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Grande Government*

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*I. Project
Introduction*

I. PROJECT INTRODUCTION

This request relates to the proposed Mira Vista Planned Area Development, an approximately 483-acre property located at the southwest corner of Trekell Road and Hanna Road. The future development plans for this property begin with this request to concurrently obtain the following land entitlements: annexation into the City of Casa Grande, adoption by City Council of a Development Agreement, Planned Area Development (PAD) zoning, and an amendment to the land use designation in the Casa Grande General Plan 2010. The owner of this property, Vern W. Haugen, has been waiting for the right time to bring forth plans for the transformation of this property from an undeveloped vacant land to a master-planned, mixed-use community that will be described in detail throughout this PAD document. The intent of the owner is to work closely with the City of Casa Grande to provide the foundation for a community envisioned to consist of a variety of residential housing types, neighborhood type commercial uses, an area reserved for a future police and fire station, an elementary school site (if needed by the Casa Grande Elementary School District) and open space and recreational opportunities.

The proposed amendment to the land use designation in the Casa Grande General Plan 2010 would change the land use designation from Rural Residential to a combination of Low Density Residential, Medium Density Residential and Commercial, thereby ensuring that the property is fully consistent with the goals and policies of the General Plan. These land use designations will also serve to simplify any future amendments to the PAD that may be required based on changing demands of homebuilders and market conditions.

The Development Agreement is now standard practice in the process of entitling land. This agreement between the Casa Grande City Council and the property owner runs with the land and provides assurances for both parties with regard to the manner in which the property is developed. It assists in guaranteeing that the infrastructure required to build the community will be constructed in a timely manner, with the full availability of funding mechanisms and with the full support and cooperation of both the developer and the City of Casa Grande.

Planned Area Developments are more desirable for land development as opposed to unregulated development because of the road improvements, provision of water and sewer, and drainage improvements, if needed, that are introduced to the area. Unregulated development poses environmental threats such as underground water pollution due to the use of septic tank systems and uncontrolled water pumping due to the use of local wells. It also creates traffic congestion due to unimproved roadway systems.

This PAD will provide for a variety of housing styles and densities, local commercial development along planned major arterial road alignments, an elementary school site in accordance with the needs of the Casa Grande Elementary School District, an area for a future police and fire station and lastly, will offer a variety of recreational opportunities. The community will strive to be consistent with the goals and policies of the City of Casa Grande General Plan 2010 and the Planned Area Development District as described in the City of Casa Grande Zoning Ordinance.

*II. Existing
Conditions*

II. EXISTING CONDITIONS

A. Site Location

The Mira Vista Planned Area Development (PAD) is located in an area west of the current limits of the City of Casa Grande and is situated in an area that is anticipated for future growth and development. Please refer to *Exhibit A: Regional Location Map* for a depiction of the property in context with the City of Casa Grande. The property is positioned approximately one half mile south of Interstate 8 and primary access to the site is via the existing Trekell Road traffic interchange, which is identified by the Arizona Department of Transportation as Exit 174, Trekell Road Interchange.

The tax parcel numbers for the subject property are 511-19-007A, 007D, 007E, 007F, and 007G. Please refer to *Exhibit B: Tax Assessor Parcel Maps* for the tax parcels that are included within and adjacent to the property.

As for more specific legal identification, the property comprises the south half and northeast quarter of Section 17, Township 7 South, Range 6 East, Gila and Salt River Base and Meridian, Pinal County, Arizona.

The property is classified by the Pinal County Assessor as generally agricultural and vacant land.

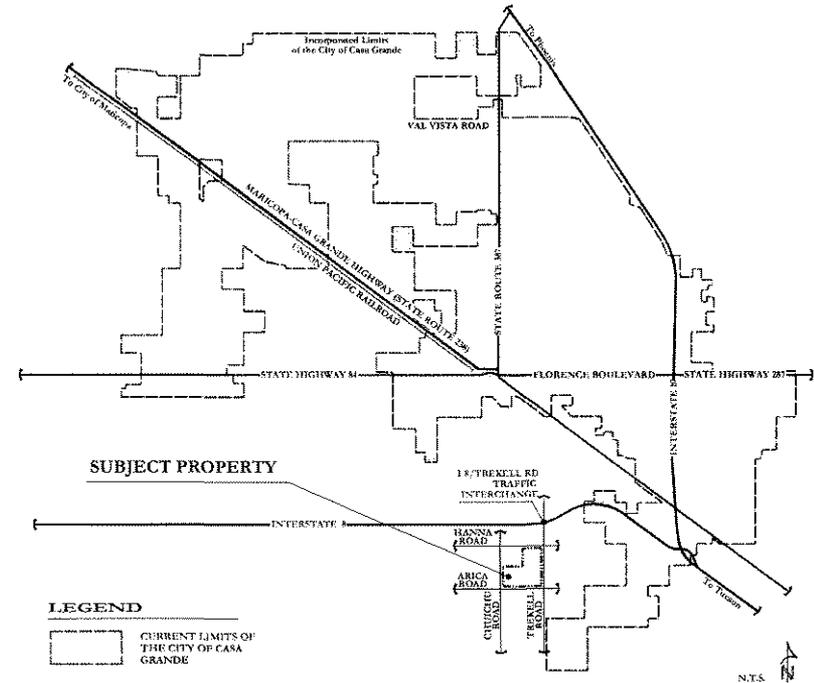
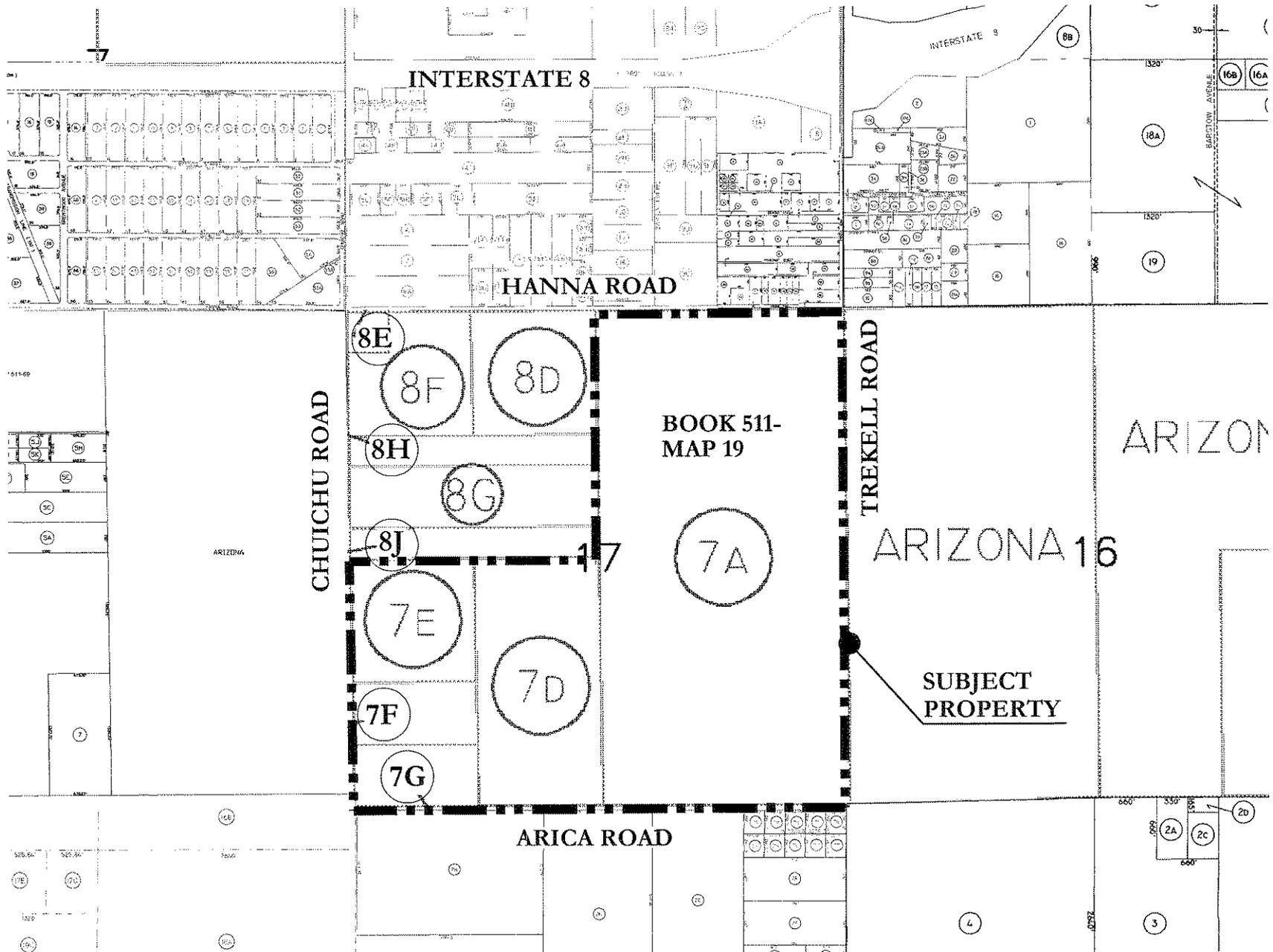


Exhibit A: Regional Location Map



Pinal County Tax Assessor Parcel Numbers 511-19-007A, -007D, -007E, -007F, -007G
Pinal County Tax Assessor Parcel Maps, 2006.



The location of this PAD in relation to recent annexation activity provides a logical argument that this project should now be considered for inclusion in the City of Casa Grande. Please refer to *Exhibit C: Subject Property in Relation to Recent Annexations*.

In November 2006 the City of Casa Grande approved the annexation of the area known as Isom Farms. This annexation consisted of approximately 969 acres and was processed concurrently with a PAD that allow for master planned, mixed-use development. The southern boundary of the Mira Vista property lies approximately one mile north and immediately west of the northern limits of the Isom Farms annexation area.

The Coyote Springs annexation is in process and if approved would add approximately 2,047 acres to the City of Casa Grande.

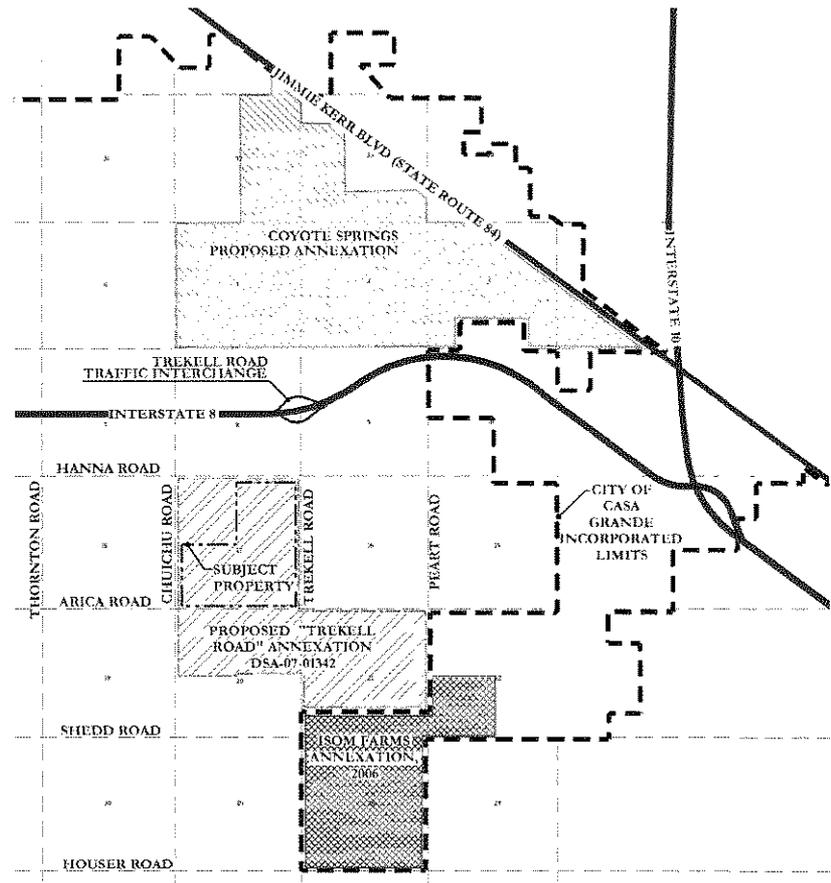


Exhibit C: Subject Property in Relation to Recent Annexations

B. Land use, Zoning and General Plan Designation

Existing and Historical Land Use on the Subject Property

The western portion of the site was once graded many years ago and used for agriculture, although the fields have been abandoned for some time. The eastern portion of the site was not used for agriculture and is essentially undisturbed desert.

Existing Surrounding or Nearby Land Uses

North: Agriculture, vacant land and some residential development comprised of a mix of manufactured and site built housing. The northwestern portion of Section 17 is currently vacant. The area north and west of the intersection of Chuichu Road and Hanna Road is residential, consisting primarily of manufactured housing.

South: Vacant land and scattered residential use, including scattered manufactured homes and a cluster of ten new site-built homes. These new homes are located adjacent to the southern boundary of the subject property.

East: Vacant land. One mile to the east is the boundary of the Casa Grande Military Reservation. The Reservation is inactive.

West: Vacant land.

Northeast: Residential development consisting of manufactured homes and site built block homes. At the southeastern corner of the Trekell Road and Interstate 8 traffic interchange, approximately a half mile north of the property, is the Arizona Laborers Training Center, as well as a maintenance facility owned by the Arizona Department of Transportation.

Existing Zoning, Comprehensive Plan and General Plan Designations on the Subject Property

The property is currently under the jurisdiction of Pinal County and is zoned General Rural Zone (GR). The Pinal County Comprehensive Plan designates this property as Transitional, which allows for master planned, mixed-use development. The property lies within the planning area of the City of Casa Grande and is designated as Rural Residential (0-1 dwelling per acre) in the City of Casa Grande General Plan 2010.

Existing Surrounding Zoning

North: Primarily GR (General Rural) with dispersed areas of CB-2 (Local Business Zone). There are two areas zoned RVP (Recreational Vehicle Homesites) to the northeast of the property.

South: GR.

East: GR.

West: Primarily GR, with a portion of Section 18 zoned CI-1 (Light Industrial/Warehouse).

C. Master Planned Communities in the Vicinity of the Subject Property

Location in Relation to Other Proposed Communities

One of the reasons that the owners of this property are requesting annexation and land entitlements on this property relates to the location of other properties planned for development in the immediate area. These proposed communities are shown on *Exhibit D: Surrounding Zoning and Land Uses*.

Isom Farms

The Isom Farms Planned Area Development was approved by the Casa Grande City Council on November 28, 2006 and consists of 969 acres. The proposed development is located approximately three-quarters of a mile south of the subject property, comprising all of Section 28, the southern third of Section 21, and the southwestern quarter of Section 22, Township 7 South, Range 6 East. The development plans for the project call for a master planned community with a diverse mix of housing types coupled with commercial and office uses. Lower density housing has been located where the property approaches the foothills of the Casa Grande Mountains, with medium density areas closer to the planned village core area near

the southern boundary. High-density housing is included at the village core, as well as commercial and employment opportunities. Overall the project proposes a density of 4.8 units per acre.

Coyote Springs

The proposed Coyote Springs project is located north of the subject property, within the triangle of land created by Interstate 8, State Highway 84 (Jimmie Kerr Boulevard) and Thornton Road. This Planned Area Development covers approximately 2,047 acres of land, and is located in portions of Sections 2, 3, 4, 5 & 11 Township 7 South, Range 6 East and Sections 29, 32 and 33 of Township 6 South, Range 6 East. The project proposes a variety of housing types ranging from high to low-density residential, totaling 7,983 dwelling units, with 53 acres proposed for commercial uses. The project also includes a 25-acre town center in the southwest corner of the site, fronting on Trezell Road.

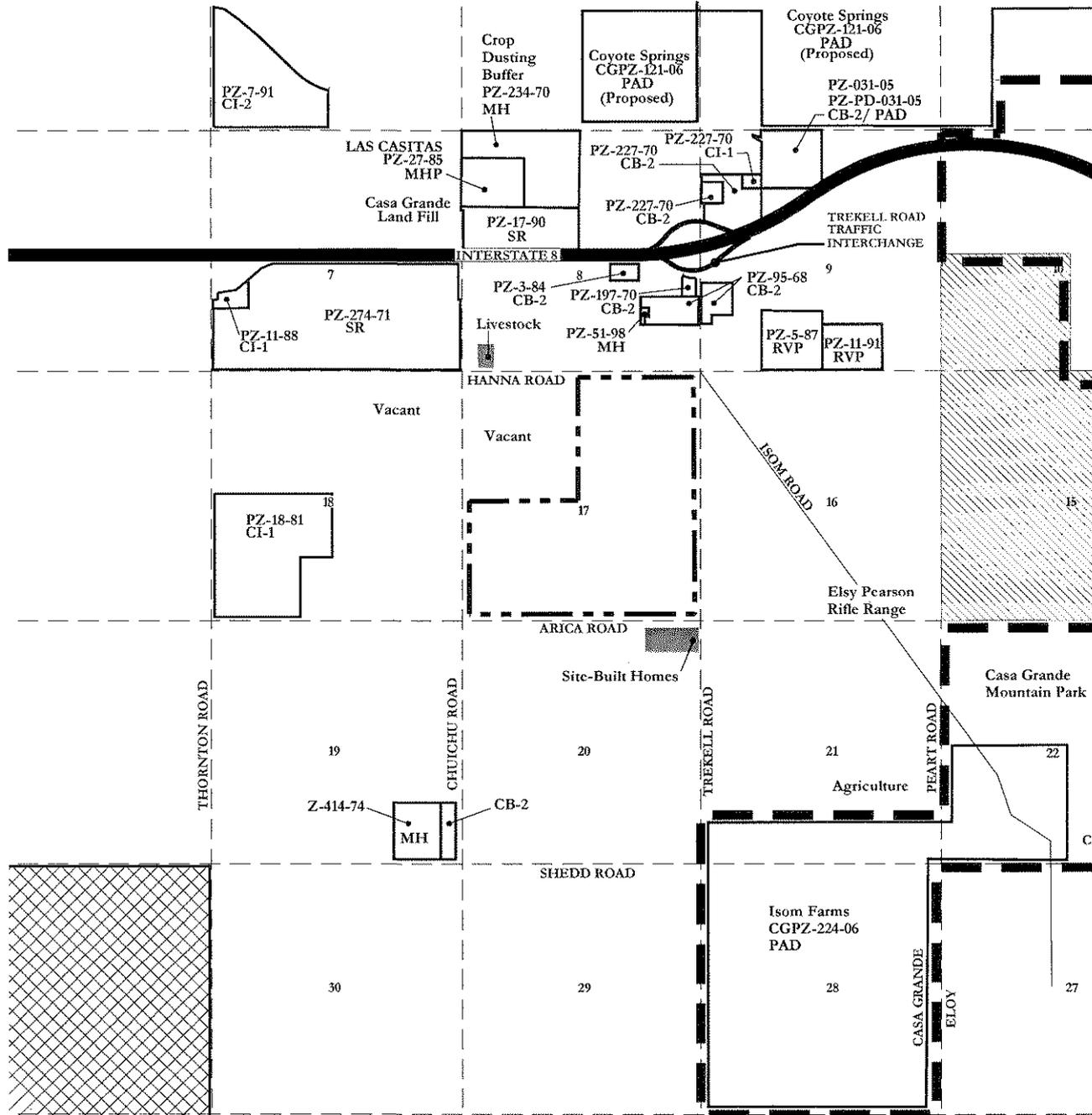
D. Recreational Facilities

The subject property is within a mile and a half of the boundary of the Casa Grande Mountain Park. This park, though largely undeveloped at this time, provides pedestrian and mountain bike trail access to the Casa Grande Mountains. The primary access point for this park is off of Isom Road east of Peart Road.

Approximately two-thirds of a mile east of the southern edge of the property, at the intersection of Arica and Isom Roads, is the Elsy Pearson Rifle Range. The facility is open to the public and includes ranges for both pistols and rifles in addition to trap

shooting. The facility is used for monthly and annual events by the Casa Grande Trap Club, and includes camping and 130 recreational vehicle hookups. This facility is maintained as a part of the Casa Grande Mountain Park.

Exhibit D: Surrounding Zoning and Land Uses Map



ZONING DISTRICT LEGEND*

- SR Suburban Ranch Zone
- CB-2 Local Business Zone
- RVP Recreational Vehicles Homesite Zone
- CI-1 Light Industrial/Warehouse Zone
- MHP Manufactured Home Park Zone
- MH Manufactured Home Zone

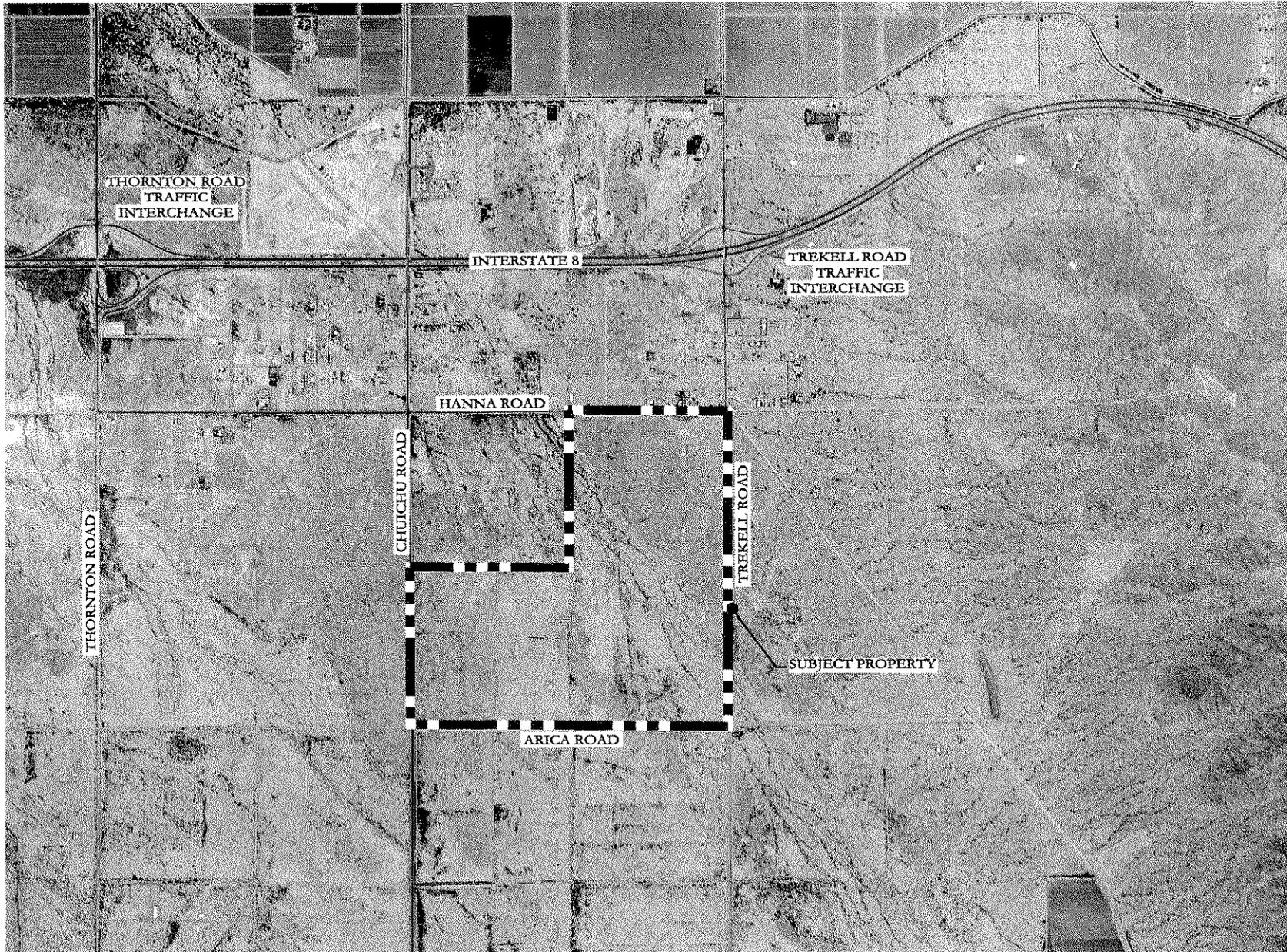
* Districts are per the Pinal County Zoning Ordinance

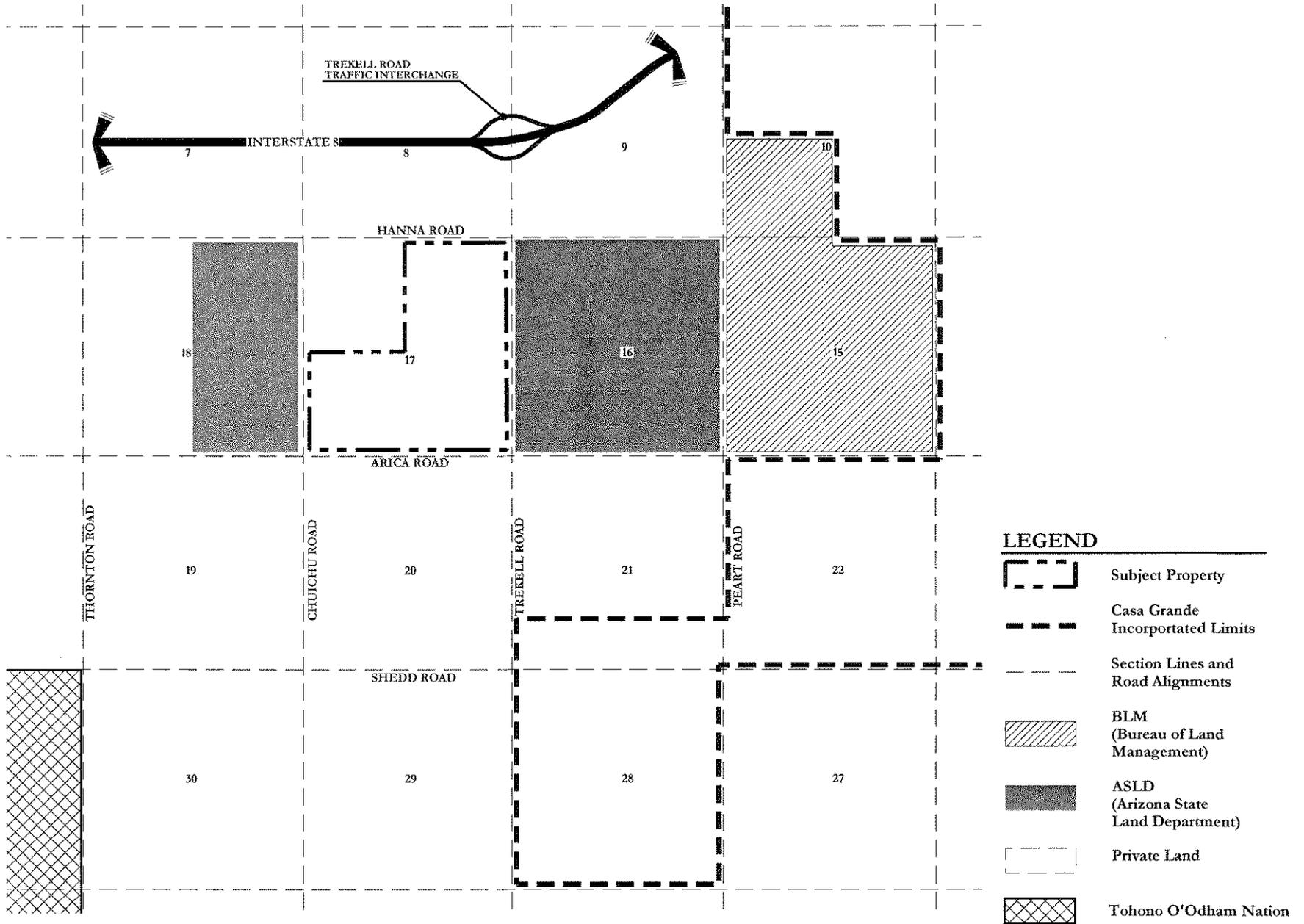
LEGEND

- Subject Property
- Casa Grande Incorporated Limits
- Section Lines and Road Alignments
- Zoning Boundaries & Case Numbers
- Casa Grande Military Reservation
- Tohono O'Odham Nation

NOTE

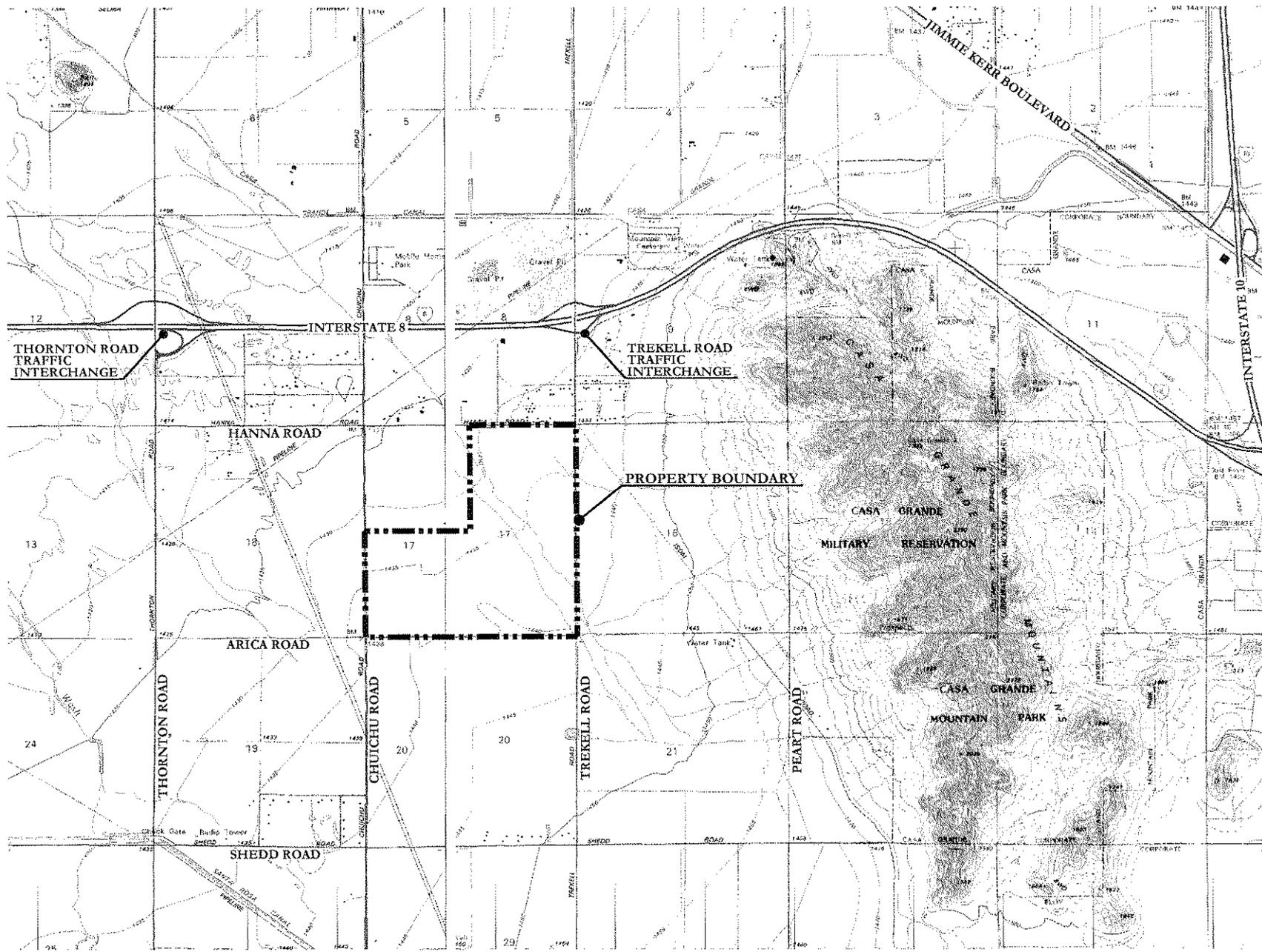
Areas with no designation shown are GR (General Rural) and lie in unincorporated Pinal County.





LEGEND

-  Subject Property
-  Casa Grande Incorporated Limits
-  Section Lines and Road Alignments
-  BLM (Bureau of Land Management)
-  ASLD (Arizona State Land Department)
-  Private Land
-  Tohono O'odham Nation



'Casa Grande Mountains', 1992; and 'Chuichu', 1992 USGS Topographic Quadrangles.
Contour Interval = 5 Feet



E. Topography and Drainage

Please refer to *Exhibit G: Topography Map* for an illustration of the topography of the site.

The site slopes to the north/northwest at an approximate slope of less than 1 percent. Natural drainage patterns have been altered in this area, particularly areas south and southeast of the subject property, to accommodate historic agricultural use.

Offsite flows impacting the site consist of sheet flows that enter from the south and southeast. These flows originate from properties to the south as well as from drainage from the nearby Casa Grande Mountains to the east. Historic farming activity to the south of the site has altered natural drainage patterns and sheet flows entering the site are not significant at this time.

On April 3, 2008 a Letter of Map Revision (LOMR) was issued for this property, thereby amending the Flood Insurance Rate Map (FIRM) and removing the southwest portion of the site from a FEMA regulated floodplain. Based on the report prepared to support the LOMR, the natural topography of the subject property elevates the site such that when the banks of the Santa Cruz wash are breached, the storm water would overflow along the path of least resistance and head south toward the Greene Wash. As such, this property will not be inundated by the base flood and will not need to be elevated to protect future structures from the 100-year storm event. The case number assigned by FEMA is 07-09-1187P.

Based on the March 5, 1990 Flood Insurance Rate Map (FIRM), Panel 925 of 1525, Community Panel Number 040077 0925D issued by the Federal Emergency Management Agency (FEMA), and the revised FIRM panels effective Dec. 4, 2007 (#04021C1535E, 04021C1545E, 04021C1555E, and 04021C1565E), the southwestern portion of the subject property was previously located within the 100-year floodplain of the Santa Cruz Wash. Please refer to *Exhibit H: FEMA Floodplain Map*.

A full copy of the Letter of Map Revision is available upon request.

D. Accessibility

Please refer to *Exhibit I: Existing Roadway Conditions*.

Interstate 8 provides direct access to the subject property via Trekell Road. Trekell Road forms the eastern boundary of the property and currently exists as a two-lane paved road traveling north/south. The property may also be accessed by Hanna Road, a two-lane paved road running east/west which also serves as the northernmost boundary of the PAD. The western boundary of the site is formed by Chuichu Road, which is a two-lane paved road. Although there is no available interchange at Interstate 8 and Chuichu Road, the road does bridge Interstate 8. One mile west of Chuichu Road is Thornton Road, which does have an interchange at Interstate 8. This interchange is just over one mile from the subject property and may be accessed by using Hanna Road. South of Hanna Road, Thornton becomes a dirt

road, which ends at the intersection with the Santa Rosa Wash levee and Shedd Road, which is dirt at this time.

Arica Road forms the southern boundary of the site. Currently, it is an alignment only and no roadway exists in the right-of-way south of the subject property.

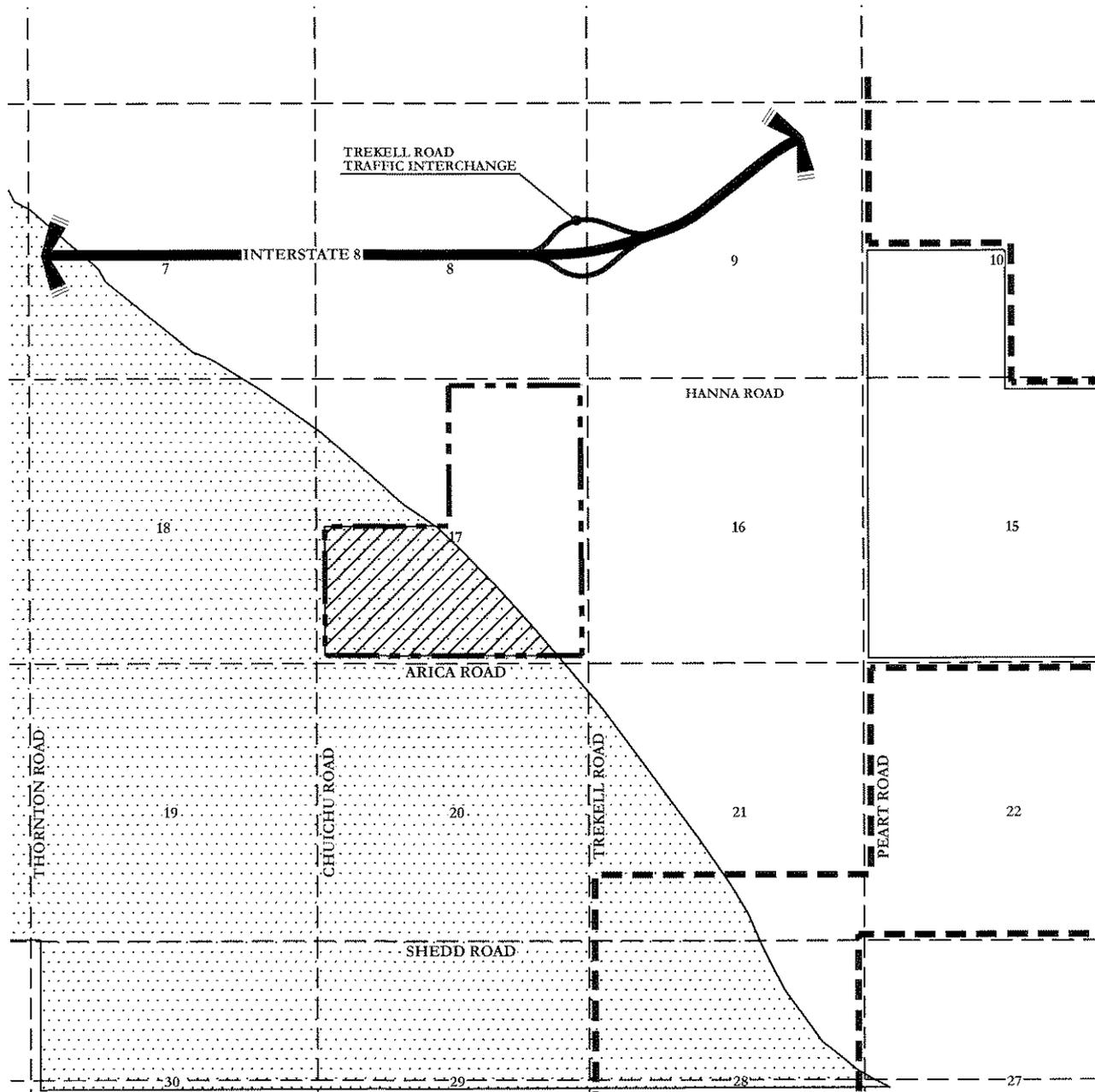
The current right-of-way condition for the section line arterial roads is as follows:

Trekell Road: 33 feet (per Docket 375, Page 572, Pinal County Recorder).

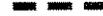
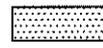
Hanna Road: 33 feet (per Docket 375, Page 572, Pinal County Recorder).

Chuichu Road: 50 feet per Pinal County Recorder.

Arica Road: 33 feet (per Docket 375, Page 572, Pinal County Recorder).

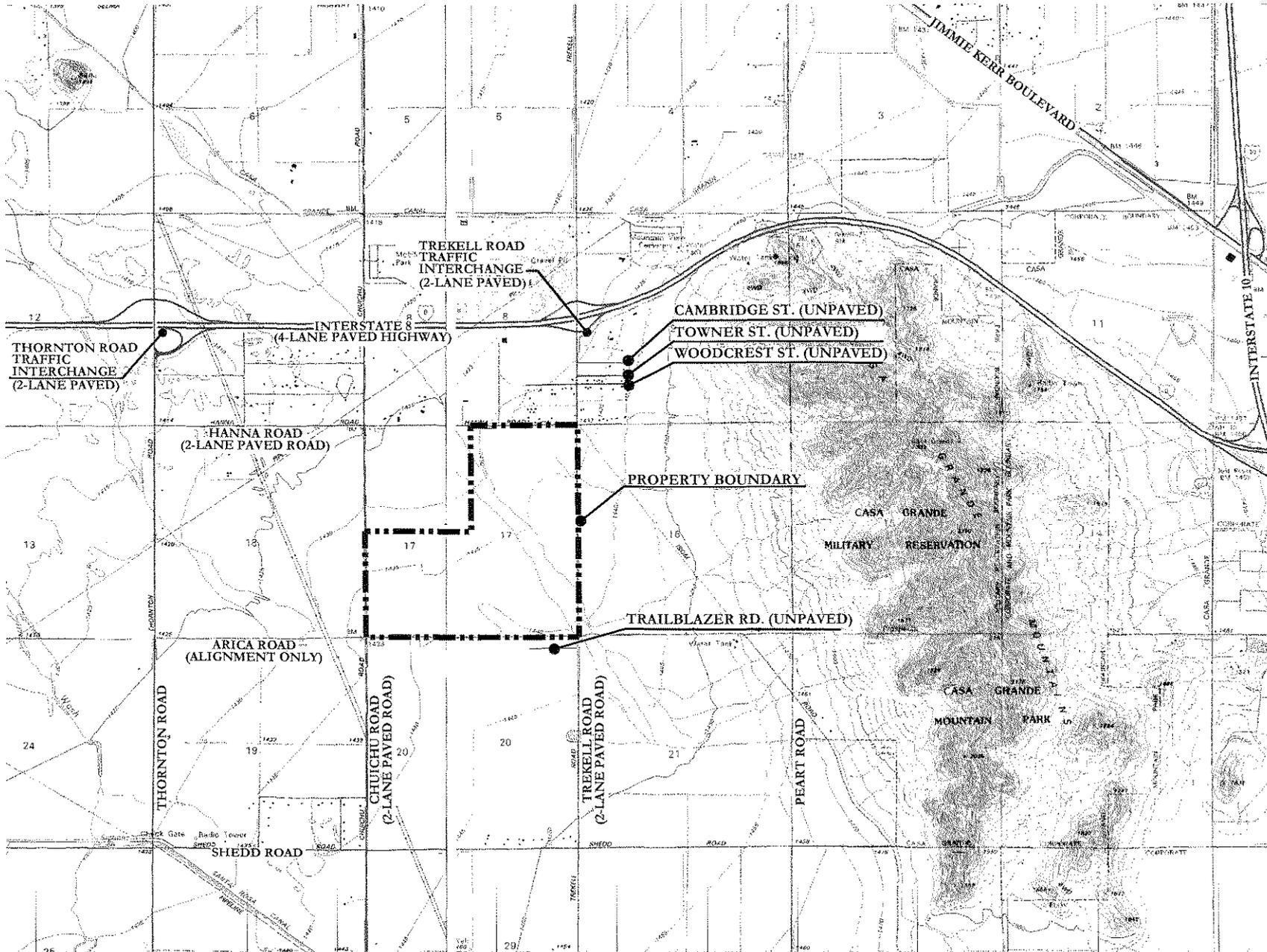


LEGEND

-  Subject Property
-  Casa Grande Incorporated Limits
-  Section Lines and Road Alignments
-  FEMA Category A Areas of 100 year flood; base flood elevations and flood hazard factors not determined.
-  Area subject to Letter Of Map Revision Case #07-09-1187P and removed from FEMA regulated floodplain.

FEMA Flood Insurance Rate Maps, #0400770925D, March 5, 1990.
 Revised FEMA Flood Insurance Rate Maps, #04021C1535E, 04021C1545E,
 04021C1555E, and 04021C1565E, effective Dec. 4, 2007.

Exhibit I: Existing Roadway Conditions



'Casa Grande Mountains', 1992; and 'Chuchu', 1992 USGS Topographic Quadrangles. Contour Interval = 5 Feet

*III. Community
Development Plan*

III. COMMUNITY DEVELOPMENT PLAN

A. Project Overview

Planning efforts for the proposed Mira Vista Property master planned community began in early 2007. Early efforts focused on potential development of the property under the jurisdiction of Pinal County; however, as time passed and the area immediate to the property has recently been annexed into the incorporated limits of the City of Casa Grande, the general project approach changed. The focus became one where planning efforts were carried on with the goal of becoming part of the City of Casa Grande.

Internal planning efforts focused on the opportunities presented by the property and the fulfillment of anticipated land uses expected to be demanded by the market. The positioning of this land and its relationship to strong future transportation corridors as well as anticipated future growth patterns in the City of Casa Grande drove the decisions that produced the conceptual land use plan included in this document.

Some of the broad goals that were established during the planning of this community included the following:

- Creation of a land use plan that not only included a variety of land uses, but also located them in such a manner to create an environment where land uses are complimentary.
- The formation of land entitlements that create a foundation for a successful, sustainable community.

- The establishment of a mixture of land uses such that a varied and diverse demographic makeup is achieved for the community.
- Creation of an onsite area for the location of municipal services such as a fire and police station.
- Creation and development of a roadway system that will meet the transportation needs of the near and distance future.
- Development of a thoughtful and enjoyable open space system to keep the community residents fit and active.

B. Proposed Land Uses

This proposed master-planned community consists of several different land use elements. The overall concept for the community is to provide a variety of residential housing types, a local commercial area, and open space amenities. It also includes a site for an elementary school and a police and fire station. The maximum number of dwelling units permitted in this community is 1704. Please refer to *Exhibit J: Conceptual Land Use Plan* for a conceptual illustration of these proposed land uses. This plan clearly defines each proposed development parcel, type of development, arterial roads, collector roads (street names subject to review and approval of the City Building Division), open space, and other proposed features. For further clarity, the proposed land uses are summarized in *Table 1* on the following page.

| TABLE 1: PARCEL LAND USE SUMMARY TABLE | | |
|--|----------------------------|---------------|
| PARCEL | LAND USE | GROSS ACREAGE |
| A | RURAL RESIDENTIAL | 20 |
| B | LOW DENSITY RESIDENTIAL | 33 |
| C | LOW DENSITY RESIDENTIAL | 31 |
| D | ELEMENTARY SCHOOL | 12 |
| E | RURAL RESIDENTIAL | 40 |
| F | LOW DENSITY RESIDENTIAL | 41 |
| G | LOW DENSITY RESIDENTIAL | 26 |
| H | LOW DENSITY RESIDENTIAL | 28 |
| I | LOW DENSITY RESIDENTIAL | 27 |
| J | LOW DENSITY RESIDENTIAL | 24 |
| K | LOW DENSITY RESIDENTIAL | 31 |
| L | COMMUNITY PARK | 10 |
| M | LOW DENSITY RESIDENTIAL | 41 |
| N | MEDIUM DENSITY RESIDENTIAL | 21 |
| O | MEDIUM DENSITY RESIDENTIAL | 25 |
| P | LOW DENSITY RESIDENTIAL | 21 |
| Q | MEDIUM DENSITY RESIDENTIAL | 29 |
| R | COMMERCIAL | 23 |
| TOTALS | -- | 483 |

1. Residential

This community will provide for a variety of residential housing options, ranging from rural type equestrian oriented lots to smaller single family detached residential units and single and multi-family attached dwellings. This will provide for home ownership opportunities for a broad range of lifestyles and tastes, and will assist in providing a community demographic that touches many different age groups. The dwelling units

demand by the general public will dictate the final mix and type of residential units constructed within this community. However, the maximum number of dwelling units permitted in this community is 1,704. The Conceptual Land Use Plan for this community provides a scheme for the location and amount of each residential component. These different proposed residential elements are discussed in further detail below and the development standards associated with each land use can be found in Section V of this document.

Rural Residential (RR)

A unique feature of this community is the approximately 60 acres designated as rural residential property. This area consists of low-density residential housing at a maximum density of 1 dwelling unit per acre, with a maximum of 40 units. These lots are envisioned to share a common, centrally located equestrian facility and are sized such that residents could stable horses on-lot. Please refer to *Exhibit K: Conceptual Rural Residential Lot Layout* for a conceptual illustration of a typical rural residential parcel.

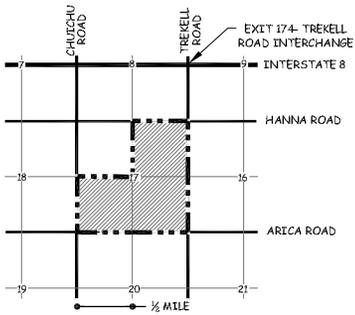
Low Density Single-Family Residential (LDR)

Approximately 303 acres of the community consists of low-density residential housing. These areas will consist of traditional single-family residential detached housing units. Areas with this land use designation will be developed at a density of between approximately 1 and 4 dwelling units per acre, with a maximum of 1,212 units. Please refer to *Exhibit L: Conceptual Low Density Residential Lot Layout* for a conceptual illustration of a typical residential parcel.

Medium Density Residential (MDR)

The land use parcels adjacent to the commercial parcel consisting of approximately 75 acres have been designated for medium density residential uses. These parcels will contain residential product that may be either single-family detached or attached units or multi-family residential units. The development parcels in this district will be developed at a range of approximately 5 to 8 dwelling units per acre, with a maximum of 452 units. The emphasis of these areas includes thoughtful alternative lot, single and multi-family residential attached and detached designs. The potential use of neo-traditional neighborhood design standards to create aesthetically pleasing communities is provided as an option to the more traditional type of single-family residential development. By locating this type of residential adjacent to the commercial uses, these residential areas will provide logical land use transitions between the more intense commercial areas and lower density residential areas.

Please refer to *Exhibit M* for conceptual illustrations of the type of residential product that may be built in the Medium Density Residential areas of this community.



LOCATION MAP

SECTION 17, TOWNSHIP 7 SOUTH, RANGE 6 EAST, GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA

SYMBOLS

PARCEL DESIGNATOR LAYOUT

- Parcel Letter
- Land Use
- Pad Zoning District
- Acreage

ARTERIAL ROAD

COLLECTOR ROAD

10' MULTI-USE PATH

6' SIDEWALK

PRIMARY COMMUNITY ENTRANCES

POLICE/ FIRE STATION SITE (~3 AC.)

GREENWAY

LANDSCAPED BUFFERYARDS ALONG ARTERIAL ROADS AND AREAS BETWEEN COMMERCIAL AND RESIDENTIAL LAND USE PARCELS

* SEE OPEN SPACE NOTES

PLAN SUMMARY TABLE

| LAND USE | PAD ZONING DISTRICT | TOTAL ACREAGE |
|----------------------------|---------------------|---------------|
| RURAL RESIDENTIAL | RR | 60 |
| LOW DENSITY RESIDENTIAL | LDR | 303 |
| MEDIUM DENSITY RESIDENTIAL | MDR | 75 |
| COMMERCIAL | COMMERCIAL | 23 |
| COMMUNITY PARK | LDR | 10 |
| ELEMENTARY SCHOOL | LDR | 12 |
| | | 483 |

MIRA VISTA PAD

Conceptual Land Use Plan
Exhibit J-b

LEGAL DESCRIPTION

THE SOUTHERN HALF AND THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 7 SOUTH, RANGE 6 EAST, GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA

SITE STATISTICS TABLE

| EXISTING USE | PROPOSED USE | |
|------------------------|--|-------------|
| AGRICULTURAL OR VACANT | MASTER PLANNED MIXED-USE COMMUNITY CONSISTING OF: RESIDENTIAL COMMERCIAL OPEN SPACE ELEMENTARY SCHOOL FIRE/POLICE STATION | |
| | ACRES | SQUARE FEET |
| | ~483-GROSS | ~21,046,000 |
| | ~470-NET | ~20,480,000 |

* NET AREA EXCLUDES RIGHTS-OF-WAY

DENSITY CALCULATION TABLE

$D = DU/A \cdot (c + i + s + a)$
 D = net residential density
 DU = number of dwelling units
 A = total site area in acres
 c = total commercial land area in acres
 i = total industrial land area in acres
 s = reserved but undedicated public sites in acres
 a = arterial road rights-of-way in acres
 $D = DU/A \cdot (c + i + s + a)$
 $D = 1,704/483 \cdot (23+0+12+22)$
 $D = 4 DU/AC.$

SITE PLAN INFORMATION

- NAME OF PROJECT: MIRA VISTA PLANNED AREA DEVELOPMENT.
- GENERAL PLAN LAND USE DESIGNATION: RURAL RESIDENTIAL (RR), LOW DENSITY RESIDENTIAL (LDR), MEDIUM DENSITY RESIDENTIAL (MDR), AND COMMERCIAL.
- PROPOSED USE: MASTER-PLANNED COMMUNITY.
- LOCATION OF PROJECT: SOUTHWEST CORNER OF HANNA ROAD AND TREKELL ROAD.
- EXISTING ZONING: GENERAL RURAL (GR) - (PINAL COUNTY).

OPEN SPACE NOTES

* PRIMARY OPEN SPACE INCLUDES GREENWAY ALONG THE COLLECTOR ROAD AND BETWEEN DEVELOPMENT PARCELS, COMMUNITY PARK, AND LANDSCAPED TRACTS ALONG ARTERIAL ROADS.

** SECONDARY OPEN SPACE IS THE DIFFERENCE BETWEEN THE TOTAL AMOUNT OF OPEN SPACE REQUIRED (15% OF SINGLE FAMILY RESIDENTIAL) MINUS PRIMARY OPEN SPACE. SECONDARY OPEN SPACE WILL BE PROVIDED IN TRACT WITHIN EACH DEVELOPMENT PARCEL, PROVIDING A MINIMUM OF 6% OF ITS LAND AREA. THIS OPEN SPACE WILL BE IDENTIFIED AT THE TIME OF PLATTING.

*** SPACES BETWEEN DEVELOPMENT PARCELS ARE FOR GRAPHIC PURPOSES ONLY AND ARE NOT INTENDED TO IMPLY OPEN SPACE CORRIDORS.

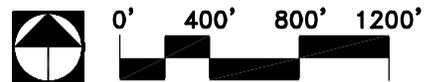
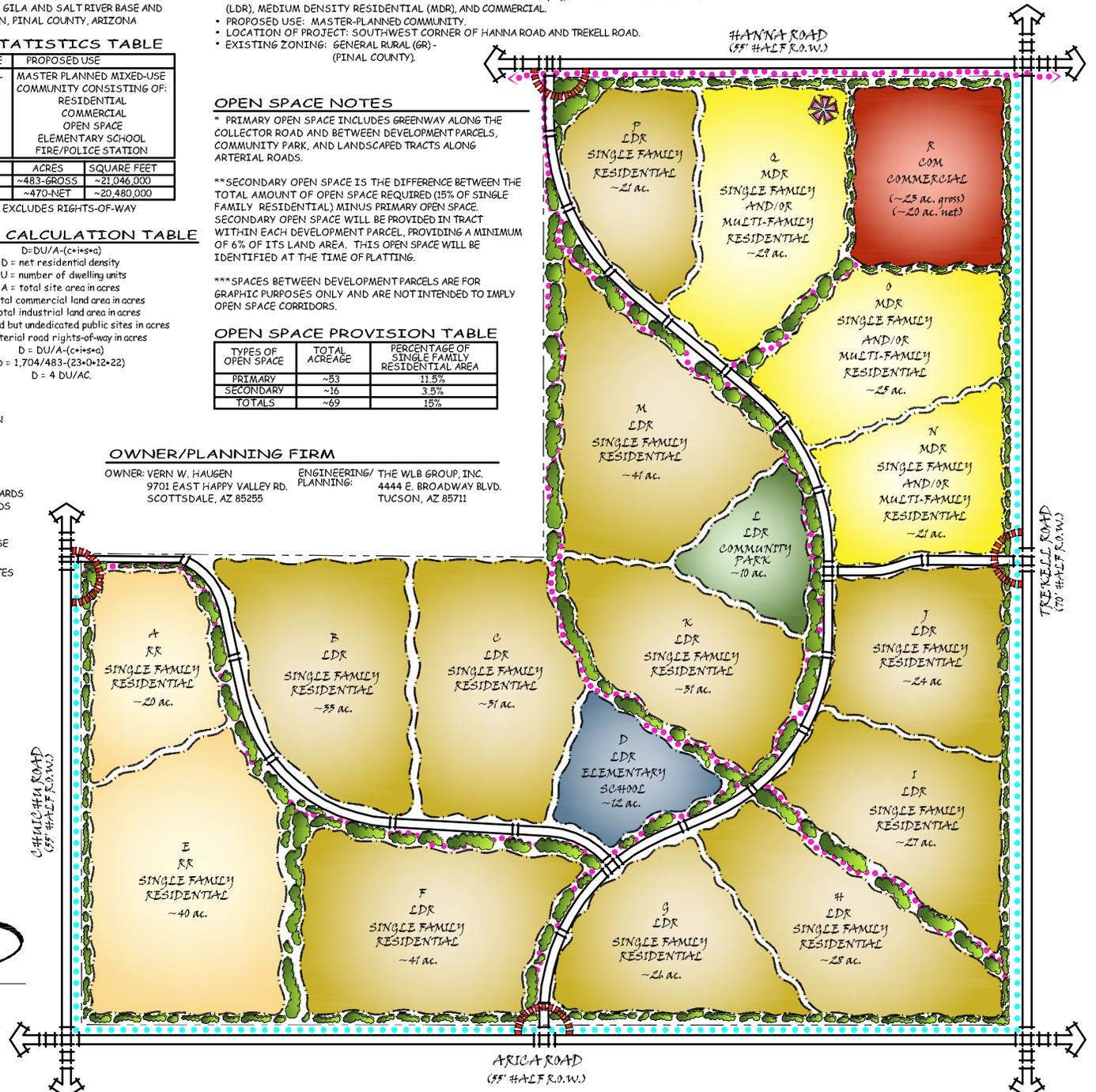
OPEN SPACE PROVISION TABLE

| TYPES OF OPEN SPACE | TOTAL ACREAGE | PERCENTAGE OF SINGLE FAMILY RESIDENTIAL AREA |
|---------------------|---------------|--|
| PRIMARY | ~83 | 11.5% |
| SECONDARY | ~16 | 3.5% |
| TOTALS | ~69 | 15% |

OWNER/PLANNING FIRM

OWNER: VERN W. HAUGEN
9701 EAST HAPPY VALLEY RD.
SCOTTSDALE, AZ 85255

ENGINEERING/ PLANNING: THE WLB GROUP, INC.
4444 E. BROADWAY BLVD.
TUCSON, AZ 85711



The WLB Group **WLB**

January 17, 2008
Revised June 26, 2008
WLB Job No. 105049-A-002

Exhibit J-b: Conceptual Land Use Plan (18x24)

Exhibit K: Conceptual Rural Residential Layout



COMMUNITY EQUESTRIAN FACILITY (±10 AC.):

- A) ROPING ARENA (150'X306')
- B) BARREL ARENA (100'X200')
- C) PRACTICE ARENA (75'X110')
- D) ROUND PENS (40' RADIUS)
- E) PARKING (±200 SPACES)
- F) PASTURE (±2½ AC.)
- G) POCKET PARK (± ½ AC.)

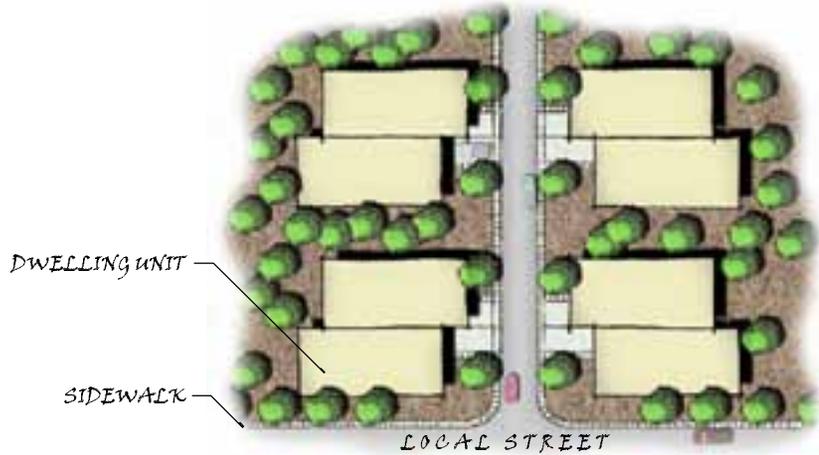
Note:

This exhibit represents a conceptual illustration of the rural residential area planned for this PAD. The actual equestrian amenities that are constructed may differ from that which are shown, but will be in full conformance with the development standards outlined in this PAD.

Exhibit L: Conceptual Low Density Residential Lot Layout



Note:
 This exhibit represents a conceptual illustration of an open space feature planned for this PAD. The actual open space amenities that are constructed may differ from that which is shown, but will be in full conformance with the open space program outlined in this PAD.



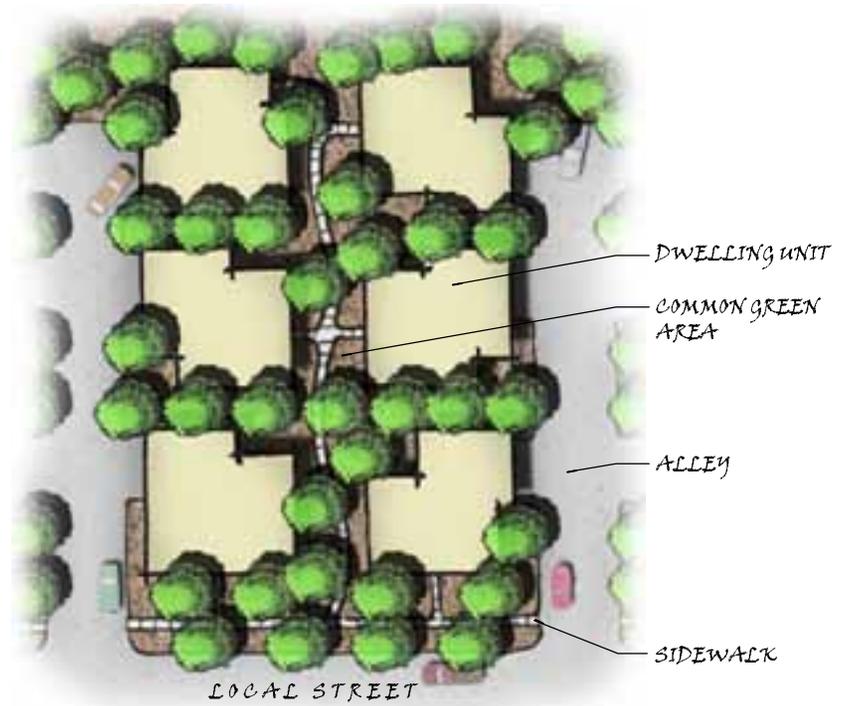
DUPLEX



Z - LOT



MOTOR COURT



GREEN COURT

* Note:

These illustrations are intended to demonstrate potential building product that might be utilized in the Medium Density Residential areas of this community. The actual product constructed may be different than that which is shown.

2. Commercial

The developer of this proposed community recognizes that with the increase in the number of residents in the area, there will be a parallel demand by the residents of this community for commercial services. The desire of future residents will be to live within close proximity to commercial centers that will provide for daily needs. A commercial land use parcel of ~23 gross acres has been located at the northeast corner of the site, at the intersection of Trekell Road and Hanna Road. Trekell Road is planned by the City of Casa Grande as a major arterial roadway (140' right-of-way) and will carry a large volume of traffic in the future. This traffic will consist of those destined for not only this community, but also destinations beyond. This arterial commercial center will provide services to the residents of this community as well as those residents living in the regional area. This commercial area may provide in the vicinity of 200,000 square feet of gross leasable area (~10,000 sf of GLA per acre).

This commercial area has also been sized in order to accommodate a wide range of uses, which may include a grocery store as an anchor with various other commercial services and enterprises located in smaller shops and pads. Although this commercial area is located on the periphery of the property, it will be connected to the community. Trails and sidewalks will provide pedestrian connections and encourage residents to walk or bicycle to this location rather than drive. Please refer to *Exhibit N: Conceptual Commercial Site Plan* for a conceptual illustration of how the commercial parcel in this community may be developed.

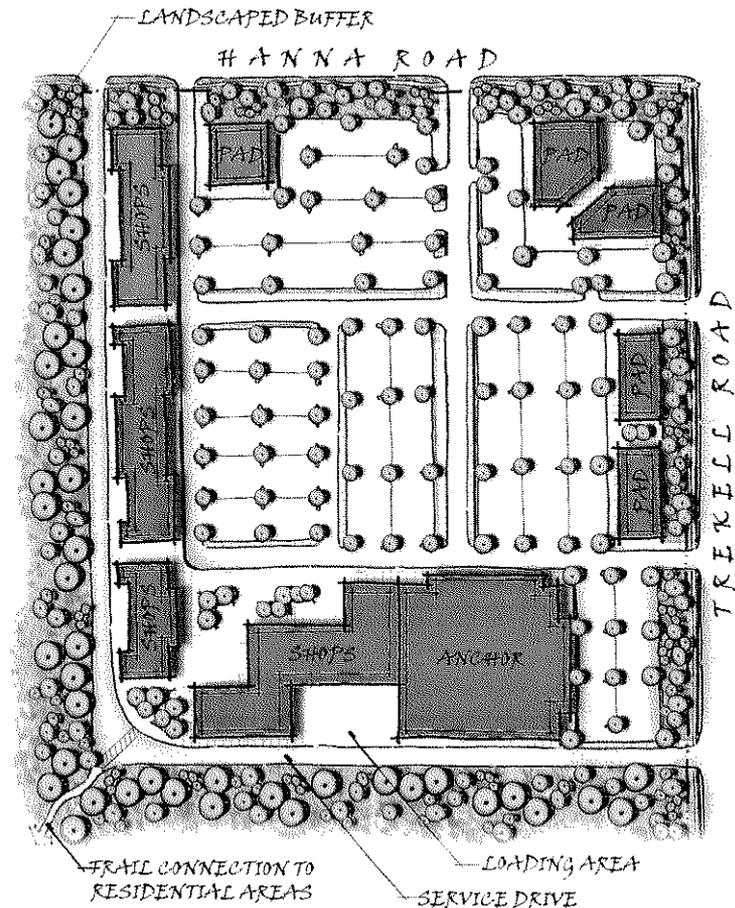


Exhibit N: Conceptual Commercial Site Plan

3. Parks and Open Space

This community acknowledges the importance of open areas and outdoor recreation, particularly in a climate that can support year-round outdoor recreation. As such, it will provide residents with a quality open space environment as well as a range of self-contained recreational activities. The recreation and open space areas planned for this community, besides providing areas of human interaction, will provide physical separation, buffer zones and transition between areas of urbanization.

The City of Casa Grande Residential Design Standards for Planned Area Developments stipulates that a project of this nature should designate a minimum of 15 percent of the single-family residential area of the community as open space (with at least 50 percent of open space to be improved for active and passive recreation). Also, retention areas that are designed for recreational use must have at least fifteen percent of the basin elevated above a twenty-five year floodwater surface elevation. All open space not improved for recreational use will be landscaped, according to an approved, water-conserving, final landscape plan. Finally, in accordance with the Residential Design Standards for Planned Area Developments, each dwelling unit should be within 1,000 feet of recreational facilities.

This community embraces these standards. The proposed open space area for the Mira Vista PAD consists of a minimum of 69 acres or 15 percent of the single-family residential area of the project site.

The proposed open space system focuses on several integral interconnected components that are discussed as follows.

The primary open space includes a ten-acre community park, greenways along the primary collector road and between development parcels that provide connectivity throughout the development, and buffer areas along the arterial roadways, which contain a sidewalk and landscaping. The primary open space consists of approximately 75% of the open space that is required for this community and it is illustrated on *Exhibit O: Conceptual Primary Open Space*.

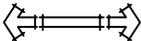
The balance of the open space will be provided within the development parcels that are shown on *Exhibit J: Conceptual Land Use Plan*. This open space will be identified at the time of platting and will consist of pocket parks, landscape tracts along local roads, common areas and entry monuments into the residential parcels.

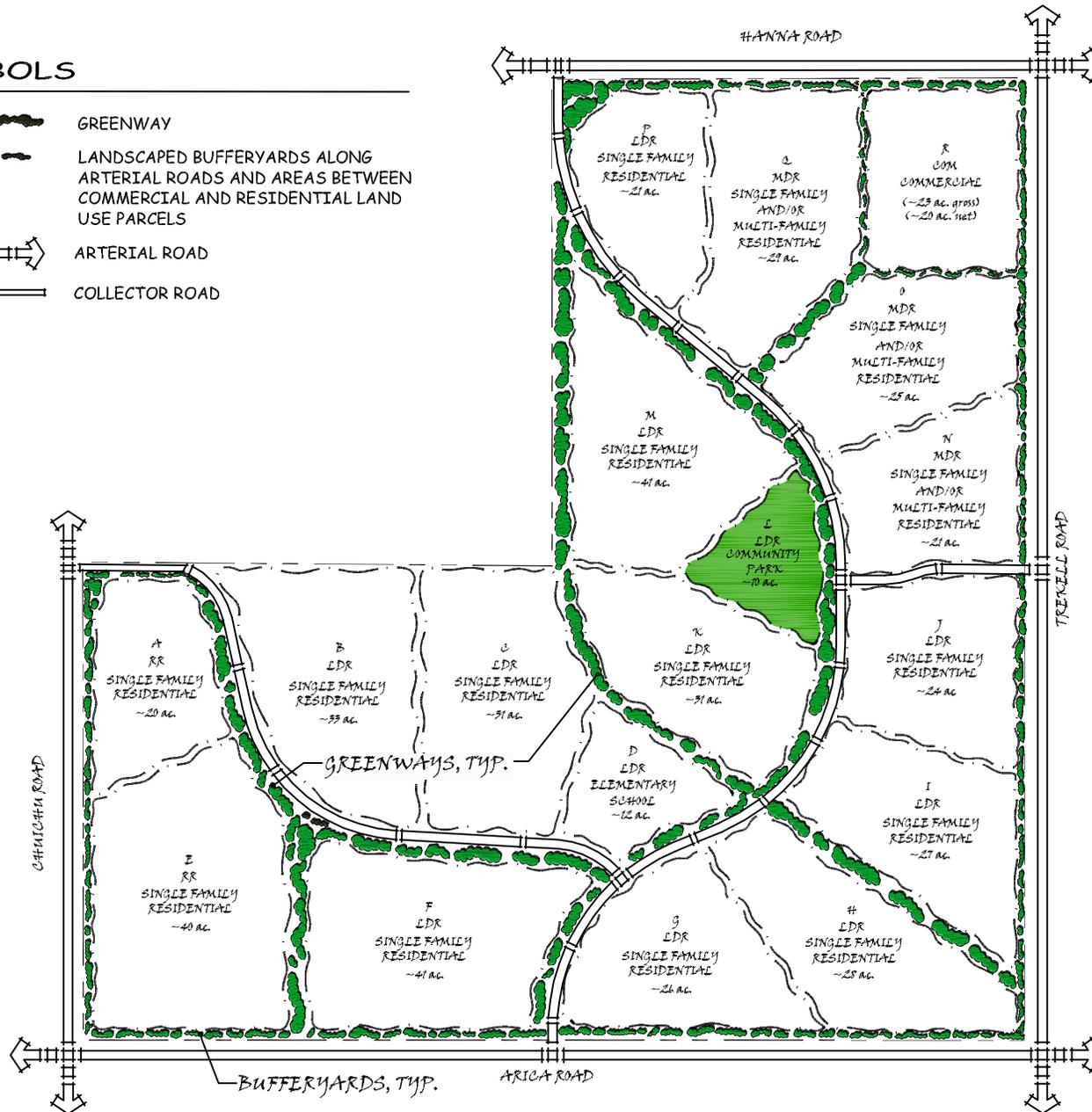
It should be noted that the homeowner's association will be responsible for maintaining all enriched pavement treatments, all open space areas, and all landscaping within medians (except within arterials) and cul-de-sacs. The homeowner's association will maintain such areas as regulated through the Covenants, Conditions and Restrictions for each parcel. A master homeowner's association will be established and will be responsible for maintaining the greenways and community park.

responsible for maintaining the greenways and community park unless deeded to and maintained by the City of Casa Grande.

The proposed plant palette (for the entire development) is also included as *Appendix A* in this document. A final landscape plan, wall plan, and amenity plan, meeting the approval of the City Planning and Development Director, will be submitted prior to the approval of any final subdivision plats for this development.

SYMBOLS

-  GREENWAY
-  LANDSCAPED BUFFERYARDS ALONG ARTERIAL ROADS AND AREAS BETWEEN COMMERCIAL AND RESIDENTIAL LAND USE PARCELS
-  ARTERIAL ROAD
-  COLLECTOR ROAD



Parks

This community proposes a community park site, consisting of approximately 10 acres. It has been strategically located near the major entrance to this community in order to provide future residents with a comfortable and pleasurable feel when entering the community. It is also situated in the central portion of the community, making it easily accessible to all future residents. This park will be the primary area in which children of all ages will play and where families and friends will gather. It is sized in such a manner that it may contain such elements as sports courts, children's play areas, picnic tables and ramadas, walking or bicycling paths and seating areas. Refer to *Exhibit P: Conceptual Community Park Plan* for a conceptual illustration of how this community park might be designed and constructed.

Within the development parcels there will be smaller scale neighborhood parks or pocket parks. These parks will be approximately 2,500 square feet to 2 acres in size and will offer recreational opportunities to those living within a ¼ mile radius. They will be visually accessible and may contain play equipment, benches, paths, grass and other landscaping.

Additionally, this PAD will consider the Recommended Design Guidelines for Parks Land as outlined in the City of Casa Grande Community Services Master Plan.

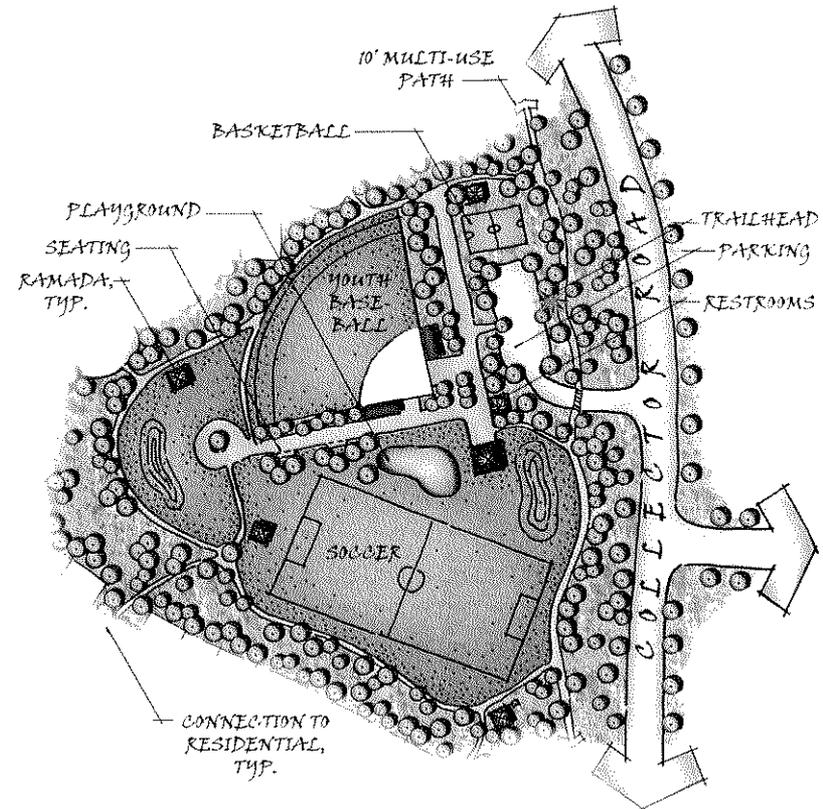
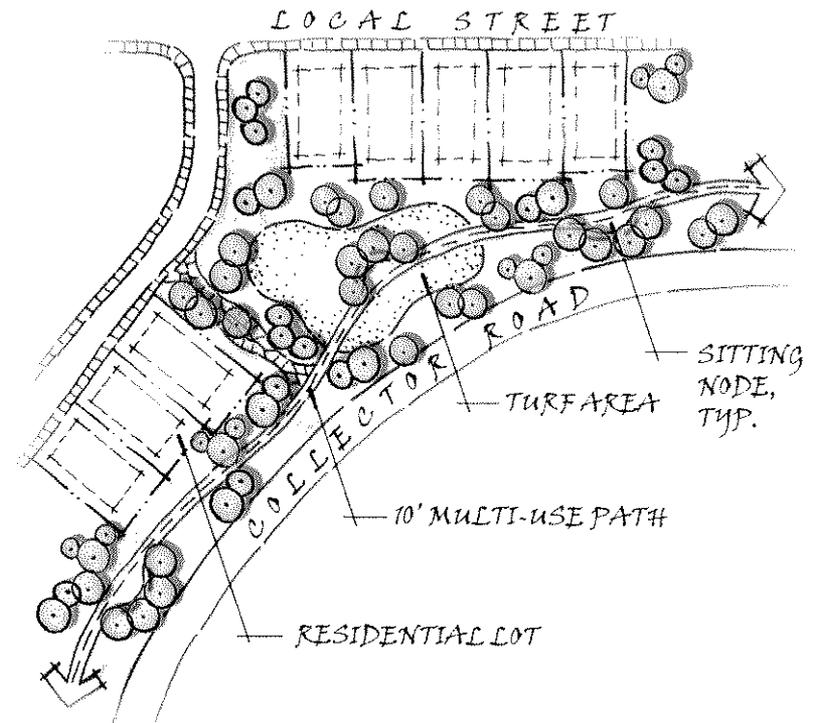


Exhibit P: Conceptual Community Park Plan

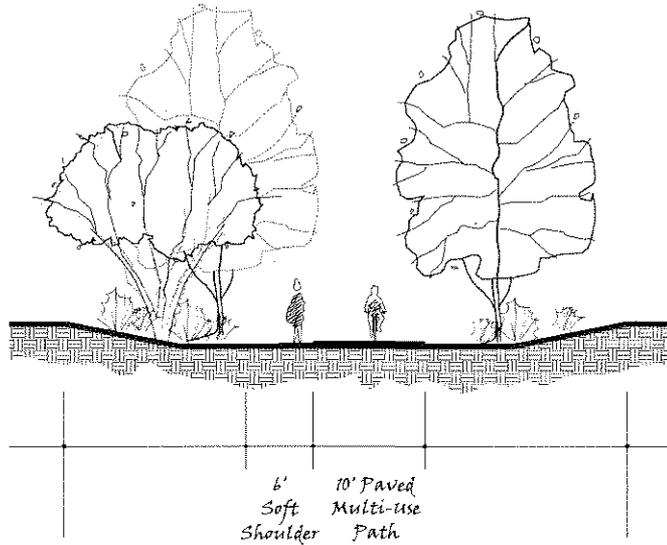
Greenways and Trails

Greenways are open space corridors that allow all residents to move easily and safely throughout the community in a pleasurable environment. They have been designed such that they serve as open space links, providing strong non-vehicular connections between all the residential, recreational, educational and commercial components of the community. The greenways consist of landscaping, a paved multi-use path (minimum width of 8 feet) that may be used by pedestrians and cyclists, sitting areas and community gathering areas. Refer to *Exhibit Q: Conceptual Greenway Along Collector Road* and *Exhibit R: Conceptual Greenway/Neighborhood Trail Section* for a conceptual illustration of how the greenway along the collector road might be designed and constructed.

The July 2008 approved Casa Grande Regional Trails Master Plan indicates a future trail alignment along Hanna Road on the northern boundary of the property. This trail will connect with the Casa Grande Mountain Natural Resource and Trails Park, as well as with other community trails and pedestrian corridors within Casa Grande. The developer of this community will provide a trail in accordance with the Casa Grande Regional Trails Master Plan. Refer to *Exhibit S Conceptual Community Trail Section* for an illustration of the community trail along Hanna Road. All walkways and paths will be constructed of concrete and designated to AASHTO standards and the recommendations of the City Engineer and Planning and Development Director. Please refer to *Exhibit T: Conceptual Trails Plan* for a conceptual illustration of the trails planned for this community.

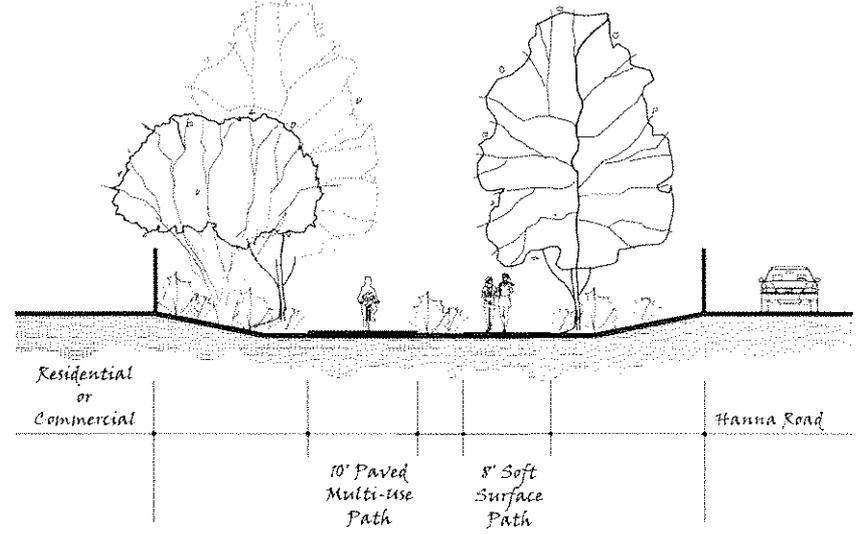


*Exhibit Q: Conceptual Greenway Along
Collector Road*



Width = 50' Min.
 Elements may include Multi-use Path, Sitting Nodes, Active/Passive Recreation and Landscaping

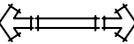
Exhibit R: Conceptual Greenway / Neighborhood Trail Section

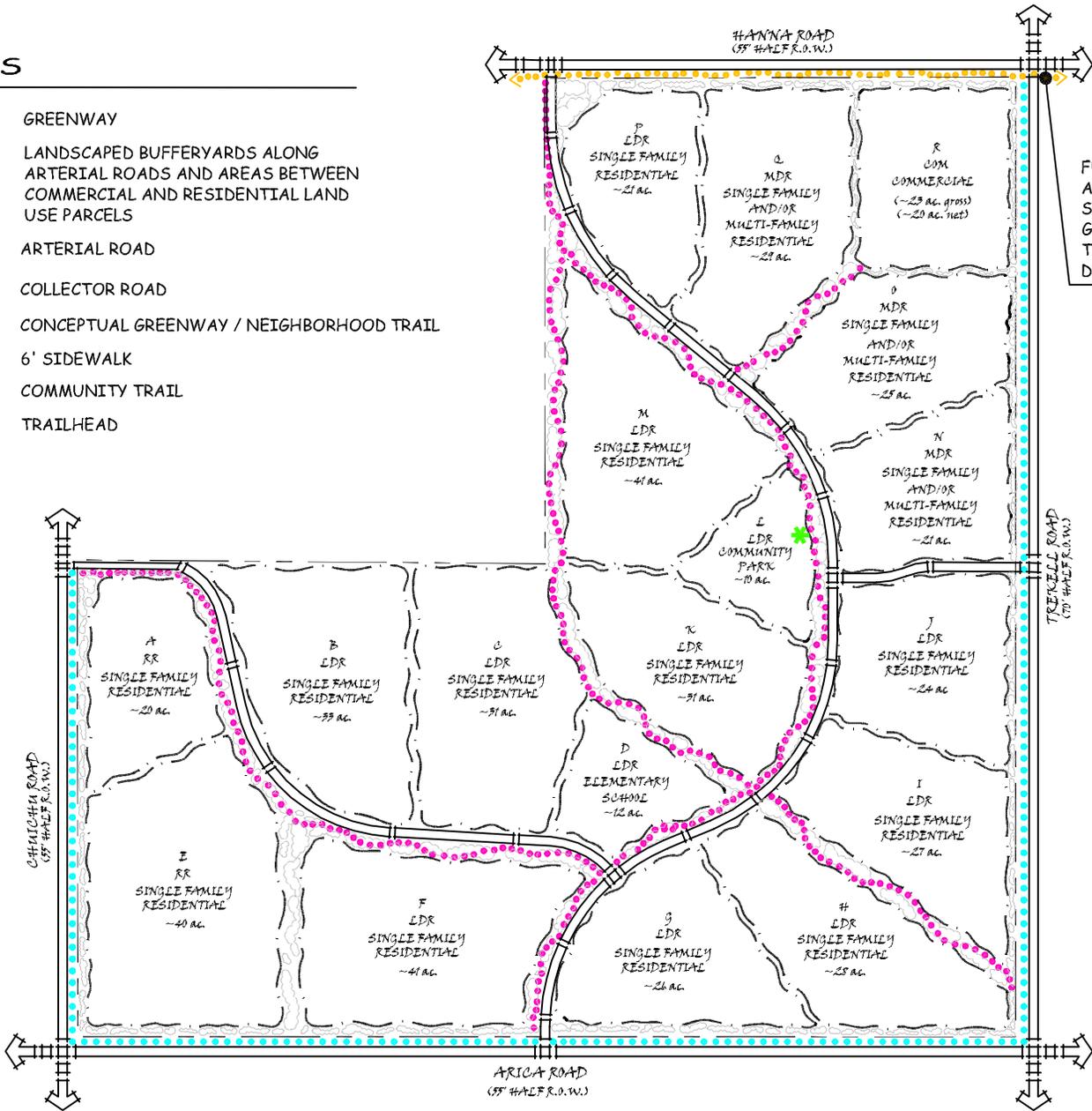


Width = 50' Min.
 Elements may include Multi-use Path, Soft Surface Path and Landscaping

Exhibit S: Conceptual Community Trail Section

SYMBOLS

-  GREENWAY
-  LANDSCAPED BUFFERYARDS ALONG ARTERIAL ROADS AND AREAS BETWEEN COMMERCIAL AND RESIDENTIAL LAND USE PARCELS
-  ARTERIAL ROAD
-  COLLECTOR ROAD
-  CONCEPTUAL GREENWAY / NEIGHBORHOOD TRAIL
-  6' SIDEWALK
-  COMMUNITY TRAIL
-  TRAILHEAD



FUTURE TRAIL ALIGNMENT AS SHOWN ON THE CASA GRANDE REGIONAL TRAILS MASTER PLAN-DRAFT (APRIL 9, 2007)

4. Public/Semi-Public Facilities

This community will generate the need for services, including a school site and a site for a police and fire station. This community proposes to provide a 12-acre elementary school site and a three-acre site for a future police substation and fire station. The provision of these services is more fully discussed in the next section of this document.

5. Wall Treatments and Entry Features

Distinctive major entries establishing a particular theme will be provided at all collector and arterial street intersections with consistent wall and monument features to be used throughout the development. Preliminary entry feature concepts have been prepared and are shown in *Exhibits U and V: Conceptual Entry Feature*. These entry concepts have been designed to meet or exceed all current requirements of the City of Casa Grande and will be subject to final approval by the Casa Grande Planning Department. These illustrations are also conceptual and the final entry features that are actually constructed may differ from that which is shown.

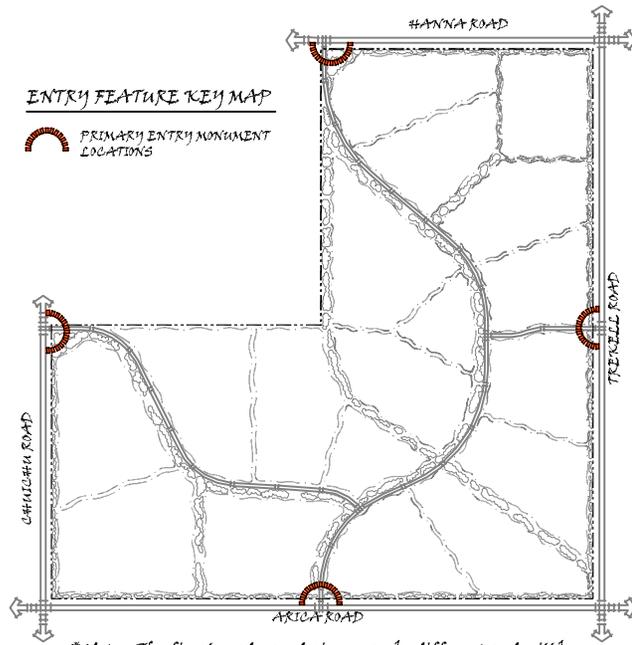
Several distinct wall types will be used throughout this proposed community. The perimeter wall is shown in *Exhibit W: Conceptual Theme Walls* and would be located along the outer perimeter of the community. These walls will be constructed of block and be a maximum of six feet in height and act as a screen and assist in noise abatement.

The interior view wall as shown on *Exhibit W: Conceptual Theme Walls* would be used in areas where views are afforded on the other side of the wall. These walls will be constructed with block on the lower portion of the wall and ornamental iron on the upper portion. These walls will be utilized along the greenways and in areas adjacent to the community park.

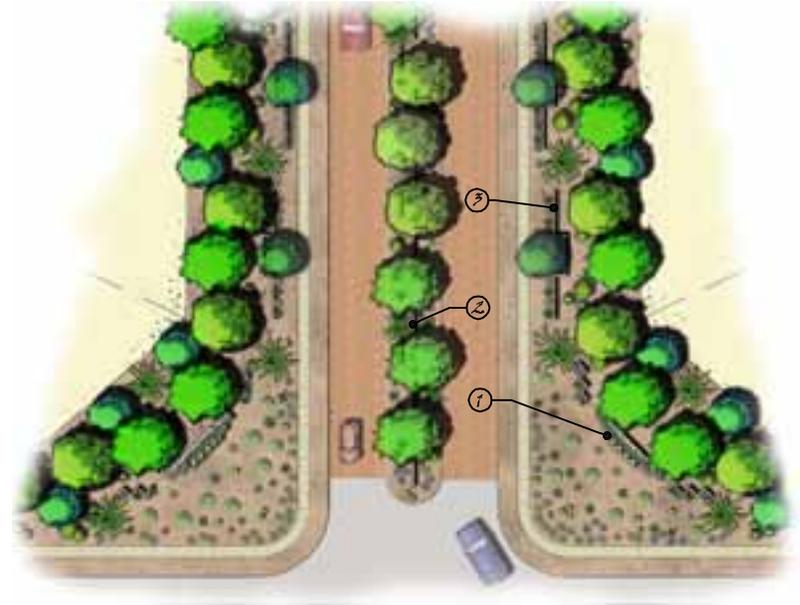
Interior walls between lots will be constructed of block and will be a maximum of six feet in height. Interior block walls may be used in the area between the commercial parcel and the adjacent residential parcels. In these areas, the maximum height of the wall is eight feet.

Within the Rural Residential parcels of the community, rustic fencing may be utilized in place of block walls to enhance the rural character of these lower density, equestrian oriented areas.

The walls and the entry features shown in this document are conceptual and those that are actually constructed may differ from those shown within this document. Final wall designs will be submitted as part of the landscape plans, subject to the review and final approval of the Casa Grande Planning Department.



*Note: The final roadway design may be different and will be approved by the Planning and Development Director.



*Note: Numbers correspond to elevations #1 below, and #2 & #3 on Exhibit V



① CONCEPTUAL ENTRY FEATURE-ENTRY MONUMENT ELEVATION



② CONCEPTUAL ENTRY FEATURE - LOW MEDIAN WALLS ELEVATION



③ CONCEPTUAL ENTRY FEATURE - SIDE WALLS ELEVATION

PERIMETER THEME WALL



SECTION ELEVATION

INTERIOR VIEW WALL



SECTION ELEVATION

*IV. Infrastructure
and Services*

IV. INFRASTRUCTURE/SERVICES

1. Water

Provider

It is anticipated that Arizona Water Company (AWC) will provide potable water for this community. The certificated service area (Certificate of Convenience and Necessity (CC&N)) of AWC lies adjacent to the northern boundary of the site and an expansion of this service area with the approval of the Arizona Corporation Commission would be required for AWC to service this site. A will service letter from AWC is included in this document as *Exhibit X*.

AWC currently maintains water lines in the vicinity of the subject property. There are 6-inch lines located in the vicinity of Chuichu Road and Hanna Road. Please refer to *Exhibit Y: Existing Utility Infrastructure* for the location of existing water lines in the vicinity of the subject property.

Water Supply

The developer of this site will need to prove a 100-year assured water supply for this proposed community. Final Plats must contain a Certificate of Assured Water Supply prior to approval of the plat. A Master Water Study will be completed by an Arizona Registered Professional Engineer and submitted to the Arizona Department of Water Resources for review and approval prior to plat approval. The water system infrastructure will be sized to accommodate peak water use.

ARIZONA WATER COMPANY

120 E. 2ND STREET, CASA GRANDE, ARIZONA 85222 • P.O. BOX 11030, CASA GRANDE, ARIZONA 85201-1030
PHONE: (520) 836-8785 • FAX: (520) 836-2850 • WWW.AZWATER.COM

November 29, 2007

Haugen WLB No. 105049-A-002

Re: 480 acre project Township 7 South Range 6 East section 17

Dear WLB Group Inc.:

Arizona Water Company (the "Company") certifies that no part of the above-described property is currently located within its Certificate of Convenience and Necessity ("CC&N") but is adjacent to its CC&N in Casa Grande, Arizona. If these conditions prevail at the time this property is developed and if no other water company includes this property within its CC&N, the Company certifies that it will provide water service to the above-described property in accordance with the Company's tariffs and the Arizona Corporation Commission's rules and regulations. It will be the responsibility of the developer to provide the funds to install the necessary water facilities, and the Company assumes no liability to install those facilities if the funds are not advanced by the developer.

The design of the water distribution system must comply with the Company's standard specifications that are on file at the Arizona Department of Environmental Quality. Both preliminary and final water system designs must be approved by the Company.

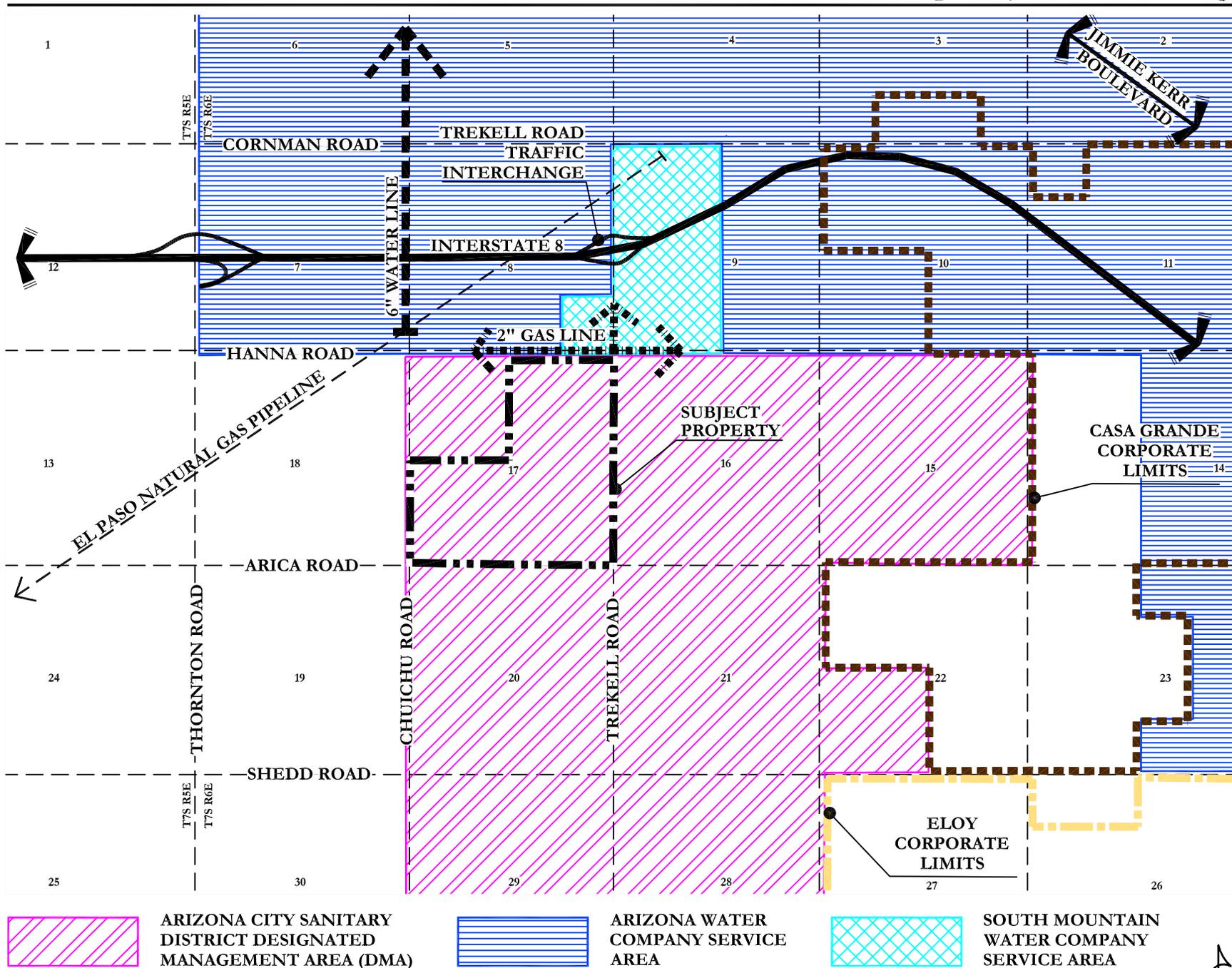
It will also be the responsibility of the developer to meet all the requirements of regulatory agencies having jurisdiction over Arizona subdivisions and of Arizona statutes applicable to subdivided or unsubdivided land, including, but not limited to, requirements relating to a Certificate of Assured Water Supply, as set forth in the Arizona Groundwater Management Act, A.R.S. §45-576.


Customer Service Supervisor

DOCUMENTS
MAY 06 08:54 AM 1/26/07

8/22/01
MVC/TMW
E-3-3-1

*Exhibit X: Will Serve Letter from Arizona
Water Company*



Water System Infrastructure

At the time of subdivision platting, a master water system design report will be prepared by a licensed professional engineer and submitted to the City of Casa Grande and the Arizona Department of Environmental Quality for review and approval. This report will outline the water system components that will be necessary to provide potable water to this site. The water system will consist of wells, ground storage reservoirs, a booster station and distribution piping. The actual timing and sizing of the water system infrastructure will depend on phased construction of the project.

One static zone is planned for the water system. It is expected that static pressure will range from 35 to 85 psi with some minor variances.

B. Sewer

Provider

This site currently lies within the Arizona City Sanitary Sewer District (ACSSD) 208 service plan area. However, initial discussions have occurred with the ACSSD that may allow for the City of Casa Grande to be the sewer service provider for this site. Should the City of Casa Grande be the provider, then sewer mains would ultimately be required to be extended to this site to convey wastewater to the existing City of Casa Grande wastewater treatment plant. In the interim and until such a time as sewer infrastructure is located in near proximity to the property, this community may utilize a pre-fabricated package sewer treatment plant.

At the time of subdivision platting, a master sewer design report will be prepared by a licensed professional engineer and submitted to the City of Casa Grande and the Arizona Department of Environmental Quality for review and approval.

The Rural Residential portions of this project will utilize septic systems in accordance with the City of Casa Grande and Pinal County regulations.

Existing Sewer Facilities

Current sewer lines maintained by the City of Casa Grande are located approximately 3 miles to the north of the subject property. The Wastewater Master Plan for the City of Casa Grande identifies a future gravity sewer main to be located within the Chuichu Road right-of-way with a collection point at Interstate 8.

Wastewater Collection

Ultimately the subject property will be primarily served by gravity sewer mains where possible and only employ the use of lift stations where absolutely necessary. The actual timing and sizing of the wastewater collection system will depend on phased construction of the project.

Reclaimed Wastewater

If effluent were to be made available to the site, it could be used for the irrigation of landscaped areas. In order to use effluent in

these areas, it would need to be treated to "open access" reuse standards.

C. Other Utilities

Electric

Electric service will be provided by Arizona Public Service (APS), which maintains facilities in the vicinity of the property. The property currently lies within their service area. A will serve letter from APS is included in this document as *Exhibit Z*.

Natural Gas

Southwest Gas Company will provide natural gas. There is an existing 2" gas line along the north border in Hanna Rd.

Communications

Qwest Communications will provide telephone service and Cox Communications will provide cable service.

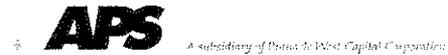
Sanitation

Solid waste removal and recycling services will be provided by the City of Casa Grande.

D. Public Services and Facilities

Police

Police protection will be provided by the City of Casa Grande.



55 N. Brown Ave.
Casa Grande, AZ 85222
www.aps.com

December 5, 2007

Ms. Angela Watson
WLB Group
4444 E. Broadway Blvd
Tucson, AZ 85711

Re: Power Availability for Haugen Pad, WLB #105049-A-002

Dear Ms. Watson:

Thank you for the opportunity to provide information regarding electrical service to the above location. The referenced area is in Arizona Public Service Company's service area.

We will be extending our facilities to this location in accordance with the "Conditions Governing Extensions of Electric Distribution Lines and Services" (Schedule #3) and the "Terms and Conditions for the Sale of Electric Service" (Schedule #1) that are on file with the Arizona Corporation Commission at the time we begin installation of our electric facilities. Current copies are enclosed for your review and are also available on the Construction Corner at www.aps.com.

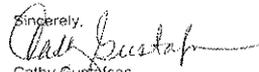
APS will provide you with requirements and specifications designed specifically for your project. In order to assist us in the timely preparation of a design for your project, please refer to the attached checklist of information that we will need before starting design.

Prior to construction, an advance payment may be required. The amount of any advance payment will be determined based on Section 1.0 of Schedule #3. This advance payment may be refundable in accordance with Section 5 of Schedule #3. In addition, you may also incur additional charges which are non-refundable. These costs will depend on the type and extent of construction required to serve your project. Any APS charges will be set forth in an Extension Agreement which will require authorization by both APS and the customer.

All trenching and conduit installation will be the responsibility of the Customer and will be inspected by APS prior to installation of our facilities.

This letter is intended for your general information only and does not constitute any type of offer or agreement. Again, specific information for your project will be available upon receipt of the information listed on the enclosed check list and completion of the design process.

If I can be of further assistance at this time, please do not hesitate to call me at 520-421-8358. I will look forward to hearing from you soon.

Sincerely,

Cathy Gustafson
Customer Service Representative, Sr.
Pinal District Service Planning

Enclosures

*Exhibit Z: Will Serve Letter from Arizona
Public Service*

Fire

Fire protection will be provided by the City of Casa Grande.

The owner of this property has designated a 3-acre net site for the future location of a police substation and fire station. This site has been located on Hanna Road adjacent to the commercial parcel to provide for convenient ingress and egress and maintain a separation from the other non-compatible land uses. Should the City of Casa Grande determine that this site needs to be located elsewhere within the community, then another suitable location will be made available.

Education

Consideration has been given to the need to plan for the educational needs of the future residents of this community. The Casa Grande Elementary School District and Casa Grande Union High School District will serve the Mira Vista PAD for kindergarten through grade 12. The owner has discussed this proposed community with Mr. Frank Davidson, Superintendent of the Casa Grande Elementary School District, and Nancy Pifer, Superintendent of the Casa Grande Union High School District, and in doing so the property understands the needs of both districts. Refer to *Exhibit AA* and *Exhibit BB*. As a result, this master-planned community is proposing one 12-acre elementary school site. Students that require a school beyond the elementary school would likely attend the Casa Grande Middle School. The owner will also work with the District to consider the design of the schools, appropriate ingress/egress for bus and drop off traffic, drainage, and recreational uses.

The High School District has indicated that a high school site is not required on this property and that students would attend the Casa Grande Union High School.

Casa Grande Elementary Schools

1460 N. Pinal Avenue • Casa Grande, Arizona 85222
Telephone: (520) 836-2111
Fax: (520) 426-3712

GOVERNING BOARD
Tom Hollenbach, President
Rory Acheson, Member
Tom Hansen, Member
Lamar Johnson, Member
Dr. John Klein, Member

Frank D. Davidson, Ed.D.
Superintendent

Kevin J. Kelly
Administrative Services Manager

November 29, 2007

Robert G. Longaker III, R.L.A., ASLA
The WLB Group, Inc.
4444 East Broadway Boulevard
Tucson, AZ 85711

Dear Rob:

The purpose of this letter is to confirm that I have no objections to the development of the Haugen Property at Arica and Trekeil Roads, provided the owner and the Casa Grande Elementary School District are able to enter into a donation agreement that is acceptable to both parties. As planning with regard to this project proceeds, I know that you will confer with me concerning the needs of the schools.

Sincerely,


Frank Davidson, Ed.D.
Superintendent

*Exhibit AA: Letter from Casa Grande
Elementary School District*



CASA GRANDE UNION HIGH SCHOOL DISTRICT

NANCY M. PIFER
SUPERINTENDENT
CASA GRANDE
UNION HIGH SCHOOL DISTRICT

STEVEN HELEN
DIRECTOR OF
SCHOOL SERVICES
LORI GRANT
DIRECTOR OF PERSONNEL
SCHOOL SERVICES
LINDA HILL
DIRECTOR OF CAREER &
TECHNICAL EDUCATION

December 26, 2007

Robert G. Longaker III, R.L.A., ASLA
Senior Project Manager
Land Planning and Landscape Architecture
The WLB Group, Inc.
4444 East Broadway Boulevard
Tucson, AZ 85711

Hi Rob:

It has been a while but I am very happy to hear from you and see that The WLB Group, amongst a few other brave developers, are still forging ahead and planning for when the housing market rebounds. I believe you are smart to do so.

I appreciate that you are proactive with Casa Grande UHSD to take care of the voluntary donation agreement. The one you have referenced is still the one in force. I am very happy to take that one to our Board for approval when you are ready.

Thanks so much for a very positive and productive working relationship. Our District strives for a great school community. We count on great support from those of you bringing new families into the Casa Grande Community and welcome their students into our school community. What we provide in terms of education and facilities is a wonderful pairing with your home developments.

My best wishes for a happy and healthy 2008.

Sincerely,

Nancy M. Pifer
Superintendent
Casa Grande Union High School District

1362 North Casa Grande Avenue • Casa Grande, Arizona 85222 • 520/846-4160 • 520/846-3352 FAX • www.cghsd.org

*Exhibit BB: Letter from Casa Grande
Union High School District*

5. Vehicular Circulation

The development of any master planned, mixed-use community depends in part on the creation of a vehicular roadway network that will safely and efficiently carry traffic to and from the community, as well as within it. The roadway system also carries an aesthetic responsibility and strives to provide community residents with a pleasurable experience as one drives along the roadways.

A regional roadway condition map is included in this document as *Exhibit I* and identifies the current condition of the roadway network in the vicinity of the subject property.

Planned Road System Network

The vehicular transportation needs of this community will be met through the construction of a roadway network that meets the approval of the City of Casa Grande. The following descriptions of roadway classifications and designs reflect those that are anticipated at the time of approval of the PAD. The final design and construction of the road system network will comply with the most current City of Casa Grande plans at the time of platting/development.

Internal circulation for this community is to be provided by a series of collector roads and local streets. This master-planned community provides for a primary collector road consisting of an 80-foot right-of-way. This road will be constructed to the standards of the City of Casa Grande. Refer to *Exhibit CC: Road Section – Major Collector* and to *Exhibit J: Conceptual Land Use Plan* for an illustration of the primary collector road system. Local

streets will be built to the standards of the City of Casa Grande. Please refer to *Exhibit DD: Road Section – Local Street*, and *Exhibit EE: Road Section –Alternate Local Street*. All local streets, which support home frontage, shall be a minimum of 44 feet in right-of-way width (as deemed necessary by the City of Casa Grande), except in the Rural Residential development parcels where the larger lot sizes create a more rural flavor and thus the local rural street section which allows for a narrower right-of-way width of 40 feet shall be utilized.

In order to anticipate future growth and associated traffic volumes in this area, the City of Casa Grande suggests that arterial roadways be designed with 140 feet of right-of-way at two mile intervals. As such, this project has planned for principal arterial roads and will provide 70 feet of half right-of-way on Trekell Road. Please refer to *Exhibit FF: Road Section – Principal Arterial*.

The proposed minor arterial road section, providing 55 feet of half right-of-way, is proposed for Hanna Road, Chuichu Road and Arica Road. Please refer to *Exhibit GG: Road Section – Minor Arterial*.

A Traffic Impact Analysis shall be provided at the time of submittal of the PAD and tentative plat and reviewed by the City to determine the traffic impact of this project, and any need for additional traffic and roadway improvements that the developer/builder will be required to provide and/or be partially financially responsible for, based on the amount of traffic generated by this development.

The Traffic Impact Analysis will be the basis by which the City staff will determine the location, design and extent of the roadway and intersection improvements to be constructed by the developer.

All improvements discussed in this PAD will be provided and all public improvements must comply with the minimum requirements of the City code unless otherwise approved by the City.

Road Improvement Standards

Road improvements will follow the Roadway Functional Classification as set forth in the Casa Grande General Plan. Street improvements are proposed as follows:

| TABLE 2: ROADWAY INFORMATION TABLE | | | |
|------------------------------------|--------------------|---|-------------------------------|
| CLASSIFICATION | R.O.W. STD. (Feet) | TYPICAL LANE CONFIGURATION | TYPICAL PAVEMENT WIDTH (Feet) |
| PRINCIPAL ARTERIAL | 140 | 6 LANES WITH CONTINUOUS TWO-WAY LEFT-TURN LANE, OR RESTRICTED WITH MEDIAN, AND BIKE LANES | 102 |
| MINOR ARTERIAL | 110 | 4 LANES WITH CONTINUOUS TWO-WAY LEFT-TURN LANE, OR RESTRICTED WITH MEDIAN, AND BIKE LANES | 74 |
| COLLECTOR | 80 | 2 LANES W/CONTINUOUS LEFT-TURN LANE AND BIKE LANES | 36 – 50 |
| LOCAL STREET (URBAN) | 44* | 2 LANES | 26 – 32 |
| LOCAL STREET (RURAL) | 40* | 2 LANES | 24 |

*An additional 12-foot segment of land on each side of the road must be provided for public utility easement

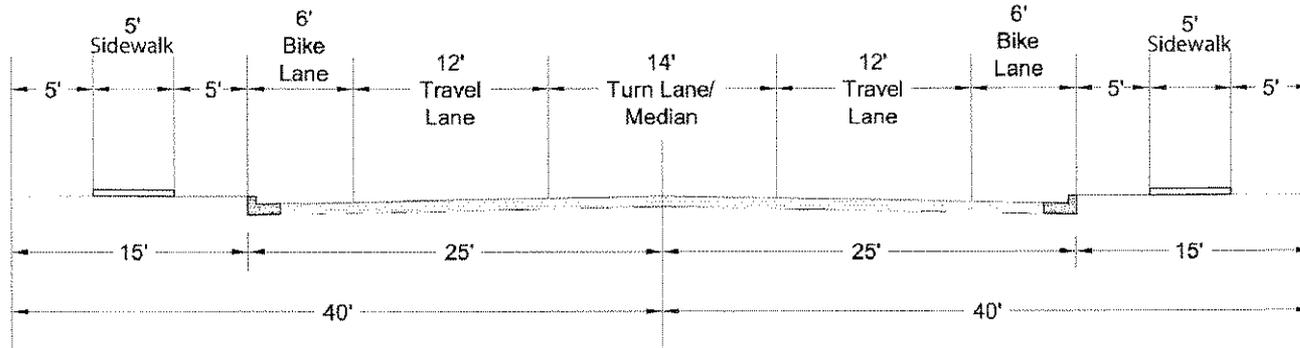
F. Surface Drainage and Grading

In accordance with the requirements of the City of Casa Grande, this project will propose provisions for storm or floodwater runoff channels and basins, and all provisions for drainage control will comply with the regulations of the City storm drainage master plan and drainage policy. The proposed

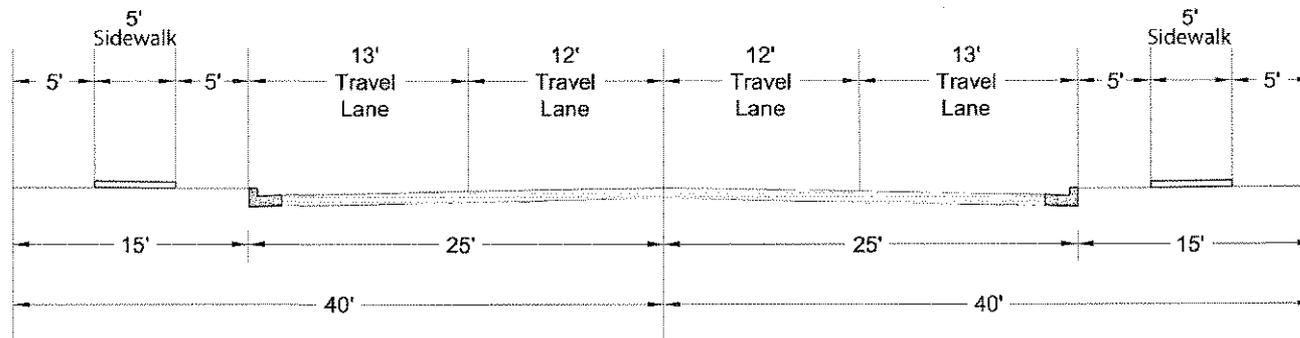
improvements will be designed to provide for the health, safety and welfare of the present and future population of the area.

The grading and drainage concept for this project will be developed at the time of preliminary plat or site plan preparation. Final drainage reports and plans, meeting the approval of the City Engineer, are required prior to the approval of any Final Subdivisions Plats or Major Site Plans for this project.

On site retention basins will be designed to accommodate runoff during a 100-year storm event and whenever possible to serve the dual designed purpose of useable open space. Where possible, the retention basins will be landscaped and designed to a maximum ponding depth of 3 feet with a maximum side slope where possible of 4:1. Offsite storm drainage will be accommodated through professionally designed water conveyance systems, including landscaped drainage channels. At least 15 percent of the area of the retention basins designed for recreational use shall be above the 25-year flood high water surface elevation.



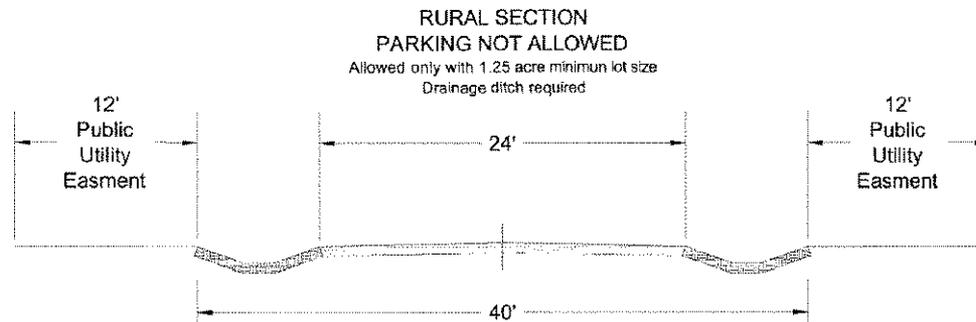
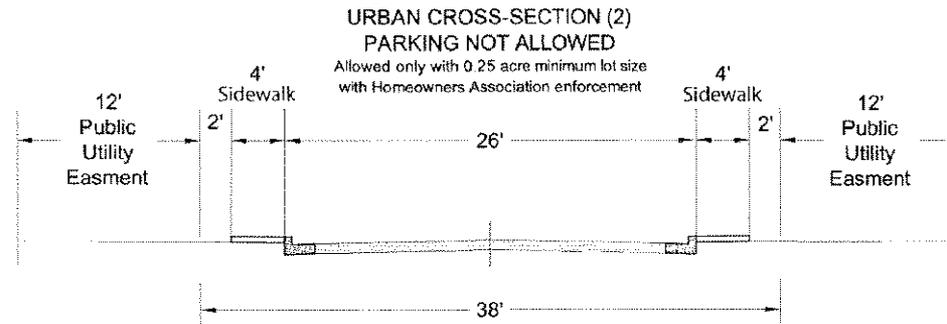
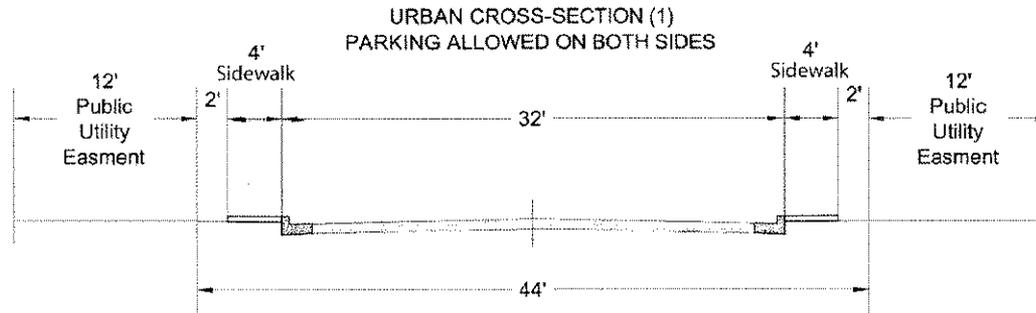
ALTERNATE



CITY OF
CASA
GRANDE

MAJOR COLLECTOR
TYPICAL SECTION

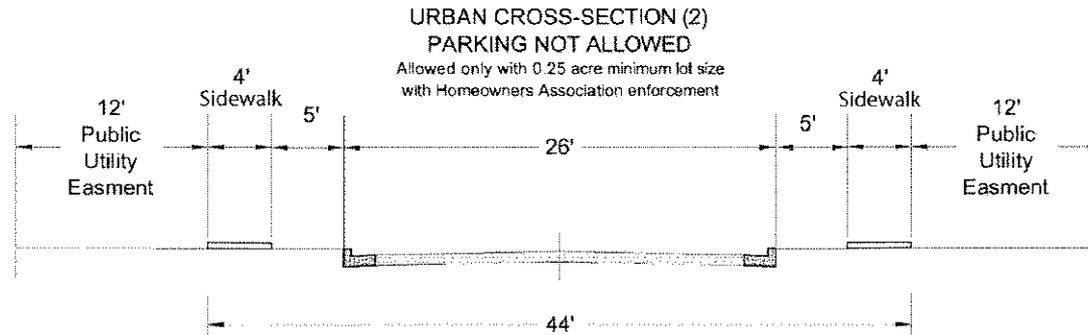
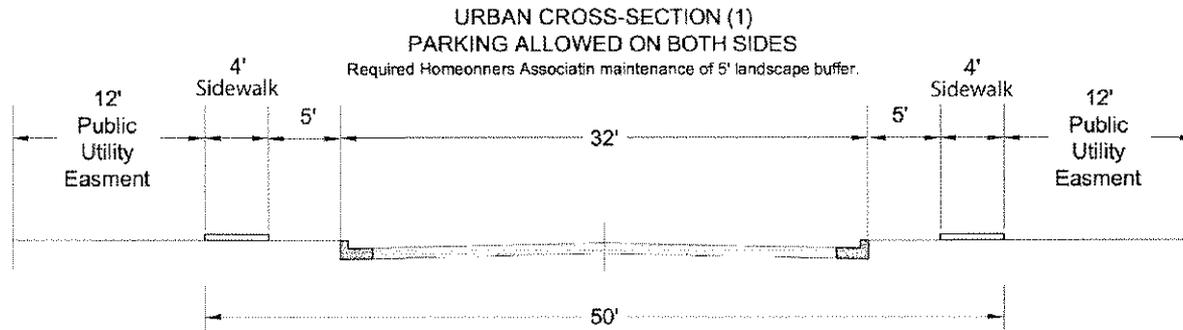
FIGURE 7-4



CITY OF
CASA
GRANDE

LOCAL STREET
TYPICAL SECTION

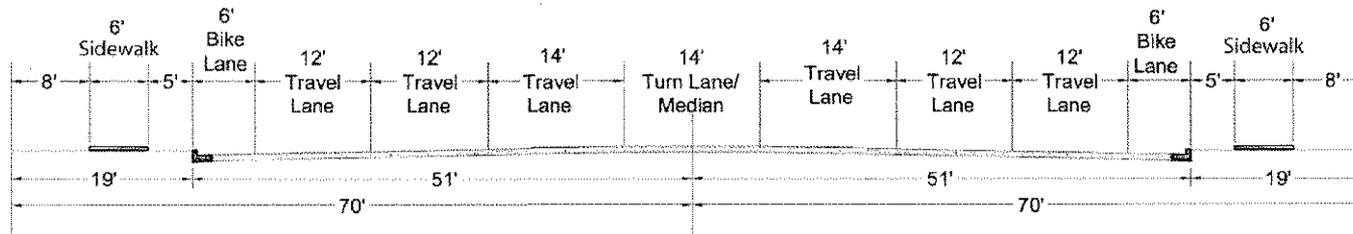
FIGURE 7-6



CITY OF
CASA
GRANDE

ALTERNATIVE LOCAL STREET
TYPICAL SECTION

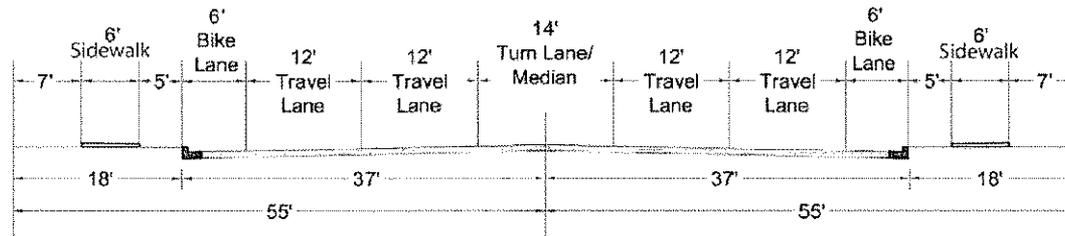
FIGURE 7-7



CITY OF
CASA
GRANDE

PRINCIPLE ARTERIAL
TYPICAL SECTION

FIGURE 7-2



CITY OF
CASA
GRANDE

MINOR ARTERIAL
TYPICAL SECTION

FIGURE 7-3

*V. Development
Standards*

V. DEVELOPMENT STANDARDS

A. Purpose and Intent

The development and land use standards established herein serve as the primary mechanism for implementation of the land uses for the Mira Vista Property Planned Area Development.

The development standards contained herein provide an appropriate amount of flexibility to anticipate future needs and compatibility between land uses. The Mira Vista Property PAD promotes quality design and diversity of uses and thereby ensures a high quality of development within the City of Casa Grande.

This section outlines the land use districts that are part of this PAD and which have been specifically designed for this PAD. These districts supersede the zoning districts and associated standards defined within the City of Casa Grande Zoning Ordinance.

For the purpose of this PAD, the following land use districts are hereby established:

- A. Rural Residential
- B. Low Density Residential
- C. Medium Density Residential
- D. Commercial
- E. Parks/Open Space

These land use districts are further described and defined later in this document.

B. General Provisions

1. CC&Rs for the Mira Vista PAD, to be administered and regulated by the developer, will be created prior to the issuance of a building permit.
2. All construction and development within the PAD area shall comply with applicable provisions of the Casa Grande Building Code and the various related mechanical codes, electrical codes, plumbing codes, fire codes, grading and excavation codes and the subdivision codes as adopted by the City of Casa Grande and the State of Arizona.
3. To ensure the orderly growth of the community, it is understood that minor modifications to the boundaries and acreage of development parcels (as shown on *Exhibit J: Conceptual Land Use Plan*) or adjustments because of final road alignments or grading/hydrology hazards specified by the City of Casa Grande will occur during technical refinements in the tentative plat process and shall not require an amendment to the PAD. The PAD residential dwelling unit maximum is 1,704 dwelling units. Please see below for the density formula (per Section 17.12.430 of the City of Casa Grande, Title 17, Zoning Ordinance):

$$D = DU / A - (c + i + s + a)$$
$$D = 1,704 / 483 - (23 + 0 + 12 + 22)$$
$$D = 4 \text{ DU/AC}$$

D: net residential density
DU: number of dwelling units in project
A: total site acre (acres)
c: total commercial land area (acres)
i: total industrial land area (acres)
s: reserved but undedicated school sites or other public sites (acres)
a: arterial rights-of-way in acres

4. Utility uses, such as sewer lift stations, water booster pumps and temporary sewer package plants, are permitted in all zones as established by this PAD.
5. Parks, schools, and churches are permitted uses in all zoning districts established herein. Some of these uses are shown on *Exhibit J: Conceptual Land Use Plan*. These uses may be relocated anywhere within the property via an administrative approval by the Planning Director.
6. Municipal uses are permitted in all zoning districts established herein.
7. Site specific plans for commercial areas will be required and will be subject to "Major Site Plan" review by the City of Casa Grande.
8. At the time of site plan review, all commercial developments shall submit a plan detailing fencing, walls, landscaping, building placement and other details.
9. Additional commercial uses that are similar in nature to those specifically allowed by this PAD may be permitted. The

Planning and Development Director may allow additional uses to this PAD without formal amendment through a public hearing process provided that the additional uses are appropriate and consistent with the uses described herein.

10. Prior to approval of any Major Site Plan request, Comprehensive Sign Guidelines for individual commercial parcels will be subject to the Major Site Plan review process. The guidelines will include requirements for sign heights, areas, size, color, logos, lighting, materials, and other significant elements.
11. For the purposes of this document, open space shall consist of the following: parks, trails and pathways, bufferyards, common area maintained by the HOA, active or passive recreational facilities, any landscaped or turf drainage basins and areas of entry monumentation.
12. Open spaces within each parcel will be constructed and completed prior to issuance of occupancy permits unless the parcel is phased. The respective HOA will maintain such areas as regulated through the CC&Rs for each parcel.
13. A relocation of any open space element as shown on the Conceptual Land Use Plan is permitted provided that the amount and type of open space provided remains consistent with the provisions and intent of this document.
14. A Master HOA will be established and will be responsible for maintaining the greenways and community park unless deeded to and maintained by the City of Casa Grande.

-
15. The elementary school site identified herein will be designed by the Casa Grande Elementary School District with developer input. Should the Casa Grande Elementary School District determine that this school site is not required, or would better serve the needs of the District if located elsewhere in the project, then these modifications may be made via an administrative approval by the Planning Director. The details of the provision of the school site are as outlined in the separate agreement between the developer and school district.
 16. The future design of the police/fire station site will be in accordance with the standards and requirements of the applicable city departments. The location of the site is subject to relocation based on the future needs of the community and City of Casa Grande.
 17. The dimensions of the commercial as shown on *Exhibit J: Conceptual Land Use Plan* may change provided that the total acreage of the parcel as shown does not increase.
 18. An addition to the permitted uses in any district is allowable provided that the proposed uses remain in harmony with the overall intent of this PAD, the herein established uses and meet the approval of the Planning Director.
 19. The Planning Director reserves the right to allow for administrative changes to this document provided such changes do not meet the criterion of a major amendment as defined in Section VII: Implementation, C of this document.

C. Residential Development Standards

1. Rural Residential (RR)

This land use district provides for areas that will contain detached, single family residential units, shared equestrian facilities, open space and recreation areas, and other directly related complementary uses. It applies to Parcels A and E as shown on *Exhibit J: Conceptual Land Use Plan*. Parcels with this designation may be built at an approximate density of one dwelling unit per acre.

A. Primary Permitted Uses

- Single-family detached dwelling unit.
- Parks, open space and associated recreation areas.
- Churches, and schools.
- Raising and marketing of poultry, rabbits and small animals, but not slaughtering of other than such raised on premises.
- The grazing and raising of livestock and horses except not more than three (3) hogs.
- Public riding stables and boarding stables, providing the site contains not less than 10 acres and the buildings housing animals set back from all lot lines a distance of not less than 100 feet.
- Accessory uses as described in the Casa Grande Zoning Ordinance.

*B. Conditionally Permitted Uses
(as permitted by the process outlined in Chapter 17.68 of the Casa Grande City Code)*

- Day care centers.
- Public/quasi-public buildings and uses (all buildings to be located at least 50' from property lines).
- Water pump station.

C. Development Standards

- Minimum lot depth: 150 feet
- Minimum lot width: 100 feet
- Minimum lot area: 1 acre (43,560 S.F.)
- Maximum building height: 28 feet*
- Minimum setbacks.....refer to table below

*This limitation in height does not include decorative architectural elements such as chimneys, bell towers, etc.

| Use | Front | Interior Side | Corner Side | Rear Yard |
|---|-------|---------------|-------------|-----------|
| Single-family dwelling | 20' | 10' | 50' | 50' |
| Structures accessory to single-family dwellings | 50' | 3' | 50' | 3' |
| Structures for all other principal, conditional or accessory uses | 50' | 50' | 50' | 50' |

2. Low Density Residential (LDR)

This land use district provides for areas that will contain detached, single family residential units, open space and recreation areas, and other directly related complementary uses. It applies to Parcels B, C, D, F, G, H, I, J, K, L, M and P as shown on *Exhibit J: Conceptual Land Use Plan*. Parcels with this designation may be built at an approximate density of between three and four dwelling units per acre.

A. Primary Permitted Uses

- Single-family detached dwelling unit.
- Parks, open space and associated recreation areas.
- Churches and schools
- Accessory uses as described in the Casa Grande Zoning Ordinance.

*B. Conditionally Permitted Uses
(as permitted by the process outlined in Chapter 17.68 of the Casa Grande City Code)*

- Day care centers.
- Public/quasi-public buildings and uses (all buildings to be located at least 50' from property lines).
- Water pump station.

C. Development Standards

- Minimum lot depth:..... 110 feet
- Minimum lot width:.....55 feet

- Minimum lot area: 6,000 square feet
- Maximum building height: 28 feet*
- Minimum setbacks.....refer to table below

*This limitation in height does not include decorative architectural elements such as chimneys, bell towers, etc.

| Use | Front | Interior Side | Corner Side | Rear Yard |
|---|-----------|---------------|-------------|-----------|
| Single-family dwelling | 15'/20'** | 5'/10'*** | 20'**** | 20' |
| Structures accessory to single-family dwellings | 15'/20'** | 3' | 20'**** | 3' |
| Structures for all other principal, conditional or accessory uses | 15'/20'** | 10' | 20'**** | 20' |

**15' with side entry garage, 20' without (there must be a minimum of 20 feet between the face of the garage and the outside edge of the sidewalk to allow a vehicle to park in the driveway without protruding into the sidewalk.)

***Three feet of encroachment on the 10-foot side is permitted for bay windows and any other architectural elements.

****May include 15' landscape tract

3. Medium Density Residential (MDR)

The medium density residential provides for areas that may primarily contain both attached and detached residential units, as well as open space and recreation areas and other directly related complementary uses. It applies to Parcels N, O and Q as shown on *Exhibit J: Conceptual Land Use Plan*. Parcels with this designation may be built at an approximate density of between five and eight dwelling units per acre.

A. Primary Permitted Uses

- Any use permitted in LDR (as defined herein).
- Single family detached or attached dwelling unit.
- Multi-family dwelling unit.
- Parks, open space and associated recreation facilities.
- Churches and schools
- Accessory uses as described in the Casa Grande Zoning Ordinance.

*B. Conditionally Permitted Uses
(as permitted by the process outlined in Chapter 17.68 of the Casa Grande City Code)*

- Day care centers.
- Public/quasi-public buildings and uses (all buildings to be located at least 50' from property lines).
- Water pump station.

C. Development Standards – Detached Product

- Minimum area per dwelling unit:2,400 SF
- Maximum building height: 28 feet*
- Minimum setbacks.....refer to table below

*This limitation in height does not include decorative architectural elements such as chimneys, bell towers, etc.

| Use | Front | Interior Side | Corner Side | Rear Yard |
|--|------------|---------------|-------------|-----------|
| Single-family dwelling | 15'/18'*** | 0'/10'*** | 20'**** | 15'++ |
| Structures accessory to single-family dwellings | 15'/20'** | 3' | 20'**** | 3' |
| Schools, civic, cultural and religious institutions (including their accessory use structures) | 50' | 50' | 50' | 50' |
| Structures for all other principal, conditional or accessory uses | 15'/20'** | 10' | 20'**** | 20' |

**There must be a minimum of 18 feet between the face of the garage and the outside edge of the sidewalk to allow a vehicle to park in the driveway without protruding into the sidewalk.

+ Detached single family “Green Courts” or other similar product may employ zero front yard setbacks (with rear garages) but with a minimum 30’ distance between the fronts of buildings.

***Detached single family “Z-Lots” or other similar product may employ zero side yard setbacks, with a minimum 10 feet between buildings’ sides.

****May include 15’ landscape tract

++This setback may be reduced to 3 feet with product that utilizes rear entry garages.

D. Development Standards – Attached Product

- Minimum perimeter setback:.....15 feet
- Minimum open space: 20% of development parcel area
- Minimum distance between main buildings16 feet
- Maximum building height:.....35 feet*

*This limitation in height does not include decorative architectural elements such as chimneys, bell towers, etc.

D. Commercial Development Standards

This zone is intended to provide for the commercial services demanded by consumers. They will provide goods and services to not only the residents of the community, but also to the greater community. It applies to Parcel R as shown on *Exhibit J: Conceptual Land Use Plan*.

A. Primary Permitted Uses

All uses permitted by the General Business (B-2) zone in the Casa Grande Zoning Ordinance except mortuary, pawn shop, radio or television studio, sexually oriented businesses subject to licensing requirements of Chapter 5.24 of Casa Grande City Code, and taxidermist.

B. Development Standards

- Minimum site area:..... None
- Minimum front setback:..... 20 feet
- Minimum side setback:..... 15 feet
- Minimum corner setback 15 feet
- Minimum rear setback:..... 15 feet
- Residential zone boundary:..... 45 feet
- Maximum building height:..... 40 feet*

*This limitation in height does not include decorative architectural elements such as chimneys, bell towers, etc.

E. Public/Semi-Public Facilities Development Standards

This land use designation applies to the police/fire station site and the school sites identified in *Exhibit J: Conceptual Land Use Plan*. This site is identified with a symbol rather than a parcel designation to allow for flexibility in its location. The location of the site is subject to relocation based on the future needs of the community and city of Casa Grande. The future design of the police/fire station site will be in accordance with the standards and requirements of the applicable city departments.

The size and location of school site as shown on the Conceptual Land Use Plan is based on input from the Casa Grande Elementary School District. The school site is shown as Parcel D in *Exhibit J: Conceptual Land Use Plan*. The future design of this site will be in accordance with the standards and requirements of the Casa Grande Elementary School District. Also, as the community develops, the developer, together with the Casa Grande Elementary School District, reserves the right to move or eliminate the school site (if not needed) with an administrative approval by the Planning Director and without a formal PAD amendment through a public hearing process. The details of the provision of the school site or other considerations will be as outlined in a separate agreement between the developer and the school district.

Development Standards

All development standards listed in the Casa Grande Zoning Code pertaining to the B-4 Community Service Zone shall apply.

F. Parks/Open Space Development Standards

A minimum of 15% of the single-family residential portion of the PAD will be provided as open space. The Conceptual Land Use Plan identifies the location of approximately three fourths of the required open space. This includes a 10-acre community park shown as Parcel L in *Exhibit J: Conceptual Land Use Plan*. The required balance will be located within the development parcels and will be shown on future plats/development plans. The community park may be relocated anywhere within the community provided that the 15% open space requirement is still met. For the purpose of this document, open space shall consist of the following:

- Community park.
- Trails and pathways.
- Bufferyards.
- Common area maintained by the HOA.
- Active or passive recreational facilities.
- Landscaped or turfed retention basins.
- Areas of entry monumentation.

*VI. Community
Design Guidelines*

VI. COMMUNITY DESIGN GUIDELINES

The purpose of this section is to outline the design standards, that will guide the physical development of this community with specific regard to architecture, landscaping, lot sizes and general design.

The text in the following Sections A, B, C, and D has been excerpted directly from the “Residential Design Guidelines for Planned Area Developments (City of Casa Grande 2003) and outlines those guidelines required by the City of Casa Grande.

A. Introduction

Planned Area Developments, or PADs, are often chosen by an applicant because they offer more opportunity for flexibility and creativity than conventional zoning categories. PADs are also used to achieve the maximum allowable density per the City’s 2010 General Plan. Unfortunately, PADs can have an unwelcome result when utilized merely to reduce lot sizes and increase density without providing creativity and design innovation in return. In order to ensure that the City of Casa Grande continued to see creativity and design innovation and the avoidance of the “sameness problem” common to rapidly developing areas, the City held several work sessions to review, discuss, and develop additional standards for PADs. Updates to the standards are necessary to facilitate innovation and diversity as the City grows.

B. Purpose and Objectives

Although PADs can be applied to residential, commercial, industrial, and mixed-use projects, the focus of the *Residential Design Standards for Planned Area Developments* is on residential development and mixed-use developments with a residential component. The new PAD standards are consistent with the purpose and objectives of the PAD zone as described in Chapter 17.40 of the Zoning Ordinance. In addition, they will aid in fostering diversity within new residential PADs relative to overall PAD design, lot sizes, and architecture. Diversity, sustainability, and innovation remain the primary objectives of the PAD zone.

C. Overview

To accomplish the purpose and objectives identified above, the *Residential Design Standards for Planned Area Developments* are divided into two main areas: 1) PAD Layout and Design and; 2) PAD Residential Architecture. Within each category the opportunity to select specific standards, in addition to the mandatory requirements, was included to increase diversity and encourage creativity. Through the PAD process, Council may approve exceptions from these standards; however, this project does not seek to change any of the standards within the *Residential Design Standards for Planned Area Developments*.

Section IA. Mandatory PAD Layout and Design Standards

1. Open space

In addition to helping to meet the outdoor recreational and leisure demands of City residents and preserving sensitive natural features, open space areas should contribute to the overall aesthetic quality of a PAD. Specific open space requirements are listed below:

- A minimum of fifteen percent open space shall be provided within the single-family residential portions of a PAD.
 - Clubhouses, indoor recreation centers, parking lots, street rights-of-way, and non-landscaped or cement built retention areas and drainage channels shall not count towards the open space requirement.
 - At least fifty percent of the required open space must include parks, multi-use trails, bike paths, turf retention areas, tot lots, and/or other outdoor active or passive recreational improvements. Council may decrease this requirement in return for the preservation of areas with natural washes, native cacti and/or mature native trees.
 - When retention areas are designed for recreational usage, at least fifteen percent of the basin needs to be elevated above a twenty-five year flood water surface elevation. Where possible, drywells shall be used for all retention basin areas.
- All open space not considered natural preservation areas shall be landscaped according to an approved water-conserving final landscape plan.
 - If golf courses are included in open space calculations, the minimum open space requirement shall be twenty percent, with no more than sixty percent of the required recreational open space being utilized for the golf course.
 - Landscape, landscape lighting, and open space amenity plans shall be subject to the review and approval of the Planning and Development Director.

Open space must be provided in a manner where it is easily accessible from all lots or units. A good measure of accessibility is to provide open space in the form of parks, multi-use trails, bike paths, or passive recreation areas within a 1000 foot radius from each dwelling unit. Pocket parks and access to open space from cul-de-sac ends are highly encouraged. Open space shall be located and designed as a community amenity. Improved open space shall be provided within each phase of a development and be highly visible to the public to encourage community utilization and awareness. A method of maintaining the open space must be demonstrated and approved by the City.

2. Single-family lot sizes

- No single-family lot shall be less than 6,000 square feet.
- A minimum of fifty-five foot width is required for all single-family lots.
- Lot and space variety is required to encourage diversity in housing product types and neighborhoods.
- For every single-family lot or space less than 7,000 square feet in area, an equal number of lots or spaces that are at least 8,000 square feet in area shall be provided.

3. Setbacks

- Conventional single-family residential zoning district setbacks shall be used as the basis for establishing single-family residential setbacks; however, unique setbacks shall be established for each PAD based upon the proposed development theme and housing product. A minimum 10 foot side yard setback shall be provided for every lot to allow for adequate access to the rear yard.

4. Multi-family and single-family attached development

- The intent of the *Residential Design Standards for Planned Area Developments* shall be demonstrated in the site design and architecture of multi-family development.
- Multi-family buildings adjacent to single-family residential parcels are limited to a height of two stories.
- Development and design standards for single-family attached homes, including but limited to duplexes and townhomes, shall be generally consistent with the requirements for single-family detached homes, except for some reasonable and expected departures in lot sizes, densities, and setbacks.

5. Multi-story homes

- No multi-story homes shall be built on corner or end lots.
- No multi-story homes shall be located immediately adjacent to established one-story single-family home subdivisions.

6. Streetscapes and entrances

- A unique and cohesive theme for the PAD shall be demonstrated through the PAD's streetscapes, perimeter walls, signage, and landscaping designs.
- Perimeter walls and walls adjacent to roadways must be decorative and constructed of split-face block, scored block, or similar materials. View fencing along collector and arterial roadways may be suggested under appropriate

circumstances. Prominent walls also must include staggers, breaks, and/or columns for vertical and horizontal relief. Stone veneers may be required to accentuate the walls. Wall details are subject to the approval of the Planning and Development Director.

- A minimum fifteen-foot wide landscape tract shall be provided between every residential portion of a PAD and an adjacent arterial or collector right-of-way.
- The main entrances into a subdivision shall be designed to create a sense of arrival. Monument signage, increased vegetation and larger plant sizes are required to enhance subdivision entrances. Additional enhancements shall include a creative combination of the following features: lighting, landscaped medians, water features, sculptures, brick walls, boulders, and stone features.

7. Front yard landscaping

- Front yard landscaping is required for all homes and unless approved by the Planning and Development Director, will be provided by the developer/home builder.
- Front yard landscaping provided by the developer/builder or their representative must be installed within three weeks of closing. The Planning and Development Director may extend installation times for homeowner installed or custom landscaping improvements for individual lots.

- Front yard landscape packages offered by developers/builders shall be subject to the review and approval of the Planning and Development Director and must meet the following requirements: a variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided; front yard landscaping designs with berming, river run features, courtyards, lighting, or other creative features shall be offered for standard landscape designs; and if turf/lawn is provided for front yards, it shall be kept to a minimal (no more than 20 percent) portion of the front yard and include a concrete header or similar border.

8. School sites

Consideration shall be given to the need to plan for conveniently located school sites and the importance of neighborhood schools within master planned communities.

9. Miscellaneous

- Side yard fence returns for all interior lot walls shall extend to within ten feet of the front corner of the home.
- All walls exposed to the public, e.g., streets and open areas, shall be stained or painted the color of the primary decorative theme or perimeter walls, except walls for individual home lots may be the color of the residence.

Section IB. Additional Requirements for PAD Layout and Design

In addition to the previously stated mandatory requirements, four of the standards listed below must be selected. The selected requirements shall apply to the entire development. The four standards applicable to this PAD will be selected by the developer or home builder prior to the submittal of the first preliminary plat.

1. Provide a mix of cul-de-sac designs (where cul-de-sacs are provided), including eyebrows, short courts, cul-de-sacs with open space ends, and landscaped circles and a curvilinear street system. A curvilinear street system is one that utilizes curved streets to follow the natural lay of the land or to break the monotony of a conventional straight street system.
2. Provide a landscaped buffer at least five feet wide between sidewalks and back of curb along local roadways. It must be demonstrated that this buffer area will be maintained by a H.O.A. or by another approved method.
3. Use wrought iron or similar view fencing along portions of collector and/or arterial roadways where homes are not backing/siding these portions of roadways.
4. Stagger front setbacks by at least three feet. Every third or fourth setback must be staggered. Setback staggers must be predetermined by the home builder.
5. Provide a ten foot wide or wider concrete multi-use path meandering through the development. This standard must be selected for all projects with open space corridors, including washes and utility easements.

6. Increase the width of the required landscape tract provided between every residential portion of a PAD and an adjacent arterial right-of-way to at least twenty-five feet.
7. **Applicant's choice.** An opportunity for creativity and design innovation is provided here.

Section IIA. Mandatory PAD Residential Architecture Standards

It is recommended that home floor plans and elevations be presented to the Planning and Zoning Commission and Council at the time of PAD or Plat approval. If this is not possible (e.g., a builder has not been selected), the home floor plans and elevations shall be presented to the Planning and Zoning Commission for their review and approval at a later date prior to obtaining permits for the homes.

In order to avoid repetition and encourage architectural diversity, the following mandatory standards are provided:

1. Floor plans and elevations

- A minimum of five home floor plans, each with three distinct elevations, is required per project and within each definitive housing price range or product type.
- A minimum of five distinct home color schemes is required per project and within each definitive housing price range or product type.

-
- Diversity and uniqueness in elevations and color schemes shall be demonstrated within each PAD.
 - Homes with the same front elevation or color schemes shall not be located adjacent to (side by side) or across from each other.
 - There shall not be any more than three consecutive similar rear home elevations for homes backing an arterial or collector roadway.
 - Emphasis (e.g., covered front entries, covered front porches, bay windows, etc.) must be placed on the front elevations of homes. Main entries must face the street.
 - Window pop-outs, windowsills, recessed windows and/or similar architectural embellishments are required on all windows, except as approved by the Planning and Zoning Commission.

2. Roofs

- A variety of home roofing colors, shapes, and/or textures is required per project. Typically, concrete tile shall be required for all sloped roofs; however, consideration shall be given to alternative durable materials upon review of the housing product.
- Variation in roof ridge lines and designs is required.
- Unique roof colors shall be matched to each home color scheme.
- No buildings within a PAD shall have roof-mounted or wall-mounted mechanical equipment (e.g., HVAC, evaporative coolers). All such equipment must be ground-mounted.

3. Garages

- On lots where side-entry garages can be accommodated (typically 65 feet wide and wider lots), at least one floor plan per parcel or product type must be designed with a standard side entrance garage.
- No front-loaded garage shall extend forward of a home's livable area or covered front porch by more than ten feet.
- At least one floor plan per parcel or product type shall have the livable area of the home forward of the garage.
- Front-loaded garage doors shall not exceed fifty percent of the house width (frontage). Where more than a standard two car front-entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

4. Patio covers

- Rear or side yard covered patios or covered courtyards are required on every home.
- Where possible, covered patio areas should be incorporated into the architecture of the homes.
- Patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Zoning Commission.

5. Additions and modifications

- All additions to homes shall be constructed of the same building materials as the principal residence and painted to complement the home.
- Garages shall not be converted or enclosed for other uses.
- Accessory buildings shall only be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence.

Section IIB. Additional Requirements for PAD Residential Architecture

In addition to the previously stated mandatory requirements, four of the standards listed below must be selected. The selected requirements shall apply to the entire development. Once again, it is recommended that home floor plans and elevations be presented to the Planning and Zoning Commission and Council at the time of PAD or Plat approval. If this is not possible (e.g., a builder has not been selected), the home floor plans and elevations shall be presented to the Planning and Zoning Commission at a later date for their review and approval prior to obtaining permits for the homes.

The four standards applicable to this PAD will be selected by the developer or home builder prior to the submittal of the first preliminary plat.

1. Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
2. Provide unique architectural styles for all homes within a parcel or parcels of a PAD.
3. Provide architectural features, such as covered front entries, large covered front porches, bay windows, and /or dormers as standard features on all homes.
4. Reduce the number of standard front-loaded garages. At least one floor plan per project or product type shall have the garage oriented towards the rear of the home as a standard feature. In addition, the number of floor plans using side-loaded garages as standard features shall be increased from the minimum required.
5. Reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, providing multiple roof changes, and/or other effective means.
6. Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.
7. Provide one elevation per project or product type that uses flat roof, e.g., Sante Fe or Pueblo architectural style, elements.
8. Applicant's choice. An opportunity for creativity and design innovation is provided here.

VII. Implementation

VII. IMPLEMENTATION

A. Purpose and Intent

Development of the Mira Vista PAD will be implemented in conformance with the regulations and guidance contained within the PAD. This section outlines the procedures for administration of the provisions contained herein and the phasing plan for the development of the proposed planning area. Other information covered in this chapter pertains to general administration, subdivision administration procedures and the linkage between these elements.

B. Phasing

The primary intention of the phasing program is to relate infrastructure requirements to site development and market demand. The PAD allows for flexibility in project phasing because the actual sequence of development may be affected by numerous factors not now predictable, including tentative plat and site plan modifications due to final engineering or changes in the economic market.

It is anticipated that development of this property will occur in multiple phases that will depend on market influences and the timing of infrastructure extensions. As the land use parcels are developed, the collector roads, utilities, open space elements, etc. will simultaneously be built. Overall, the construction of roads will be phased. Lastly, it is expected that the commercial parcel will be built once all of the residential housing is complete. Should the need for commercial arise any sooner, or should a party express interest in building commercial, then this parcel will be appropriately developed. It is also expected that the

development of this site will occur within a reasonable and expeditious timeframe. Prior to the approval of any Subdivision Final Plats or Major Site Plans for this project, the developer/builder shall submit a detailed phasing plan for approval by the relevant City departments.

C. General Administration

Administration

The PAD shall be administered and enforced by the City of Casa Grande Planning Department, in accordance with the provisions of the City of Casa Grande Zoning Ordinance.

Residential Subdivision

Residential parcels in the subject property will be implemented through the subdivision process as outlined in the City of Casa Grande Subdivision Regulations. This process will require the submittal of tentative plats where properties are to be separately financed, sold, leased, or otherwise conveyed. The subdivision process will allow for the creation of lots through plats, which will allow for implementation of the project phasing.

Commercial Site Plan Review

The areas other than residential shall be implemented through a method of site plan review by planning and engineering staff and be required to have an approved site plan prior to issuance of building permits. Site plan review will not be required for interior alterations where there is no significant square footage increase or significant use intensification. Site plans, which contain plans,

drawings, illustrations, designs, reports, and other detailed information, as required herein, shall be submitted to the City for review and comment. Applicants are encouraged to submit preliminary plans for review and comment by the Planning Department prior to the final preparation of a site plan. Comment from other City departments and service agencies shall be sought by the staff prior to preparing a recommendation on the finalized PAD site plan.

Amendments

1. Minor Changes. Minor changes in the location and placement of buildings may be authorized by the Planning Director and City Engineer where unforeseen circumstances such as engineering requirements, dictate such change. When in question, the Planning Director and the City Engineer may determine whether the changes shall be classified as a minor or major, or may refer the question to the Planning and Zoning Commission, if they deem it necessary.

2. Major Changes. All changes not considered Minor Changes as defined under Section 17068.330 A of the Casa Grande City Code, shall be considered Major Changes. All Major Changes shall be submitted to the Planning and Zoning Commission for their review and approval in accordance the procedure and requirements defined under Article V of the Code except that only Major Changes requesting a change of land use, changes to the proposed arterial or collector roadway transportation circulation system, loss of open space, increase in residential density, the addition of cluster type development, or any request pertaining to a Large Single Retail Use or Large Multiple Use Shopping Centers shall be required to be forwarded to the City

Council for final approval. All other Major Changes shall be decided upon by the Planning and Zoning Commission. (Ord. 1397.17.29§1 (part), 2001; Ord. 1178 §7.8.7, 1987)

Administrative Interpretations

There may be occasions when the intent, provisions, standards and regulations outlined in this document may require interpretation by the City of Casa Grande Planning Director. These interpretations may be initiated in writing and submitted to the Planning Director who will then make a determination and offer an opinion in writing.

VIII. CONCLUSION

VIII. CONCLUSION

The development of the Mira Vista Planned Area Development shall be in accordance with the approved final Planned Area Development, all applicable City codes and ordinances, and all conditions required by the City Council. Mr. Haugen strongly desires to create the foundation for a future community that will be attractive to developers and home builders and complement the City of Casa Grande. We envision a development that both enhances and compliments the surrounding area. The development as proposed reflects quality, diversity and compatibility with the area and will provide both future and existing Casa Grande residents with a high quality living environment, of which the residents and the City will be proud. The Mira Vista Property PAD represents a diverse, well-designed and attractive master-planned community. We respectfully request your approval.

Appendix A

TABLE 17.52.410**City of Casa Grande Low Water Use
Plant List**

In order to promote water conservation, all plant material installed due to the landscaping requirements of Chapter 17, Article VI of the Municipal Code must be used from the list below. The city of Casa Grande gratefully acknowledges the Arizona Department of Water Resources — Pinal Active Management Area for the development of this list.

A. TREES

| <u>Botanical Name</u> | <u>Common Name</u> |
|------------------------|---------------------------|
| Acacia spp. | Acacia/Wattle |
| Agonis flexuosa | West Australia Peppermint |
| Brachychiton populneus | Bottle Tree |
| Brahea spp. | |
| Bursera spp. | |
| Caesalpinia spp. | Bird of Paradise |
| Callistemon viminalis | Weeping Bottle Brush |
| Casuarina spp. | |

| | |
|---------------------------|--|
| Celtis reticulata | Western Hackberry |
| Ceratonia siliqua | St. John's Bread Tree/Carob Tree |
| Cercidium spp. | Palo Verde |
| Chamacrops humilis | Mediterranean Fan Palm |
| Chilopsis linearis | Desert Willow |
| Cupressus arizonica | Arizona Cypress |
| Cupressus sempervirens | Italian Cypress |
| Dalbergia sissoo | Sissoo Tree |
| Dalea spp. | |
| Eucalyptus spp. | |
| Forchammeria watsonii | |
| Geijera parviflora | Australian Willow |
| Gleditsia triacanthos | Honey Locust |
| Leucaena retusa | Golden Ball Lead Tree |
| Lysiloma spp. | Feather Tree/ Fern of the Desert |
| Olea Europaea "Swan Hill" | Swan Hill Olive) |
| | (or other non- pollen producing olive trees) |

| | | | |
|-----------------------------------|-------------------------|--|----------------|
| <i>Olneya tesota</i> | Ironwood | <i>Tamarix aphylla</i> | Athel Tree |
| <i>Parkinsonia aculeata</i> | Mexican Palo Verde | <i>Ulmus parvifolia</i> “sempervirens” | Evergreen Elm |
| <i>Phoenix canariensis</i> | Canary Island Date Palm | <i>Vitex agnus-castus</i> | Chaste Tree |
| <i>Phoenix dactylifera</i> | Date Palm | <i>Washingtonia</i> spp. | Fan Palm |
| <i>Pinus canariensis</i> | Canary Island Pine | <i>Ziziphus jujuba</i> | Chinese Jujube |
| <i>Pinus eldarica</i> | Afghan Pine | | |
| <i>Pinus halepensis</i> | Aleppo Pine | | |
| <i>Pinus pinea</i> | Italian Stone Pine | | |
| <i>Pinus roxburghii</i> | Chir Pine | | |
| <i>Pistacia</i> spp. | Pistachio | | |
| <i>Pithecellobium</i> spp. | | | |
| <i>Pittosporum phillyraeoides</i> | Willow Pittosporum | | |
| <i>Prosopis</i> spp. | Mesquite | | |
| <i>Quercus</i> spp. | Oak | | |
| <i>Rhus lancea</i> | African Sumac | | |
| <i>Schinus terebinthifolius</i> | Brazilian Pepper | | |
| <i>Sophora secundiflora</i> | Texas Mountain Laurel | | |

B. SHRUBS

| <u>Botanical Name</u> | <u>Common Name</u> | | |
|--------------------------------------|----------------------|-------------------------|--------------------|
| | | Calothamnus spp. | |
| | | Cassia spp. | Cassia |
| Acacia spp. | Acacia/Wattle | Celtis pallida | Desert Hackberry |
| Aloysia spp. | | Chrysothamnus nauseosus | Rabbit Brush |
| Ambrosia deltoidea | Triangleleaf Bursage | Cistus spp. | |
| Ambrosia dumosa | White Bursage | Convolvulus cenorum | Bush Morning Glory |
| Atriplex spp. | Saltbush | Cordia boissieri | |
| Baccaris spp. | | Cordia parvifolia | Little Leaf Cordia |
| Berberis haematocarpa | Red Barberry | Dalea spp. | |
| Bougainvillea spp. | Bougainvillea | Dodonaea spp. | Hopbush |
| Buddleia marrubifolia | Wooly Butterfly Bush | Encelia spp. | Brittlebush |
| Caesalpinia spp. | | Ephedra spp. | Mormon Tea |
| Calliandra californica | Red Fairy Duster | Eremaea beaufortioides | Eremaea |
| Calliandra eriophylla | Fairy Duster | Eremaea pauciflora | Snow Gum |
| Calliandra peninsularis | Baja Fairy Duster | Eremaea violacea | Violet Eremaea |
| Callistemon citrinus | Lemon Bottle Brush | Eriogonum spp. | Buckwheat |
| Callistemon viminalis "Captain Cook" | Dwarf Bottle Brush | Eucalyptus spp. | |

| | | | |
|------------------------------------|---------------------------|---------------------------|-----------------|
| Forestiera neomexicana | Desert Olive | Plumbago scandens | Cape Plumbago |
| Genista hispanica | Spanish Broom | Punica granatum varieties | Pomegranate |
| Grevillea rosmarinifolia varieties | | Pyracantha spp. | Pyracantha |
| Hakea spp. | | Quercus spp. | Oak |
| Haplopappus laricifolia | Turpentine Bush | Rhus ovata | Mountain Laurel |
| Hyptis emoryi | Desert Lavender | Rhus trilobata | Skunkbush |
| Jatropha spp. | | Rhus virens | Evergreen Sumac |
| Juniperus chinensis varieties | Juniper | Ruellia californica | Ruellia |
| Justicia spp. | | Ruellia peninsularis | |
| Kunzea spp. | | Salvia spp. (shrub only) | Sage |
| Lantana camara | Bush Lantana | Sececio cineraria | Dusty Miller |
| Leucophyllum spp. | Desert Sage/ Texas Ranger | Simmondsia chinensis | Jojoba |
| Lycium spp. | | Sophora arizonica | |
| Melaleuca spp. | | Sophora formosa | |
| Mimosa biuncifera | Wait-a-Minute Bush | Tecoma stans | Yellow Bells |
| Mimosa dysocarpa | Velvet Pod Mimosa | Teucrium fruticans | Bush Germander |
| Nerium oleander varieties | Oleander | Vauquelinia spp. | Rosewood |

Viguiera tomentosa

Golden Eye

Ziziphus obtusifolia

Greythorn

C. GROUNDCOVERS/HERBACEOUS PLANTS

Botanical Name

Common Name

Acacia spp.

Anigozanthos spp.

Artemisia spp.

Asclepias subulata

Asparagus densiflorus cv. sprengeri

Atriplex spp.

Baccharis spp.

Carpobrotus edulis

Centaurea cineraria

Cephalophyllum spp.

Clianthus formosus

Convolvulus mauritanicus

Dalea spp.

Gazania spp.

Grevillea crithmifolia

Kangaroo Paw

Desert Milkweed

Sprenger Asparagus

Ice Plant

Dusty Miller

Red Spike Ice Plant

Sturt's Desert Pea

Ground Morning Glory

Gazania

Spider Flower

Kennedia coccinea

Kennedia prostrata

Lantana montevidensis

Malephora crocea

Myoporum parvifolium

Oenothera berlandieri

Oenothera drummondii

Pentzia incana

Romneya coulteri

Rosmarinus officinalis "prostratus"

Salvia chamaedryoides

Salvia farinacea

Santolina chamaecyparissus

Santolina virens

Sesuvium verrucosum

Sphaeralcea spp.

Verbena bipinnatifida

Coral Vine

Scarlet Runner

Trailing Lantana

Ice Plant

Sandalwood

Mexican Evening Primrose

Baja Primrose

Karoo Groundcover

Matilija Poppy

Prostrate Rosemary

Blue Sage

Mealy Cup Sage

Lavender Cotton

Green Santolina

Sea Purslane

Globe-Mallow

Verbena

Verbena peruviana

Peruvian Verbena

Verbena pulchella

False Sand Verbena

Verbena rigida

Verbena

D. SUCCULENTS

| <u>Botanical Name</u> | <u>Common Name</u> |
|-----------------------|---------------------|
| Agave spp. | Century Plant/Agave |
| Aloe spp. | Aloe |
| Cacti (all) | |
| Dasyliirion spp. | Desert Spoon |
| Fouquieria spp. | Ocotillo |
| Hesperaloe spp. | |
| Nolina spp. | Bear Grass |
| Yucca spp. | Yucca |

E. ANNUALS/PERENNIALS**Botanical Name****Common Name**

Abronia villosa

Sand Verbena

Arctotis spp.

African Daisy

Argemone pleicantha

Prickly Poppy

Baeria chrysostoma

Goldfield

Bahia absinthifolia

Bahia

Baileya multiradiata

Desert Marigold

Cassia covesii

Catharanthus roseus cultivars

Madagascar Periwinkle

Celosia spp.

Cockscomb

Cosmos spp.

Cosmos

Dimorphotheca spp.

African Daisy

Dyssodia pentachaeta

Dyssodia

Eschscholzia californica

California Poppy

Eschscholzia mexicana

Mexican Gold Poppy

Gilia leptantha

Showy Blue Gilia

Gomphrena globosa

Globe Amaranth

Helichrysum bracteatum

Everlasting Daisy

Helipterum spp.

Kallstroemia grandiflora

Arizona Poppy

Layia platyglossa

Tidy Tips

Lesquerella gordonii

Gold Crucifer

Linaria spp.

Toadflax

Lupinus densiflorus

Lupine

Lupinus sparsiflorus

Matricaria grandiflora

Pineapple Weed

Melampodium leucanthum

Blackfoot Daisy

Mentzelia spp.

Blazing Star

Orthocarpus purpurascens

Owl's Clover

Pectis papposa

Chinch Weed

Penstemon spp.

Phacelia spp.

Tagetes spp.

Marigold

Ursinia spp.

Ursinia

F. GRASSES

| <u>Botanical Name</u> | <u>Common Name</u> |
|------------------------|--------------------|
| Aristida purpurea | Red Three Awn |
| Bromus rubens | Red Brome |
| Eragrostis atherstone | Cochise Lovegrass |
| Eragrostis lehmanniana | Lehmann Lovegrass |
| Muhlenbergia dumosa | Giant Muhley |
| Pennisetum setaceum | Fountain Grass |
| Schismus barbatus | Schismus |

G. VINES

| <u>Botanical Name</u> | <u>Common Name</u> |
|--------------------------|-----------------------------|
| Antigonon leptopus | Mountain Rose/Queens Wreath |
| Bougainvillea spp. | Bougainvilla |
| Billardiera ringens | Riverbell Flower |
| Campsis radicans | Common Trumpet Creeper |
| Cissus Trifoliata | Arizona Grape Ivy |
| Clematis drummondii | Virgin's Bower |
| Hardenbergia comtoniana | Wild Wisteria |
| Kennedia nigricans | Black Yellow Vine |
| Macfadyena unguis - cati | Cat Claw |
| Mascagnia lilacaena | Lilac Orchid Vine |
| Mascagnia macroptera | Yellow Orchid Vine |
| Merremia aurea | Yuca |
| Solanum jasminoides | Potato Vine |