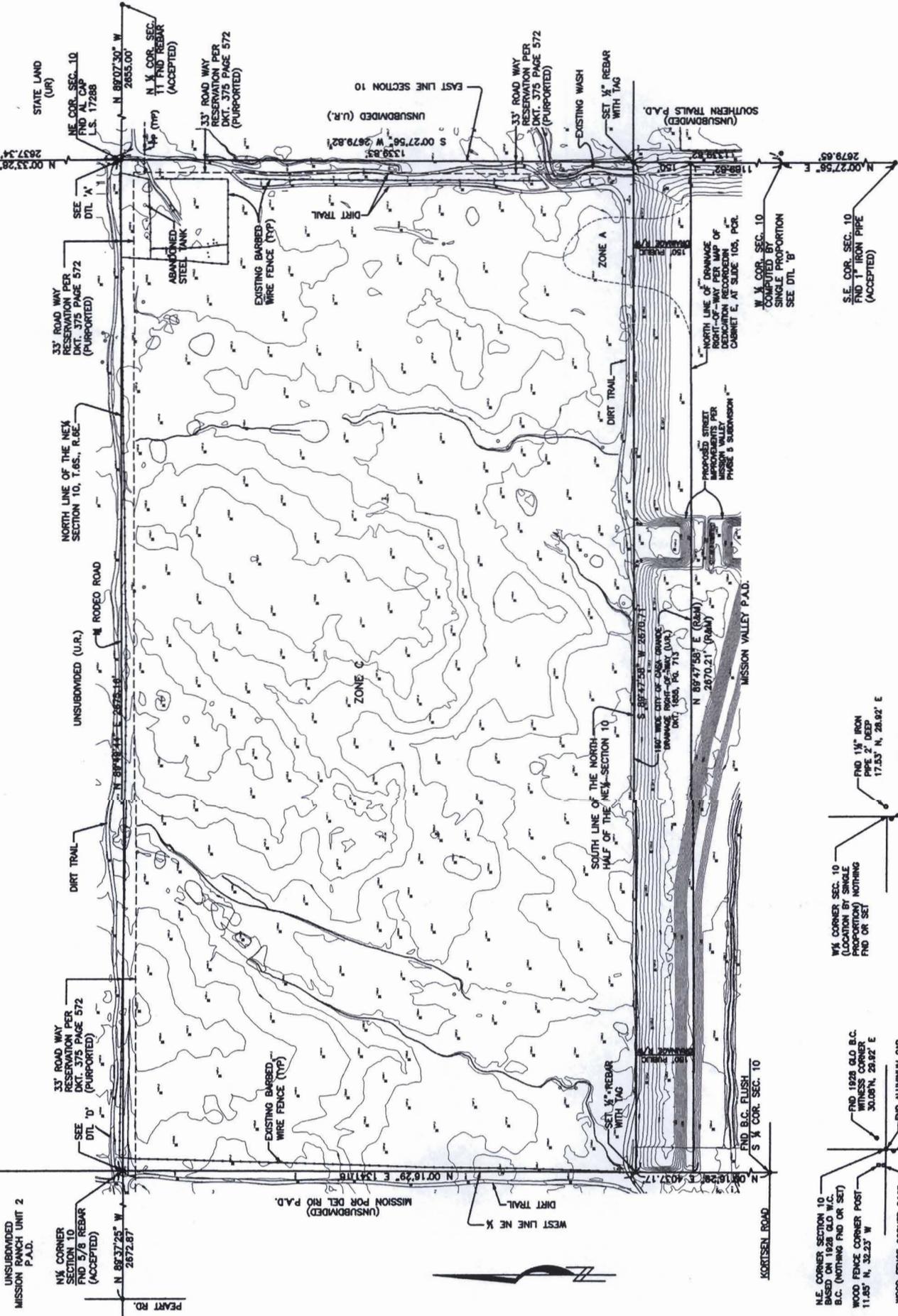
Ironwood Planning
Landscape Architecture
Land Planning
Phoenix Office
(Ph.) 623-362-1375
(Fax) 623-362-2813
Email: ironw@ironw.com
SEPT 08



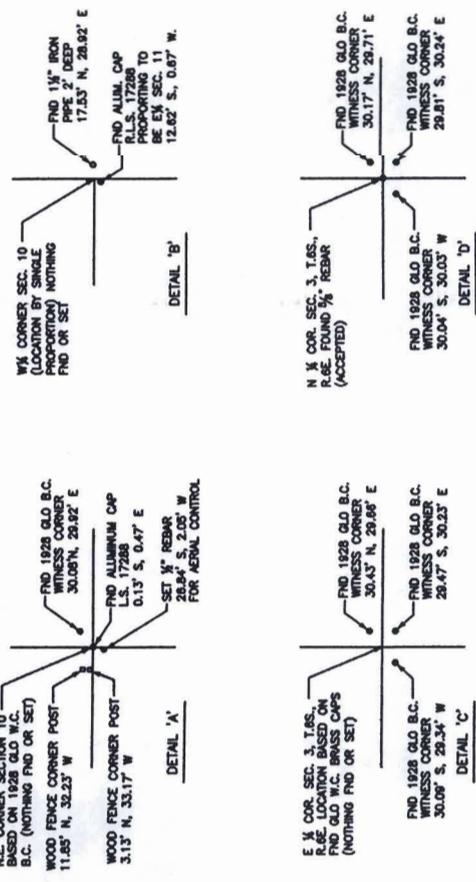
FIGURE 7

ALTA SURVEY

THE NORTH 1/4 OF THE NE 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 6 EAST OF THE GLA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.



- LEGEND**
- PROPERTY LINE
 - EASEMENT LINE
 - FOUND PIPE OR REBAR
 - FOUND BRASS OR ALUMINUM CAP
 - SET REBAR TAGGED RLS 13016
 - AS UNMARKED CORNERS



BENCHMARK:
 GOVERNMENT LAND OFFICE (GLO) WITNESS CORNER BRASS CAP ON 1" DIAMETER IRON PIPE SET NORTHEAST OF THE NORTHEAST CORNER OF SECTION 10, T.6S., R.6E. ELEVATION 1404.52 (CITY OF CASA GRANDE DATUM)

BASIS OF BEARING:
 NORTH LINE OF THE MAP OF DEDICATION FOR MISSION VALLEY AS RECORDED IN CABINET E, AT SLIDE 105, P.C.R. BEARING: N 89°47'58" E

CERTIFICATION:
 TO CHARLES POWELL AND FIDELITY NATIONAL TITLE INSURANCE COMPANY. THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEM 1, 2, 3, 4, 5, 6, 8, 10, 11, 14, 15, 16, AND 17 OF TABLE 'A' THEREOF. IN FULL EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT HE HAS OPERATED AS A LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA THAT THE ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

WILLIAM E. COLLINGS
 P.L.S. 18801



REFERENCE:
 FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE ORDER NO. 30023574 APRIL 19, 2005

ZONING: URBAN RANCH (U.R.)
 FRONT SETBACK: 20'
 SIDE SETBACK: 10'
 REAR SETBACK: 50'
 CORNER SIDE SETBACK: 50'
 *50' FOR ANY NON-RESIDENTIAL USE
 MAX. BLDG. HEIGHT: 28'

- SCHEDULE B:**
1. TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS. (NO ACTION BY D.N.A. INC.)
 2. PROCEEDINGS BY A PUBLIC AGENCY WHICH MAY RESULT IN TAXES OR ASSESSMENTS, OR NOTICES OF SUCH PROCEEDINGS, WHETHER OR NOT SHOWN BY THE RECORDS OF SUCH AGENCY OR BY THE PUBLIC RECORDS. (NO ACTION BY D.N.A. INC.)
 3. EASEMENTS, LENS OR ENCUMBRANCES, OR CLAIMS THEREOF, WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. (NO ACTION BY D.N.A. INC.)
 4. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER FACTS WHICH A CORRECT SURVEY WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. (SHOWN HEREON)
 5. (a) UNPATENTED MINING CLAIMS; (b) RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; (c) WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (a), (b), OR (c) ARE SHOWN BY THE PUBLIC RECORDS. (NO ACTION BY D.N.A. INC.)
 6. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE INCLUDING ANY PERSONAL PROPERTY TAXES, AND ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE YEAR 2005. (NO ACTION BY D.N.A. INC.)
 7. RESERVATIONS, EXCEPTIONS, AND PROVISIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, OR IN THE ACTS AUTHORIZING THE ISSUANCE THEREOF, AS FOLLOWS:
 SUBJECT TO ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING, OR OTHER PURPOSES, AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS AS MAY BE RECOGNIZED BY LOCAL CUSTOMS, LAWS AND DECISIONS OF COURTS. (NO ACTION BY D.N.A. INC.)
 8. AND THERE IS RESERVED FROM THE LANDS HEREBY GRANTED A RIGHT OF WAY THEREON FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES. (NO ACTION BY D.N.A. INC.)
 9. ANY OBLIGATIONS IMPOSED UPON SAID LAND BY ITS INCLUSION WITHIN THE FOLLOWING NAMED DISTRICT:
 DISTRICT: PINAL ACTIVE MANAGEMENT AREA GROUNDWATER REPLENISHMENT DISTRICT; CENTRAL ARIZONA WATER CONSERVATION DISTRICT AND PINAL COUNTY FLOOD CONTROL DISTRICT.

10. A RESOLUTION BY THE BOARD OF SUPERVISORS OF PINAL COUNTY WHICH STATES THAT A ROADWAY IS ESTABLISHED OVER A PORTION OF SAID LAND. (SHOWN HEREON)
 RECORDED: FEBRUARY 21, 1984, IN DOCKET 375, PAGE 572

11. ORDINANCE NO. 2171-1, AMENDING THE AIRPORT INFLUENCE AREA AND INSTRUCTING THE REORDANATION OF THE AMENDED AIRPORT INFLUENCE AREA MAP BY THE CITY CLERK'S OFFICE WHICH WAS PASSED AND ADOPTED BY THE COUNCIL AND APPROVED BY THE MAYOR OF THE CITY OF CASA GRANDE ON DECEMBER 16, 2002 AND RECORDED ON FEBRUARY 3, 2003 AS INSTRUMENT NO. 2003-007184. (DOES NOT AFFECT THE SUBJECT PROPERTY)

NOTES:
 THERE IS NO OBSERVABLE EVIDENCE OF ITEMS 16, 17 OR 18 OF ALTA/ACSM ADDITIONAL REQUIREMENTS ON THIS SITE.

LEGAL DESCRIPTION:
 THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 6 EAST OF THE GLA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, CONTAINS 82.2517 AC. (3,562,883.01 S.F.)

FLOOD PLAIN STATEMENT:
 SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE 'C' DESIGNATION ON THE FLOOD HAZARD IDENTIFICATION MAP OF PINAL COUNTY, ARIZONA, DATED MARCH 5, 1980 FOR COMMUNITY # 140077 IN PINAL COUNTY, STATE OF ARIZONA WITH A MINOR INCURSION OF FLOOD ZONE 'A' IN THE SITES SOUTHWEST CORNER.

UTILITY STATEMENT:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

The open space / parks will be developed to serve a variety of residents. See Conceptual Amenity Areas, **Figure 7**. Tract P (Amenity Area 'A'), located in the western portion of the community, will include a children's play area, a half basketball court, ramadas, barbecue grills, picnic tables and a turf area for passive recreation. Tract B (Amenity Area 'B'), located in the eastern portion of the community, will include shade trees, ramadas, barbecue grills, picnic tables, sand volleyball, a half basketball court and open turf areas. Tract 'T' (Amenity Area C), located in the southwest portion of the community will include a children's play area, ramadas and picnic tables. The remaining open space areas will include shade trees and desert landscaping providing a more reflective and passive park use.

All the open space / park areas are connected by the pedestrian trail and sidewalk system so all residents will have the benefit of easy access. Open space tracts have been designed with trails on both sides of the street, the entire length of Friar Road, to create a unifying element and a major focal point for the community.

2.4 Front Yard Landscape

The developer will offer to the homebuyer a selection of front yard landscape packages. The front-yard landscaping will be installed by the developer within thirty days of home occupancy and will be maintained by the individual homebuyer. Front yard landscape packages will include a variety of water-conserving plants from the City of Casa Grande's approved plant palette. A minimum of two fifteen gallon trees, eight five-gallon shrubs or accent plants, and six one-gallon ground cover plants, plus an automatic irrigation system and granite rock topping is required for each lot. Turf may be offered by the developer/homebuilder as a front-yard landscape option.

The turf area shall not exceed 20% of the front yard area and shall be separated from decomposed granite areas by a concrete or brick header. Decomposed granite or river rock will cover all exposed areas. A minimum of four standard landscape plans shall be offered and one plan shall include river run design that uses 3"-8" river rock or fractured granite. Modifications to these minimum requirements are subject to the review and approval of the Planning Director.

3.0 Relationship to City of Casa Grande General Plan

The Casa Grande General Plan indicates that the site is appropriate for Low-density residential (1-4 dwelling units per acre). **Mission Park's** proposed land uses include 82.25 acres of low density residential with 3.11 dwelling units per net acre. The

proposed uses are within the allowed density and conform to the land uses and land use policies of the Casa Grande General Plan.

4.0 Existing Site Conditions

As shown on the ALTA Survey, **Figure 8**, **Mission Park** consists of approximately 82 acres located at the southeast intersection of the Rodeo and Henness Road alignments. The site is in a natural state with desert vegetation. The North Branch of the Santa Cruz Wash is adjacent to the site's south boundary as is the regional detention facility associated with Mission Valley; Mission Valley PAD is directly south of the Santa Cruz Wash.

The site drains to the southwest with an approximate slope of 0.4%. Offsite drainage is minimal with the exception of a wash that runs through the southeast corner of the site. The offsite drainage will be contained / routed through the site via retention / drainage tracts.

A 45 feet wide Transmission gas pipeline easement is located north south along the east portion of the site, west of the Santa Cruz Trail (Henness Road alignment) right of way. This gas line easement was added in 2008 and is the purpose of the July 2008 revision to this PAD which was previously filed on May 22, 2006.

5.0 Relationship to Surrounding Properties

Mission Park is located adjacent to existing and planned single family housing communities. As shown on Existing Zoning, **Figure 2**, the surrounding area is a combination of planned and existing residential subdivisions, and vacant parcels. The character and zoning of the surrounding properties are as follows:

- The area to the north is undeveloped vacant desert parcels zoned UR.
- The area to the east is currently undeveloped vacant desert zoned UR
- The properties to the northwest are zoned for PAD residential developments as Mission Ranch Units I and II
- The area to the south includes the North Branch Santa Cruz Wash, zoned UR and the planned Mission Valley Community, zoned PAD.
- To the southeast is a residential component of the mixed-use Southern Trails community, zoned PAD.
- The area to the west and southwest is the planned Mission Por del Rio community, zoned PAD.

6.0 Accessibility

Mission Park has access from Rodeo Road to the North, Friar Road (planned street within Mission Valley PAD) to the South, Arizola Road within Mission Por del Rio (planned community) to the west and Henness Road to the east. A system of Local Streets will be provided throughout the community.

7.0 Circulation System and Street Improvements

7.1 Arterial Roadways

The Rodeo Road alignment is adjacent to the northern boundary of **Mission Park**. The developer will be responsible for the engineering and construction of the south half of Rodeo Road adjacent to **Mission Park**. Rodeo Road is currently a two lane paved minor arterial roadway (66-foot total right-of-way) west of Peart Road. Extending east from Peart Road, and adjacent to the north side of **Mission Park**, Rodeo Road is an unimproved dirt track. Rodeo Road improvements for the half-mile from Peart Road to the property's west line are to be installed in conjunction with the previously approved Mission Por Del Rio and Mission Ranch Unit 2 PADs. The **Mission Park** developer will dedicate right-of-way for a total of 55 feet half street along the **Mission Park** frontage. See Typical Street Sections, **Figure 9**. The developer will install paving, curb, gutter, striped bike lane, six-foot wide detached, meandering sidewalk, streetlights and landscaping within the right-of-way per minor arterial requirements.

7.2 Collector Streets

The developer will be responsible for the engineering and construction of a half street for the collector street adjacent to the eastern border of **Mission Park**. The developer will dedicate right-of-way for a total of 40 feet adjacent to the site. Collector street improvements will include paving, curb, gutter, streetlights and a detached five-foot wide sidewalk for the west half of this collector street, along the east property line of the project. This collector street will be constructed to its full width with an 80-foot right-of-way dedication from the east boundary to its intersection with the south Friar Road traffic circle.

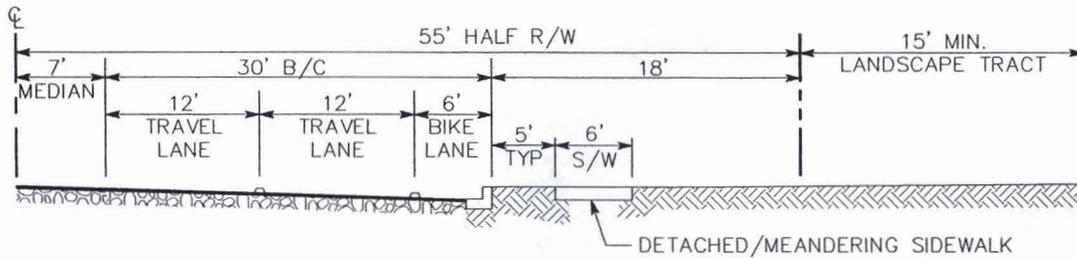
7.3 Local Streets

The developer will be responsible for the engineering and construction of local streets, cul-de-sacs and roundabouts within **Mission Park**. The developer will dedicate 44 feet of right-of-way for all local streets. Local street improvements will include paving, curb, gutter and an attached four-foot wide sidewalk on both sides of the rights-of-way. Upon

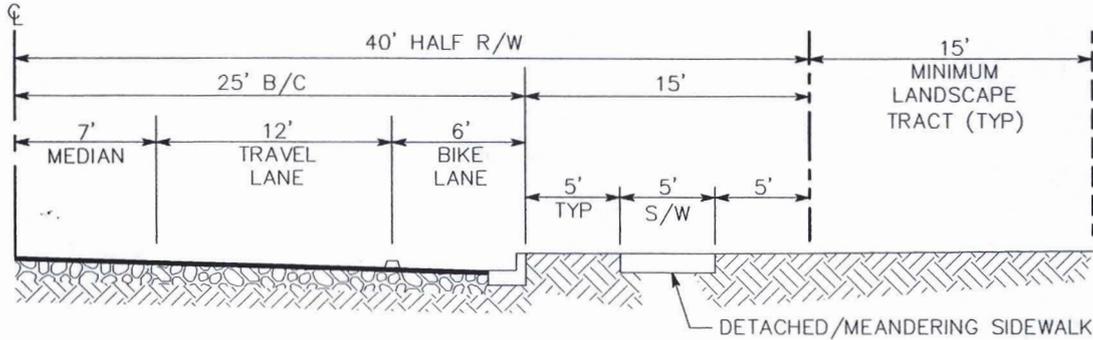
completion of construction, maintenance of improvements within rights-of-way will be the responsibility of the City of Casa Grande.

Sidewalks along all collector and arterial roadways will be detached from the curb, except at intersections, and will meander within the right-of-way. Cross sections and striping plans for arterial and collector roadways are subject to the review and approval of the City Engineer and City Planning Director. Striped bike lanes, meeting AASHTO standards and the recommendations of the City Engineer, shall be provided on all collector and arterial roadways. Upon completion of construction, and acceptance by the City of Casa Grande, maintenance of improvements within the right-of-way will be the responsibility of the City of Casa Grande except for the maintenance of landscaping, which will be maintained by the project's homeowners association.

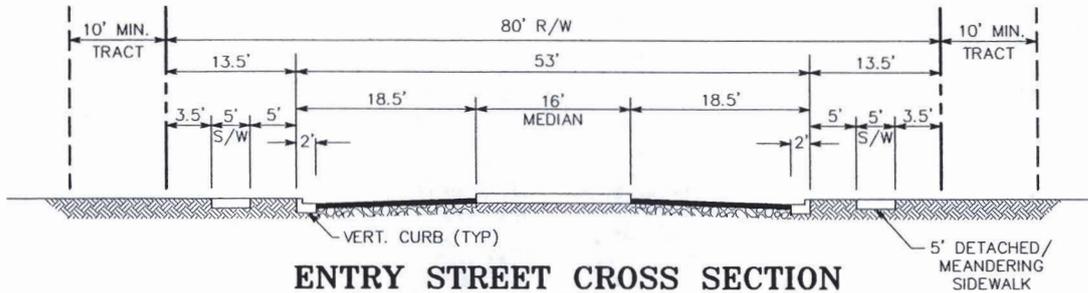
The homeowners association will maintain all landscaping within the public right-of-way except for any landscaping occurring within arterial road medians.



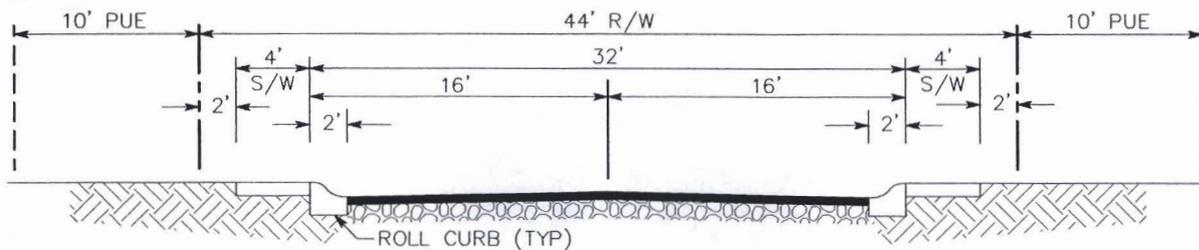
RODEO ROAD MINOR ARTERIAL CROSS SECTION
(LOOKING EAST)



SANTA CRUZ TRAIL MAJOR COLLECTOR CROSS SECTION
(LOOKING SOUTH & WEST)



ENTRY STREET CROSS SECTION



44' LOCAL STREET CROSS SECTION

FIGURE 9 - TYPICAL STREET SECTIONS

D.N.A. INC. CIVIL ENGINEERING LAND SURVEYING	340 E. WILLETTA ST.		
	PHOENIX, ARIZONA 85004 (602) 271-9911		
DRAWN SHEA	DATE 5/19/06	JOB 05-176	SHEET 1 OF 1

8.0 Public Facilities

Police and fire protection will be provided by the City of Casa Grande.

Mission Park is located within both the Casa Grande Elementary School District and the Casa Grande Union High School District. The Casa Grande High School Board of Governors approved a donation agreement for **Mission Park** on March 7, 2006. The Governing Board of Casa Grande Elementary School approved a donation agreement on March 14, 2006. Students will attend the new elementary school in Mission Valley and Cactus Middle School.

This residential development will include usable open space areas, active recreational areas and other passive recreational amenities as noted previously throughout this document.

9.0 Phasing Plan

The project may be developed in a single phase. However, if it is determined that the site can be developed in phases, a phasing plan will be submitted to the City of Casa Grande for review and approval of the City Engineer, Planning Director and the Planning and Zoning Commission during the Preliminary Plat review process.

10.0 Utilities

Any utilities running through the site or any utilities that need to be relocated for development of the property will be placed underground except as approved by the City Council. Sewer facilities, streetlights, and fire hydrants will be provided according to City of Casa Grande codes and per the recommendations of the Engineering and Fire Departments. Upon completion of construction and acceptance, operation and maintenance of all utilities and facilities will rest with the appropriate operating agency.

10.1 Sewer

The City of Casa Grande's sewer facilities that will serve this site consist of an 18-inch main, constructed in Magdalena Place to the north line of Mission Valley Phase 3a. This 18" main will be extended across the North Branch of the Santa Cruz Wash detention basin facilities and the Arizola Drain flood control channel in conjunction with site development. The preliminary sewer analysis indicates that the generated demand will be satisfied by the existing facilities. The developer will be responsible for extending City sewer service into this development in accordance with City Engineer approved final sewer reports and plans and all applicable City codes.

A Preliminary Sewer Report will be submitted to and approved by the City Engineer prior to approval of the Preliminary Plat for the site. Final sewer reports and plans, meeting the approval of the City Engineer, are required prior to the approval of any Final Subdivision Plats or Major Site Plans for this project.

10.2 Potable Water

Potable water for **Mission Park** will be provided by the Arizona Water Company. The site lies within the Arizona Water Company service area. The company's water system will serve the site with a 12-inch main, to be located in Friar Road and extended across the North Branch of the Santa Cruz Wash with the construction of Mission Valley Phase 5. The developer will install a 12-inch main within Friar Road to connect to the proposed 12-inch main located south of the site. This 12-main will be extended east from the south Friar Road traffic circle and north along the site's east boundary to Rodeo Road. A 12-inch main will be installed along the project's Rodeo Road frontage. The developer will also install 6-inch and 8-inch mains within all local streets in accordance with the Arizona Water Company's standards.

A Preliminary Water Report will be submitted to and approved by the Arizona Water Company and the City Engineer prior to approval of the Preliminary Plat for the site. Final Water reports and plans, meeting the approval of the City Engineer and Arizona Water Company, are required prior to the approval of any Final Subdivision Plats or Major Site Plans for this project. The developer will provide a 100-year Assured Water Supply Certificate prior to Final Plat approval.

10.3 Electrical Power

Electrical service will be provided by Arizona Public Service Company.

10.4 Natural Gas

Southwest Gas Company will supply natural gas.

10.5 Telephone

Qwest Communications will provide telephone service.

10.6 Sanitation

Waste disposal services will be provided by the City of Casa Grande.

11.0 Grading and Drainage Concept

Most of the site lies outside the 100-year floodplain (Zone C) with the exception of a small portion at the southeast corner of the project that contains a wash that drains into the North Branch of the Santa Cruz Wash – a regional detention facility associated with the Mission Valley PAD. This area falls into Flood Zone A – Area of 100-year flood; base flood elevations and flood hazard factors not determined. The grading and drainage concept for **Mission Park** consists of providing retention basins within the proposed open space areas as required. The property will be graded to drain toward the retention basins. The streets will be designed per the City of Casa Grande criteria to convey all onsite storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. Offsite storm drainage will be accommodated through adequately designed water conveyance systems.

Final drainage and retention reports and plans, meeting the approval of the City Engineer, are required prior to the approval of any Final Subdivision Plats for this project. A Conceptual Grading and Drainage Design Report will be submitted to and approved by City Engineer prior to approval of the Preliminary Plat for the site. Final drainage reports and plans, meeting the approvals of the City Engineer, are required prior to the approval of any Final Subdivision Plats for this project.

The retention basins will be designed as multi-use facilities, combining retention facilities with playground equipment and recreational opportunities. To minimize the disruption of use during and after storms, all playground equipment will be elevated out of the 25-year storm event. Drywells will be used as recommended by the City Engineer.

12.0 Residential Covenants, Conditions, & Restrictions

In order to assure the residents that their investment in the community and home will endure, **Mission Park** will be controlled by a strong set of Covenants, Conditions, and Restrictions (CC&Rs). The CC&R's will incorporate the design principals as outlined in this document and will promote diversity in home sites, color, texture, and streetscapes, not only from neighborhood to neighborhood but also from neighbor to neighbor. The CC&R's will be presented to the City Planning Director for review prior to the recording of any Final Subdivision Plats.

13.0 Homeowners Association

A homeowners association will be formed with the development of **Mission Park** which

will maintain all landscape tracts, perimeter walls, and open space areas and related open space amenities within and adjacent to the single family residential parcels including drainage ways, perimeter walls and landscaping within rights-of-ways (except arterial roadway medians).

14.0 Development Team

The Developer has assembled a development team to design **Mission Park** as a community that they can be proud of, that meets the expectations of the City, and provides a sustainable neighborhood for the families that will live and play in **Mission Park**.

Developer:

Fausset Neely, Inc
199 Figueroa Street
3rd Floor
Ventura, California 93001
Contact: Richard L. Fausset
Phone: 805-643-9358, Ext. 12
Fax: 805-643-0361

Land Planner/Engineer:

DNA, Inc
314 East 8th Street,
Casa Grande, Arizona 85222
Contact: William Collings, PE
Phone: 520.836.5501
Fax: 602.271.9985

Zoning Consultant:

Jackie L. Guthrie & Associates
19410 West Black Knob Street
Casa Grande, Arizona 85222
Contact: Jackie Guthrie, AICP
Phone: 520.560.4821
Fax: 520.836.6770

Landscape Architect:

Ironwood Planning
6638 West Straight Arrow Lane,
Phoenix, Arizona 85085
Contact: Brian Rude
Phone: 623.362.1375
Fax: 623.362.2813

15.0 Conclusion

Mission Park is a community, which invites its residents to walk, run, ride, play and mingle. The open space areas are strategically located for high visibility and easy access. The curvilinear streetscape is enhanced with street trees. Additional design features include roundabouts, significant entry monumentation and attractive perimeter theme walls that combine to create a high quality residential community.

Development of **Mission Park** will be in accordance with applicable code requirements of the City of Casa Grande, the City's Residential Design Standards for PAD's and the approved Development Guide, and any other conditions deemed necessary by the City of Casa Grande City Council.

Appendix A

1.0 Residential Development Standards

Mission Park has been designed to incorporate as many of the City of Casa Grande's Residential Design Standards for Planned Area Developments as possible. The following outlines how the design of **Mission Park** has met or exceeded these standards.

1.1.0 Mandatory PAD Layout and Design Standards

1.1.1 Open Space

Approximately 17.8 acres of open space is to be landscaped as recreational park areas and pedestrian corridors. See Conceptual Landscape Plan **Figure 5**. The open space equates to approximately 21.6% of the site. This open space percentage exceeds the 15% open space required by the City for PAD's. The internal open space areas and trails are located to provide access to all residents in the community. Every home within **Mission Park** will be within 1000 feet of a pathway or open space area. A Homeowners Association will be formed to maintain all landscape tracts.

The open spaces are strategically located for high visibility and serve as pathways through the site. These open spaces are connected by a series of pedestrian sidewalks and trails, which serve to physically and visually tie the neighborhood together. Safety lighting will be provided for some open space areas as required by the City Planning Director.

Landscaped channels will be used to move stormwater generated on site to retention basins located throughout the community in an aesthetically pleasing design. The channels will include concrete trails, trees, shrubs and granite ground cover.

The proposed open space areas will provide minimum retention for the project with the major purpose as useable open space including sport courts, play equipment, picnic tables, ramadas, benches, shade trees, turf and varied plant massings. At least 15% of any retention basins that are designed for recreational usage will be elevated above the 25-year floodwater surface elevation. Drywells will be utilized where necessary in retention basins per the City of Casa Grande drainage design guidelines.

A final landscape and open space amenity plan, meeting the approval of the City Planning and Development Director shall be submitted prior to the approval of any Final Subdivision Plats for the property.

1.1.2 Multi-Story Single Family Homes

No multi-story single family homes shall be built on corner or end lots, including all lots at the side of each entrance into the development.

1.1.3 Streetscapes and Entrances

The perimeter wall design as depicted in this document shall consist of stuccoed concrete with iron ornaments. See Conceptual Entry and Wall Details, **Figure 6**. The theme wall will consist of adobe style stucco walls with a combination of stone veneer and stucco columns. The columns will be located approximately 120 -180 feet apart. A view fence will be utilized at the rear lot line adjacent to open space corridors. The view fence will consist of 4-feet of wrought iron over a 2-foot stuccoed block wall. All columns will include stucco and / or stone veneer and a precast concrete cap. Wall details and colors shall be submitted for the review and approval of the City Planning and Development Director.

A minimum 20-foot wide landscape tract shall be provided adjacent to arterial streets and a minimum 15-foot wide landscape tract shall be provided adjacent to collector roadways.

Entry monumentation will include two major entry monuments at the north and south project entrances. The simple thematic monuments will include a smooth stucco concrete sign wall with a pedestrian portal and planting beds. The lighted entry monuments will be installed by the developer and will promote the sense of arrival and of a high-quality residential community.

1.1.4 Front Yard Landscaping

The homebuilder will offer to the homebuyer a selection of front yard landscape packages. The front-yard landscaping will be installed by the homebuilder within thirty days of home occupancy and will be maintained by the individual homebuyer. Front yard landscape packages will include a variety of water conserving plants. A minimum of two fifteen-gallon trees, eight five-gallon shrubs or accent plants, and six one-gallon ground cover plants, plus an automatic irrigation system and granite rock topping is required for each lot. Turf may be offered by the homebuilder as a front-yard landscape option. The turf area shall not exceed 20% of yard area and shall be separated from decomposed granite areas by a concrete or brick header. Decomposed granite or river rock will cover all exposed areas. A minimum of four standard landscape plans shall be offered and one plan shall include river run design that uses 3"-8" river rock or fractured granite.

Modifications to these minimum requirements are subject to the review and approval of the Planning Director.

1.1.5 Miscellaneous

Side yard fence returns for all interior lot walls shall extend to within 10 feet of the front corner of the homes. All walls exposed to the public shall be painted the color of the primary decorative theme or perimeter walls, except walls for each individual home/lot may be the color of the residence.

1.2.0 Additional Requirements for PAD Layout and Design

The following additional development standards will be utilized at **Mission Park**.

- Curvilinear street system. The project has been designed with a curvilinear street system. The streets were designed to create identifiable neighborhoods, and to provide ease of access for residents. The streets system design also discourages cut-through traffic and acts as a traffic slowing measure.
- Stagger front yard setbacks. Front-loaded garages will vary in setback from 20 feet to 23 feet. The developer proposes to vary the building relationship to the street by providing a 23-foot front setback on every third or fourth lot with a front-loaded garage. The minimum setback for front porches, side-entry garages and livable areas, which project in front of the front-loaded garage, shall be 15 feet. Lot development standards are noted on the Development Plan included within this document.
- Pedestrian Pathways. 6-foot wide trails and concrete sidewalks physically tie the community together. The trail and sidewalk network shall be designed to provide safe and convenient connections/linkages to all open space amenities. All walkways and paths will be constructed of concrete and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director. Except for those located within public right-of-way, all paths and walks shall be covered by pedestrian public access easements, if requested by the City.
- Enhanced Subdivision Entries. The entrances to **Mission Park** shall be designed to create a sense of arrival. Attractive lighted entry monuments as depicted in this document will be installed by the builder/developer and will promote the sense of a high-quality residential development.
- Landscape Buffers. Landscape tracts/buffers are provided along all arterial and collector roadways as depicted in this document. As noted previously, a minimum 20 foot wide landscape tract shall be provided adjacent to arterial streets and a minimum 15

foot wide landscape tract shall be provided adjacent to collector roadways, although portions of the site will provide significantly more width due to drainage conveyance.

- Enhanced Perimeter Wall Design. The perimeter wall design as depicted in **Figure 6** illustrates the use of varied materials including stuccoed concrete, iron ornaments and stone veneers with an adobe theme. Columns including stucco and / or stone veneer with a decorative ornament will be located approximately 120-180 feet apart. Wall details and colors shall be submitted for the review and approval of the City Planning and Development Director.

2.0 Mandatory Residential PAD Architectural Standards

The residential product for **Mission Park** has not been determined at this time. The homes shall have architectural diversity while still maintaining a cohesive architectural theme and character. The product that will be built at **Mission Park** will incorporate architectural elements that will help create a diverse and aesthetically pleasing street scene. Product elevations and floor plans will be presented to the City of Casa Grande Planning and Development Department and City Planning and Zoning Commission for review and approval prior to the issue of any single family residential building permits for **Mission Park**.

The following guidelines will be followed when developing the product for the project:

2.1 Floor Plans and Elevations

- A minimum of five home floor plans, each with three distinct elevations, will be offered within each definitive housing price range or product type.
- A minimum of five distinct home color schemes will be offered within each definitive housing price range or product type.
- The developer/homebuilder will not allow two homes with the same front elevation or color schemes to be located on adjacent lots or across from each other within **Mission Park**. A variety of architectural design features will be incorporated into each home elevation to promote diversity from home to home.
- There will not be any more than three consecutive similar rear home elevations for homes backing on Arizola Road, Rodeo Road or the east collector street.
- Emphasis (covered front porches, bay windows, etc.) will be placed on the front elevations of homes. Front entries will be visible from the street.
- Emphasis will be placed on all elevations facing roadways and open space

areas. Window pop-outs, windowsills, recessed windows and/or similar architectural embellishments will be provided on all front, rear and side elevations.

2.2 Roofs

- A variety of home roofing colors, shapes and / or textures will be offered. A variation of ridgelines and designs will be provided. Concrete tile shall be utilized for all sloped roofs. The Planning and Zoning Commission may give consideration to alternate durable roof materials that are consistent with the housing theme of **Mission Park**.
- Unique roof colors will be matched to each home color scheme.
- Residential dwelling units and accessory buildings/structures will have no roof-mounted or wall-mounted mechanical equipment including HVAC, or evaporative coolers. All such equipment must be ground-mounted.
- Covered courtyards or patio areas will be standard and will be incorporated into the architecture of the home.
- Patio cover columns will be provided. Complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Development Director.

2.3 Garages

- No garage will extend forward of a home's livable area or covered front porch by more than ten feet, except for side entry garage designs.
- At least one elevation per floor plan per parcel or product type will have the livable area of the home forward of the garage.
- Front loaded garage doors shall not exceed fifty percent of the house width (frontage). Where more than a standard two car front entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

2.4 Additions and Modifications

- All additions to homes shall be constructed of the same building materials as the principal residence and painted to complement the home.
- Garages shall not be converted or enclosed for other uses.
- Accessory buildings shall be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence.

3.0 Additional Requirements for PAD Residential Architecture

Four of the standards listed below will be mandatory for the developer to implement at **Mission Park**. These additional requirements for PAD residential architecture will be presented to the Planning and Zoning Commission prior to approval of the final subdivision plats.

- Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
- Provide unique architectural styles for all homes within a parcel or parcels of a PAD. Depart from currently popular architectural styles to use other unique house styles, such as Craftsman, Prairie, Territorial, Ranch.
- Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and/or dormers as standard features on all homes.
- Reduce the number of standard front-loaded garages. At least one floor plan per project or product type shall have the garage oriented towards the rear of the home as a standard feature. In addition, the number of floor plans using side-loaded garages as standard features shall be increased from the minimum required.
- Reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, providing multiple roof changes, and/or other effective means.
- Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.
- Applicant's choice. An opportunity for creativity and design innovation is provided here.