

GRANDE VALLEY NORTH PLANNED AREA DEVELOPMENT CASA GRANDE, ARIZONA

DEVELOPMENT GUIDE



Prepared for:
LKY DEVELOPMENT COMPANY, INC.
5040 East Shea Boulevard, Suite 254
Scottsdale, Arizona 85254
(480) 951-1281

&
GALLUP FINANCIAL L.L.C.
8501 N. Scottsdale Road, Suite 125
Scottsdale, Arizona 85253
(480) 443-5600

Casa Grande Case #
CGPZ-020a-06
November 16, 2005
Revised December 5, 2005
Revised December 14, 2005
Revised January 23, 2006

Prepared by
THE WLB GROUP, INC.
4444 East Broadway Boulevard
Tucson, Arizona 85711
(520) 881-7480
WLB No. 103047-C-003
WLB No. 103047-B-004



**Grande Valley North
Planned Area Development**

DEVELOPMENT GUIDE

TABLE OF CONTENTS

Purpose of Request.....	1
1. Introduction.....	1
2. Site Conditions and Surrounding Zoning	1
3. Master Plan Overview	2
4. Open Space.....	9
5. Existing and Proposed Area Circulation	10
6. Preliminary Traffic Information.....	12
7. Public Facilities-School.....	14
8. Utilities and Infrastructure	14
9. Residential Design Standards for Planned Area Developments.....	16
10. Commercial Design Standards	27
11. Grading and Drainage	30
12. Phasing	30
13. Conclusion.....	30
14. Development Team	32

EXHIBITS

1. Vicinity Map	7
2. Conceptual Land Use Plan.....	8
3. Conceptual Railroad Linear Park.....	13
4. Conceptual Cul-De-Sac at Paseo Treatment	21
5. Conceptual Main Entry Treatment.....	22
6. Conceptual Secondary Entry Treatment.....	23
7. Perimeter Wall Conceptual Design.....	24
8. View Wall Conceptual Design.....	25
9. Interior Wall Conceptual Design	26

APPENDICES

- Appendix A: Low Water Use Plant List
- Appendix B: Typical Road Sections

PURPOSE OF REQUEST

The owners of this property request a Planned Area Development on approximately 2,610 acres of land located near the Maricopa – Casa Grande Highway and Montgomery Road. This property is being called the Grande Valley North Planned Area Development. Many years ago, the owners of this property began purchasing property in this area with the goal of creating a nucleus of land suitable for a master planned community. In the year 2000, the initial grouping of land consisting of approximately 960 acres was zoned in Pinal County under the Montaña Vistas PAD. Then, in the year 2004, the second assemblage of land consisting of approximately 1,166 acres was approved by the Pinal County Board of Supervisors under the Grande Valley PAD.

This year, the goal of developing a master planned community was reached when Pulte Homes purchased the majority of the land included within the Montaña Vistas PAD and the Grande Valley PAD. Pulte Homes has submitted a separate PAD to the City of Casa Grande for review and seeks ultimate approval by City Council. The owners of the property included in the Grande Valley North PAD are excited about being annexed into the City of Casa Grande and seek to expand on the mixed-use community that will be developed by Pulte Homes. This PAD will provide for a variety of housing styles and densities, will provide for both neighborhood and regional commercial shopping centers, will provide for elementary school sites in accordance with the needs of the Casa Grande Elementary School District and lastly, will offer a variety of recreational opportunities. The community proposed within the Grande Valley North PAD will also provide easy and convenient access for its future residents, allowing for easy access to destinations both within and outside the community. The community will strive to be consistent with the goals and policies of the City of Casa Grande General Plan 2010 and the Planned Area Development District as described in the City of Casa Grande Zoning Ordinance.

1. INTRODUCTION

The Grande Valley North Planned Area Development is generally located in the vicinity of the Maricopa – Casa Grande Highway, Montgomery Road and Val Vista Road. It lies within portions of Sections 17, 19, 20, 28, and 29, Township 5 South, Range 5 East, and Sections 24 and 25, Township 5 South, Range 4 East, Gila & Salt River Base Meridian, Pinal County, Arizona. Although currently located in the jurisdiction of Pinal County, annexation proceedings are currently underway to bring the property into the City of Casa Grande. Please refer to *Exhibit 1: Vicinity Map* for a depiction of the project boundaries and exact location.

2. SITE CONDITIONS AND SURROUNDING ZONING

The property is currently vacant and undeveloped. The property is characterized by mild terrain sloping from northeast to southwest at a slope of less than two percent.

The Maricopa – Casa Grande Highway and Union Pacific Railroad travel through the middle portion of the property.

As for surrounding zoning, the PAD proposed by Pulte Homes consists of approximately 1,774 acres and lies immediately adjacent to the subject property, and primarily to the south. The community proposed by Pulte Homes consists of two major components, those being an active adult community and a traditional community. Other components of the community will include the following elements: approximately 61 acres for commercial use, two 12-acre elementary school sites, and several park sites. The Copper Mountain Ranch Planned Area Development lies adjacent and to the east of the Grande Valley North PAD. This mixed-use, master-planned community consists of approximately 5,600 acres. It proposes a maximum of 13,000 residential units, 91 acres of commercial use, and open space elements. The balance of the property around this PAD is located within the jurisdiction of Pinal County and zoned General Rural (GR).

3. MASTER PLAN OVERVIEW

This proposed master-planned community consists of several different land use elements. Please refer to *Exhibit 2: Conceptual Land Use Plan* for a conceptual illustration of these proposed land uses. First, there will be approximately 1,982 acres of low-density residential development. This low-density residential development will be built at a maximum density of four dwelling units per acre, and will be in accordance with the density guidelines of the City of Casa Grande General Plan 2010. These neighborhoods will accommodate site-built, single-family detached residential homes. There are also 295 acres of proposed medium density residential development located primarily near the commercial areas within the project. These residential areas will act as a buffer between the commercial areas and the low-density residential areas. These areas will be developed at a maximum density of eight dwelling units per acre, and will be in accordance with the density guidelines of the City of Casa Grande General Plan 2010. Next, a minimum of three approximately 14-acre sites have been set aside for elementary schools and one site of approximately 22-acres for a middle school. The exact location and size of these sites will be established through further discussions with Mr. Frank Davidson of the Casa Grande Elementary School District. These proposed school sites have been located adjacent to approximately 10-acre community park sites. Commercial services are also an integral component of this community. As such, approximately 333 acres of commercially zoned property have been proposed in this PAD. These commercial areas are located at the intersections of Val Vista Road and Montgomery Road, McCartney Road and Montgomery Road, and along the Maricopa-Casa Grande Highway and Trading Post Road. The commercial areas allow for commercial, business uses, retail, health and educational facilities. All the land uses proposed for this community are linked via a well-designed vehicular roadway network. All roads will be constructed to the standards of the City of Casa Grande. And finally, an interconnected system of open space has been conceptually designed for this community. This system will connect all elements of the community and will offer both passive and active recreational opportunities. The table on the following page provides more detail on the land use parcels in the PAD.

The single-family housing in the low-density residential portions of the community will consist of four lot sizes: 45' x 115' (5,175 square feet), 50' x 115' (5,750 square feet), 55' x 115' (6,325 square feet), and 60' x 115' (6,900 square feet). For the sake of comparison, these are the identical lot sizes proposed in the Pulte Homes PAD. The density for the proposed single-family residential parcels will be at a maximum of four dwelling units per acre. This density allows for a maximum of 7,928 units on the 1,982 acres of low-density residential development. The open space requirement is 15% of the residential acreage (1,982 acres), which equals 297 acres.

The multi-family housing in the medium density residential portions of the community residential parcels may be developed to provide for housing in multiple-family structures, which could include apartments, condominiums, and townhouses (three or more attached). The setbacks and building heights will be per the Multi-Family Residential (R-3) Zone of the Casa Grande City Code, Title 17 Zoning. A site-specific plan for the multi-family parcels will be required and will be subject to "Major Site Plan" review by the City of Casa Grande. The density for the proposed medium density residential areas of the PAD will be built at a maximum of eight dwelling units per acre, or 2,360 dwelling units on 295 acres. All densities are in conformance with the City of Casa Grande General Plan 2010.

The commercial parcels will be subject to the standards discussed in Section 10 of the Grande Valley North Planned Area Development Guide.

Lot and unit counts cannot be finalized until final plats and major site plans are approved by the City. The subdivision plats shall be consistent with *Exhibit 2: Conceptual Land Use Plan*, with the exception of minor changes that may be required due to engineering constraints and recommendations from the City of Casa Grande.

Exhibit 2: Conceptual Land Use Plan clearly defines each proposed parcel, overall density, type of development, locations of collector roads (street names subject to review and approval of the City Building Division), open space, and other proposed features.

TABLE 1: PARCEL AND LAND USE TABLE

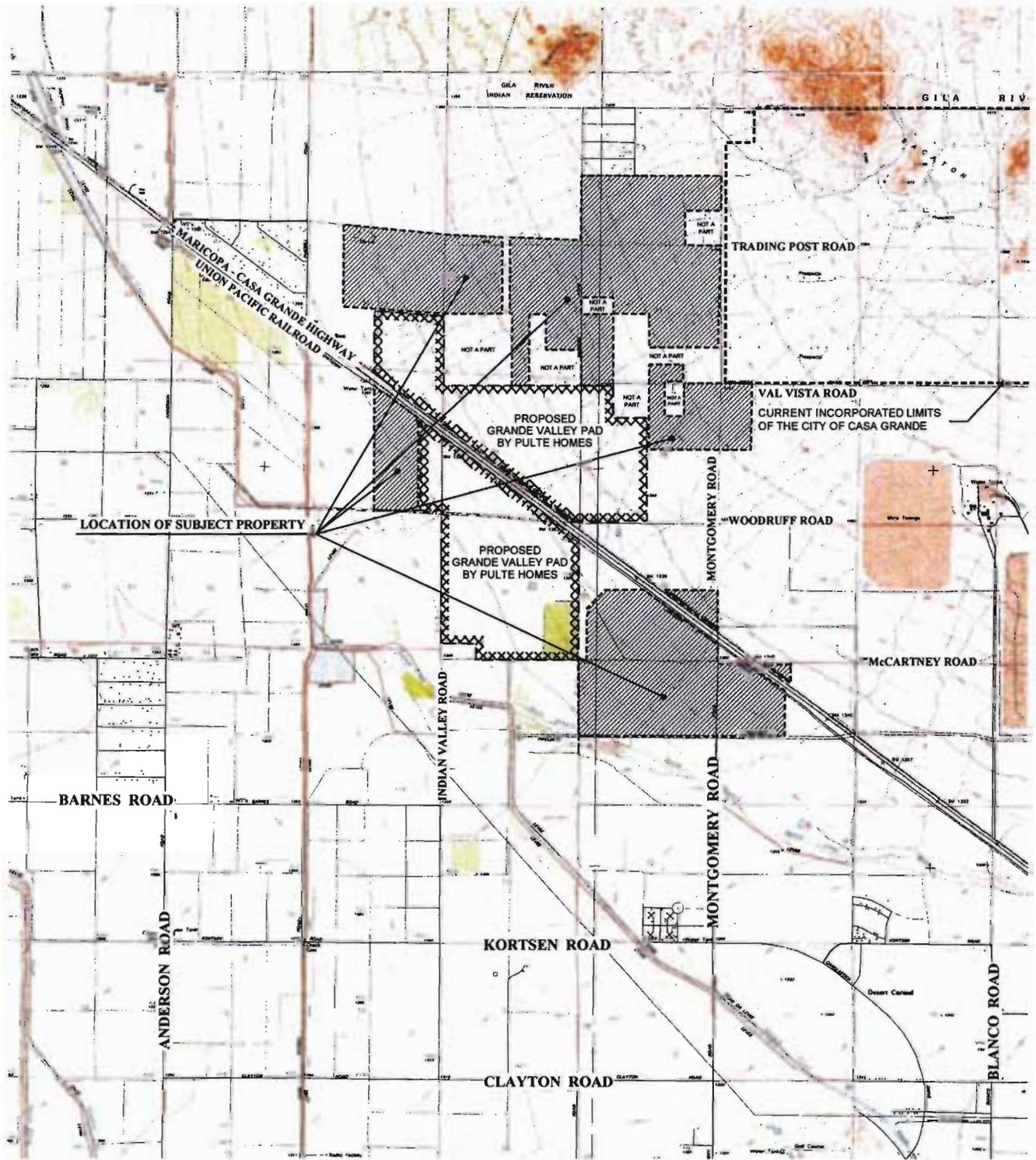
PARCEL	LAND USE	GROSS ACRES
Parcel A	Single Family Residential	99
Parcel B	Single Family Residential	94
Parcel C	Single Family Residential	100
Parcel D	Single Family Residential	71
Parcel E	Single Family Residential	49
Parcel F	Single Family Residential	82
Parcel G	Single Family Residential	20
Parcel H	Single Family Residential	72
Parcel I	Multi Family Residential	41
Parcel J	Multi Family Residential	53
Parcel K	Commercial	27
Parcel L	Commercial	27
Parcel M	Multi Family Residential	24
Parcel N	Single Family Residential	77
Parcel O	Single Family Residential	25
Parcel P	Multi Family Residential	22
Parcel Q	Single Family Residential	86

Continued....TABLE 1: PARCEL AND LAND USE TABLE

PARCEL	LAND USE	GROSS ACRES
Parcel R	Single Family Residential	71
Parcel S	Single Family Residential	73
Parcel T	Single Family Residential	37
Parcel U	Single Family Residential	153
Parcel V	Single Family Residential	90
Parcel W	Single Family Residential	36
Parcel X	Single Family Residential	89
Parcel Y	Single Family Residential	54
Parcel Z	Commercial	17
Parcel AA	Commercial	11
Parcel BB	Commercial	37
Parcel CC	Multi Family Residential	22
Parcel DD	Single Family Residential	161
Parcel EE	Single Family Residential	68
Parcel FF	Single Family Residential	73
Parcel GG	Single Family Residential	93
Parcel HH	Single Family Residential	100
Parcel II	Single Family Residential	109

Continued....TABLE 1: PARCEL AND LAND USE TABLE

PARCEL	LAND USE	GROSS ACRES
Parcel JJ	Commercial	26
Parcel KK	Commercial	19
Parcel LL	Multi Family Residential	36
Parcel MM	Multi Family Residential	31
Parcel NN	Commercial	8
Parcel OO	Multi Family Residential	28
Parcel PP	Commercial	34
Parcel QQ	Commercial	55
Parcel RR	Commercial	40
Parcel SS	Multi Family Residential	38
Parcel TT	Commercial	32
	TOTALS	2,610



USGS Topographic Quadrangle, 1981.

NOVEMBER 16, 2005
 REVISED DECEMBER 14, 2005



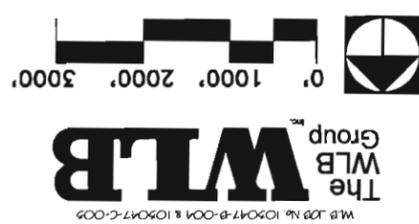
EXHIBIT 1: VICINITY MAP
 GRANDE VALLEY NORTH PAD

CONCEPTUAL LAND USE PLAN

Grande Valley North PAD

Casa Grande, Arizona

Exhibit 2



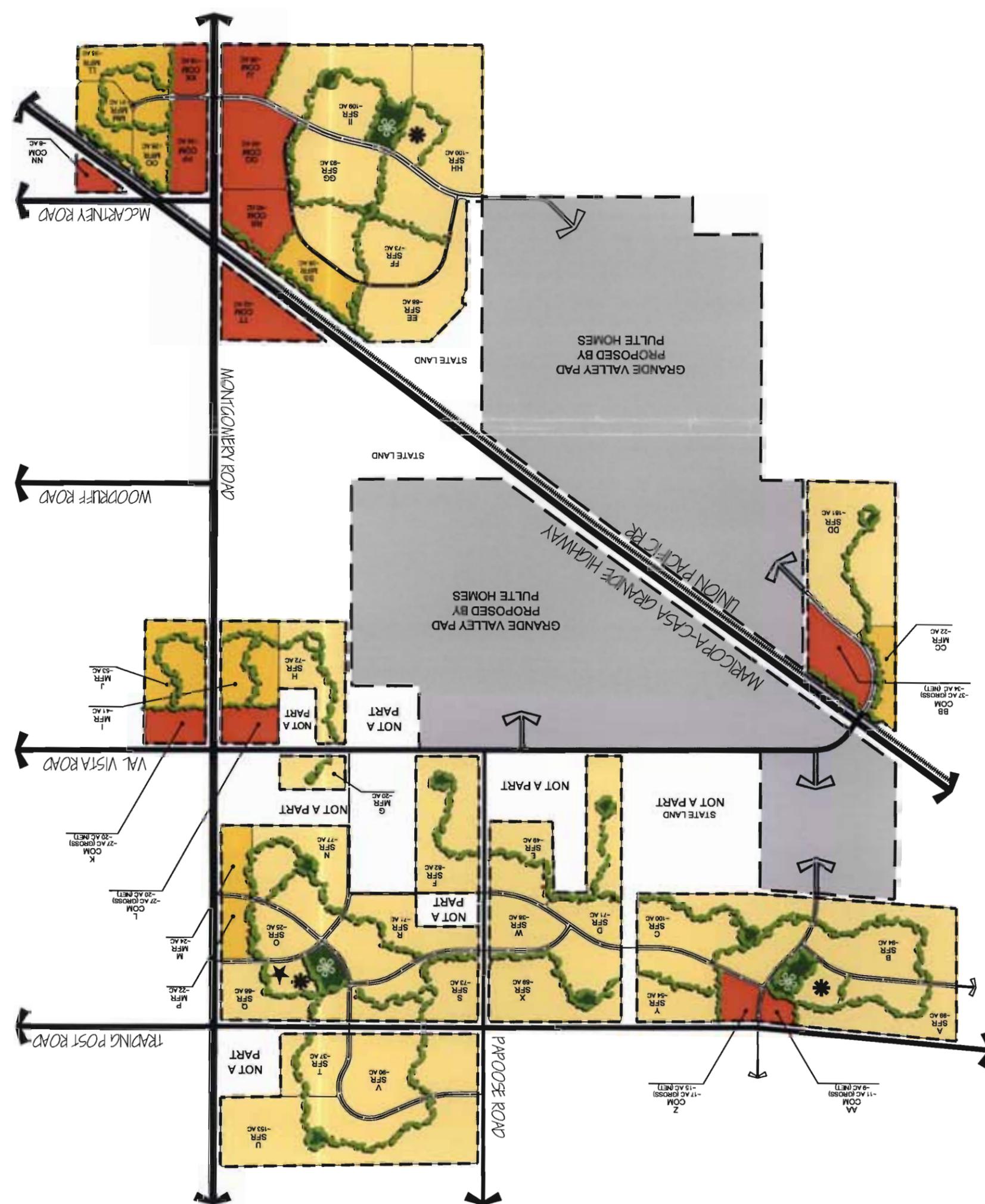
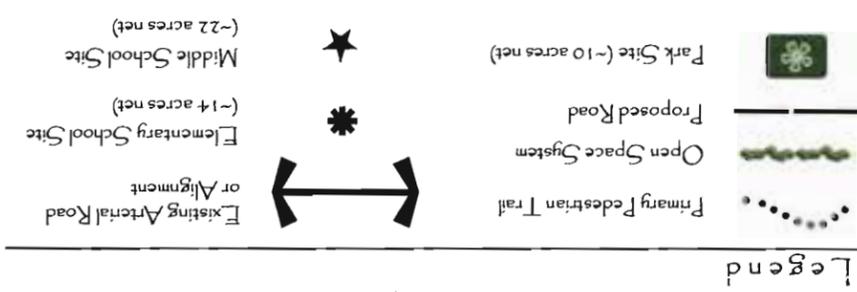
The WLB Group
 WLB JOB No. 102047-B-004 & 102047-C-005
 REVISED JANUARY 20, 2006
 REVISED NOVEMBER 16, 2005
 REVISED DECEMBER 14, 2005

* Included in the single family residential are 3 elementary school sites (each of ~14 acres) and 3 community park sites (each of ~10 acres).
 * 17% of the single family residential area, or 297 acres, will be provided as open space. The open space configuration shown on this plan is conceptual and is subject to change.

Notes

PRIMARY LAND USE DESIGNATIONS	APPROX ACRES	APPROX DWELLING UNITS	Totals
Single Family Residential (SFR)*	1,982	7,928	
Multi Family Residential (MFR)	293	2,144	
Commercial (COM)	333	-	
Totals	2,610	10,072	

Plan Summary



4. OPEN SPACE

The open space system proposed for the Grande Valley North PAD focuses on greenways, or open space corridors, and park sites. The greenways are open space corridors that meander throughout the community and consist of landscaping, pedestrian and bicycle paths, sitting areas and community gathering areas. They have been designed such that they serve as open space links, providing non-vehicular connections between all the residential, educational and commercial components of the community. The greenways will ultimately connect to the various community, neighborhood and pocket parks in the community that will provide for passive and active recreational opportunities, including sitting areas, walking paths, picnic tables and ramadas, tot lots and play equipment for older children and sports courts and fields. Examples of open space vignettes are shown in *Exhibits 4 through 6*.

The City of Casa Grande Residential Design Standards for Planned Area Developments stipulates that a project of this nature should designate a minimum of 15 percent of the single-family residential area of the community as open space. The open space corridor or greenway will provide connection with each of the residential parcels by a 10-foot multi-use pedestrian path, thereby making it accessible from all parcels. As mentioned in the Residential Design Standards for Planned Area Developments, each dwelling unit will be within 1,000 feet of recreational facilities.

It is also the intent of these greenways to work with the proposed school sites at the Grande Valley North PAD. By placing school sites adjacent to open spaces and open space corridors, a positive dynamic is created whereby school playgrounds and athletic fields, when not servicing education needs, will be available to community residents for passive or organized use. The recreation and open space areas, besides providing areas of human interaction, will provide physical separation, buffer zones and transition between areas of urbanization.

The proposed open space area for this project, including landscaped common areas, parks, greenways, and bufferyards areas along the collector roads which contain a sidewalk and landscaping, consists of a minimum of 297 acres or 15 percent of the single-family residential area of the project site (with at least 50 percent of open space to be improved for active and passive recreation).

The Union Pacific Railroad lies parallel and south of the Maricopa – Casa Grande Highway. It has a 200-foot right-of-way and contains a single track and a second track is being planned. In order to provide a buffer between the railroad and the proposed residential communities, a linear park of approximately 150 feet in width is proposed along the length of the railroad that passes through this PAD. This linear park has also been incorporated into the PAD proposed by Pulte Homes. The linear park will consist of screen walls, landscaping, and earthen berms to assist in the reduction of noise created by the railroad as well as the highway. The linear park will also contain a multi-use path for use by pedestrians, bicyclists and rollerbladers. Please refer to *Exhibit 3: Conceptual Railroad Linear Park* for a conceptual illustration of this park system.

As required by the Residential Design Standards for Planned Area Developments, retention areas that are designed for recreational use must have at least fifteen percent of the basin elevated above a twenty-five year floodwater surface elevation. All open space not improved for recreational use will be landscaped according to an approved, water-conserving, final landscape plan. Lastly, at least fifty percent of the required open space must include parks, multi-use trails, bike paths, turf retention areas, tot lots, and/or other outdoor active or passive recreational improvements.

It should also be noted that the homeowner's association will be responsible for maintaining all enriched pavement treatments, all open space areas, and all landscaping within medians (except within collectors and arterials) and culs-de-sac. The proposed plant palette (for the entire development) is also included for review (see *Appendix A*). A final landscape plan, wall plan, and amenity plan, meeting the approval of the City Planning and Development Director, will be submitted prior to the approval of any final subdivision plats for this development.

The multi-use pedestrian path (10-foot wide minimum, typical) network shall be designed to provide safe and convenient connections to all open space amenities, the school site, commercial and residential land uses. All walkways and paths will be constructed of concrete and designated to AASHTO standards and the recommendations of the City Engineer and Planning and Development Director.

5. EXISTING AND PROPOSED AREA CIRCULATION

The Grande Valley North PAD is located both north and south of the Maricopa-Casa Grande Highway, and mostly west of Montgomery Road. The Maricopa-Casa Grande Highway is a two-lane paved highway that travels in a southeasterly/northwesterly direction and provides access to Maricopa Road (State Route 347) and Pinal Avenue (State Route 387). Both of these roads connect with Interstate 10. Currently, the best access to the proposed Grande Valley North PAD is via the Maricopa-Casa Grande Highway.

Val Vista Road has been recently paved and provides for connection between the Maricopa – Casa Grande Highway and Pinal Avenue (State Route 387). Pulte Homes is proposing a realignment of Val Vista Road. The proposed realignment is "intended to provide a circulation route for future traffic expansion. A bridge is proposed to pass over the Maricopa-Casa Grande Highway and the Union Pacific Railroad. This overpass will tie into Val Vista Road along the north and south sides of the Maricopa-Casa Grande Highway" (proposed Grande Valley PAD by Pulte Homes, 2005). This bridge, along with the at-grade railroad crossing at Montgomery Road, will provide for vehicular and pedestrian connection of the properties that lie both north and south of the highway and railroad. Val Vista Road will be developed and constructed as an expressway with 300 feet of right-of-way (as deemed necessary by the City of Casa Grande), with three paved lanes in each direction (as deemed necessary by the City of

Casa Grande). Deceleration/acceleration lanes and/or turn lanes may also be provided. Trading Post Road is an arterial section line road (alignment) that travels east/west.

Val Vista Road is the primary road that will serve the project. It will be built with a right-of-way of 300 feet and to the standards of the City of Casa Grande (see *Appendix B*). Montgomery Road is shown on the Roadway Circulation Plan in the City of Casa Grande General Plan 2010 as an expressway. This project will provide 300 feet of right-of-way to facilitate the construction of this important roadway corridor. The internal traffic from the Grande Valley North PAD will be directed toward internal collector roads (60 to 80 foot right-of-way), which will be built to the standards of the City of Casa Grande (see *Appendix B*). Please refer to *Exhibit 2: Conceptual Land Use and Zoning Plan* for an illustration of the collector road system. Local streets will be built to the standards of the City of Casa Grande (see *Appendix B*). All local streets, which support home frontage, shall be 50 to 60 feet in right-of-way width (as deemed necessary by the City of Casa Grande).

A comprehensive Traffic Study will be submitted prior to final plat approval, and reviewed by the City to determine the traffic impact of this project, and any need for additional traffic and roadway improvements that the developer/builder will be required to provide and/or be partially financially responsible for, based on the amount of traffic generated by this development.

All improvements discussed in the Final Development Guide will be provided and all public improvements must comply with the minimum requirements of the City code unless otherwise approved by the City.

Road Improvement Standards

Road improvements will follow the Roadway Functional Classification as set forth in the Casa Grande General Plan. Street improvements are proposed as follows:

TABLE 2: ROADWAY INFORMATION			
CLASSIFICATION	R.O.W. STANDARD	TYPICAL LANE CONFIGURATION	TYPICAL PAVEMENT WIDTH
Principal Arterial	140 feet	6 lanes with median or continuous two-way left- turn lane	102 feet
Collector	60-80 feet	2 lanes	36 – 50 feet
Local Street	50-60 feet	2 lanes	24 – 32 feet

See *Appendix B* for sections of the above road classifications.

6. PRELIMINARY TRAFFIC INFORMATION

At build-out, the Grande Valley North PAD is expected to have a total of 7,928 single-family residential dwelling units, 2,144 multi-family dwelling units and 333 acres of commercial development. Overall, the project is expected to generate approximately 268,000 average daily trips, which will be spread amongst the network of expressways, arterial roads and collector roads envisioned for this property.

A full traffic impact analysis, meeting the approval of the City Engineer, is required prior to the approval of any Final Subdivision Plats or Major Site Plans for this project.

7. PUBLIC FACILITIES-SCHOOL

Consideration has been given to the need to plan for conveniently located school sites and the importance of neighborhood schools within master-planned communities. The Casa Grande Elementary District School District will serve the Grande Valley North PAD for kindergarten through grade 8. As a result, this master-planned community is proposing three approximately 14-acre elementary school sites and one approximately 22-acre middle school site. The property owners will continue to work with Mr. Frank Davidson of the Casa Grande Elementary School District to provide for an appropriate number, size and location of school sites to serve this community. The owners will also work with the District to consider the design of the schools, appropriate ingress/egress for bus and drop off traffic, drainage and recreational uses.

8. UTILITIES AND INFRASTRUCTURE

Services and Utility Providers

Most of the above-mentioned providers already maintain existing facilities in this area. Additional utility infrastructure required to serve the subject property will be constructed as part of the Grande Valley North PAD.

Utility Providers

Sewer	Global Resources, Palo Verde Utility Company
Water	Global Resources, Santa Cruz Water Company
Natural Gas	Southwest Gas
Electric.....	Arizona Public Services (APS)
Telephone.....	Cox Communications or Qwest
Cable	Cox Communications

Safety

Fire	Casa Grande Fire Department
Police.....	Casa Grande Police Department
Library.....	Casa Grande Library

Existing Sewer Facilities

There are no existing sewer facilities within the immediate area of this project. The closest two potential providers for this site are Palo Verde Utilities Company and the City of Casa Grande. The City of Casa Grande is currently agreeing to allow Global Water Management, L.L.C., the parent company of Palo Verde Utilities, to provide service to the project.

Palo Verde Company is conceptually planning a new 60-acre sewer treatment facility located near Anderson Road and the Santa Cruz Wash. Ultimately, the Grande Valley

North PAD could connect to this facility via offsite sewer mains either along the Santa Cruz Wash or within the Maricopa-Casa Grande Highway corridor.

As an interim solution Palo Verde utilities Company could provide a sewer main line from their existing wastewater treatment facility, located within the City of Maricopa, south to the project. This line would be abandoned once the ultimate facility at Anderson Road was brought on-line.

Grande Valley North Sewer Analysis

The recommend velocities for sanitary sewer flowing half full or full should exceed 2.0 fps to prevent settlement of solids in the pipe and should not exceed 10.0 fps. It is recommended that a combination of 8", 10" up to 30" pipes be utilized within the site, using the minimum allowable slopes.

Electrical Facilities

There are 12KV-3 phase transmission lines, owned by Electric District No. 3 (ED3), along the Maricopa-Casa Grande Highway. In addition, Arizona Public Service (APS) has 2 phase transmission lines running to the north from the Maricopa – Casa Grande Highway along Papoose Road. The City of Casa Grande may require any lines smaller than 64KV to be relocated underground along the property frontage; however, ED3 and APS would not require this relocation.

Existing Water Facilities

There are no existing water facilities within the immediate area of this project. The City of Casa Grande is currently negotiating an agreement that will allow Global Water Management, L.L.C., the parent company of Santa Cruz Water Company, to provide water service to the project.

Santa Cruz Water Company is currently studying the best wells in the area to supply the project with water. They would require the donation of well and tank site locations within the project if ground water production is available in the area.

Grande Valley North Water Analysis

In order for Santa Cruz Water Company to serve the site, the developer has requested that this project be added to the existing Certificate of Convenience and Necessity (CC&N) for Santa Cruz Water. Since Santa Cruz Water is a designated provider, they would supply the 100-year assured water from Arizona Department of Water Resources (ADWR).

9. RESIDENTIAL DESIGN STANDARDS FOR PLANNED AREA DEVELOPMENTS

Careful attention has been paid to the latest approved "Residential Design Standards for Planned Area Developments" of the City of Casa Grande (2003). All mandatory PAD Layout and Design Standards for Open Space, Lot Sizes, Setbacks and Separations, and Miscellaneous Requirements (where applicable) will be adhered to in the design of this community, unless otherwise approved by the Planning and Zoning Commission and the City Council.

Consideration will be given to the PAD residential design standards, including minimum lot area, prescribed setbacks, building height and lot coverage. Typical proposed design standards are illustrated in the Proposed PAD Standards Table.

The long-term quality of the community will be ensured by the amenity package and standards for architectural design, product diversity and landscaping. The "Mandatory PAD Residential Architecture Standards" shall be applicable to this Development with the Section IIB; "Additional Requirements for PAD Residential Architecture" will be addressed by the homebuilder.

In order to preserve visual unity throughout the neighborhoods in this development, the homes will have a consistent landscape theme. The CC&R's for Grande Valley North PAD will contain specific guidelines for the neighborhood builders. The guidelines will provide standards for color, exterior materials and accent materials, reflectivity values, restrictions on roof-mounted mechanical equipment, floor plan and elevation, designs, and special fenestration details of design. All building designs must be reviewed and approved by the Architectural Review Committee. CC&R's will be presented to the City Planning Director for review and approval prior to final subdivision plat approvals. Features to soften and enhance the architectural design will also be encouraged, such as detail and relief of windows, entrances and doors, breaks in the roofline with elevation changes, people gathering/activity spaces, and attention to service spaces. Each residence will be architecturally compatible and reflect continuity and community character.

All homes will comply with the following PAD requirements:

1. Architectural Finish Materials
 - (a) Walls
 - (i) Cement plaster or one coat stucco system
 - (ii) Concrete block
 - (iii) Ceramic or clay tile
 - (iv) Concrete (pre-cast or cast-in-place) accents
 - (v) Glass block accents
 - (b) Roofs
 - (i) Clay tile
 - (ii) Concrete tile

- (iii) All homes (except Pueblo style homes) will have tile roofs. A minimum of two styles and three colors of tile roofs will be utilized within each single-family parcel.
- (iv) No air conditioners, HVAC, coolers, etc., are to be mounted on the roofs of homes and accessory buildings, unless they are completely screened by a continuous parapet wall.

2. Colors

- (a) Desert hues and other earth tones including medium and light brown, cream and tan (reflectivity values less than 50 percent).
- (b) Reds and desert hues appearing in brick utilized in buildings or in roof tiles
- (c) All homes will have a "LRV" of 50 or less.

3. Design

- (a) Extended front elevation detail to appropriate point of termination on side elevation.
- (b) Place visual emphasis on front door versus garage door (i.e., encourage use of porticos, entryway patio treatment, kneewalls to define front door entry, etc.). Maintain a minimum of a 15 and 20-foot setback to face of livable building and face of garage, respectively.
- (c) Create architectural interest by stepping building massing vertically and horizontally.
- (d) Provide architectural emphasis to elevation(s) fronting and backing public streets and public open space areas (no windowless elevations adjacent to streets).
- (e) Front loaded garages will not extend more than ten feet past the front plane of the livable portion of the home.
- (d) With the exception of corner lots, the primary house entry must be located at the front face of the home.

4. Diversity of Elevations

- (a) A minimum of five home floor plans, each with three distinct elevations, will be provided within each single-family residential parcel.
- (b) There will be no more than two consecutive similar front elevations and no more than three consecutive rear elevations backing the collector road or adjacent arterial roadways.

5. Additional Selections

- (a) The homebuilders within the Grande Valley North PAD will select a minimum of four of the standards listed below:
 - (i) Incorporate a variety of durable exterior materials and finishes, such as brick, stone, and masonry into all of the homes.

- (ii) Provide significant architectural features, such as covered front entries, front porches, and bay windows on at least fifty percent of the homes.
- (iii) Reduce the number of front-loaded garages. Use side-loaded and/or rear yard detached garages on thirty percent or more of the homes.
- (iv) De-emphasize front-loaded garages by recessing garage doors, recessing the second story over garages on multi-story homes, providing at least twenty feet of non-garage home frontage, and/or other effective methods.
- (v) Exceed the mandatory requirements for the number of required distinct elevations and home color schemes.
- (vi) Applicant's choice. An opportunity for creativity and design innovation is provided here.

6. Two-Story Homes

- (a) Two-story homes will not be placed on any lot that is less than 6,000 square feet in area or on any corner lots.

7. Landscaping

- (a) All front yards will be landscaped using plant materials from *Appendix A: Low Water Use Plants List*.
- (b) No more than 50% of the front yard may contain turf.

8. Miscellaneous

- (a) Mail gangboxes are to be located within decorative masonry block walls or similar structures meeting United States Post Office standards.

PROPOSED P.A.D. STANDARDS					
LAND USE TYPICAL LOT SIZE	MINIMUM LOT AREA (TYP.)	FRONT SETBACK*	SIDE SETBACK	REAR TO LIVABLE SETBACK	REAR TO PATIO SETBACK
Single Family Res. 45'x115'	5,175 sq.ft.	20'	5/5	20	10
Single Family Res. 50'x115'	5,750 sq.ft.	20'	5/10	20	10
Single Family Res. 55'x115'	6,352 sq.ft.	20'	5/5	20	10
Single Family Res. 60'x115'	6,900 sq.ft.	20'	5/10	20	10

*For all front porches and side entry garages, allow 5' encroachment. There must be 20 feet between the face of the garage and the outside edge of the sidewalk.

Distinctive major entries establishing a particular theme will be provided at all collector and arterial street intersections with consistent wall and monumentation features to be used throughout the development. The Grande Valley North PAD is designed to provide attractive streetscapes along all arterial frontages with an 18-foot minimum landscape tract (not part of the ROW) around the perimeter.

Preliminary landscape and wall exhibits have been prepared for review and approval (please refer to *Exhibits 5 through 6*). Entry monumentation will be included at the intersections of major arterial and interior collector streets. Preliminary landscape plans and wall concepts have been designed to meet or exceed all current requirements of the City of Casa Grande and will be subject to final approval by the Casa Grande Planning Department.

Several distinct wall types will be used throughout the Grande Valley North PAD. The perimeter wall (please refer to *Exhibit 7: Perimeter Wall Design Concept*) will run around the perimeter of the project. These walls will be constructed of block with columns placed every 100 feet. They will be eight feet in height and will act as a screen and help to reduce traffic noise.

A modified version of the perimeter wall will be utilized along the collector running through the site. This wall will have the same feel of the perimeter walls, only it will be 6 feet in height.

The view wall (please refer to *Exhibit 8: View Wall Design Concept*) will be used in areas where views are afforded on the other side of the wall. These walls will be constructed with block on the lower portion of the wall, and ornamental iron on the upper portion. These walls will certainly be used along the paseo, and in areas adjacent to other open space.

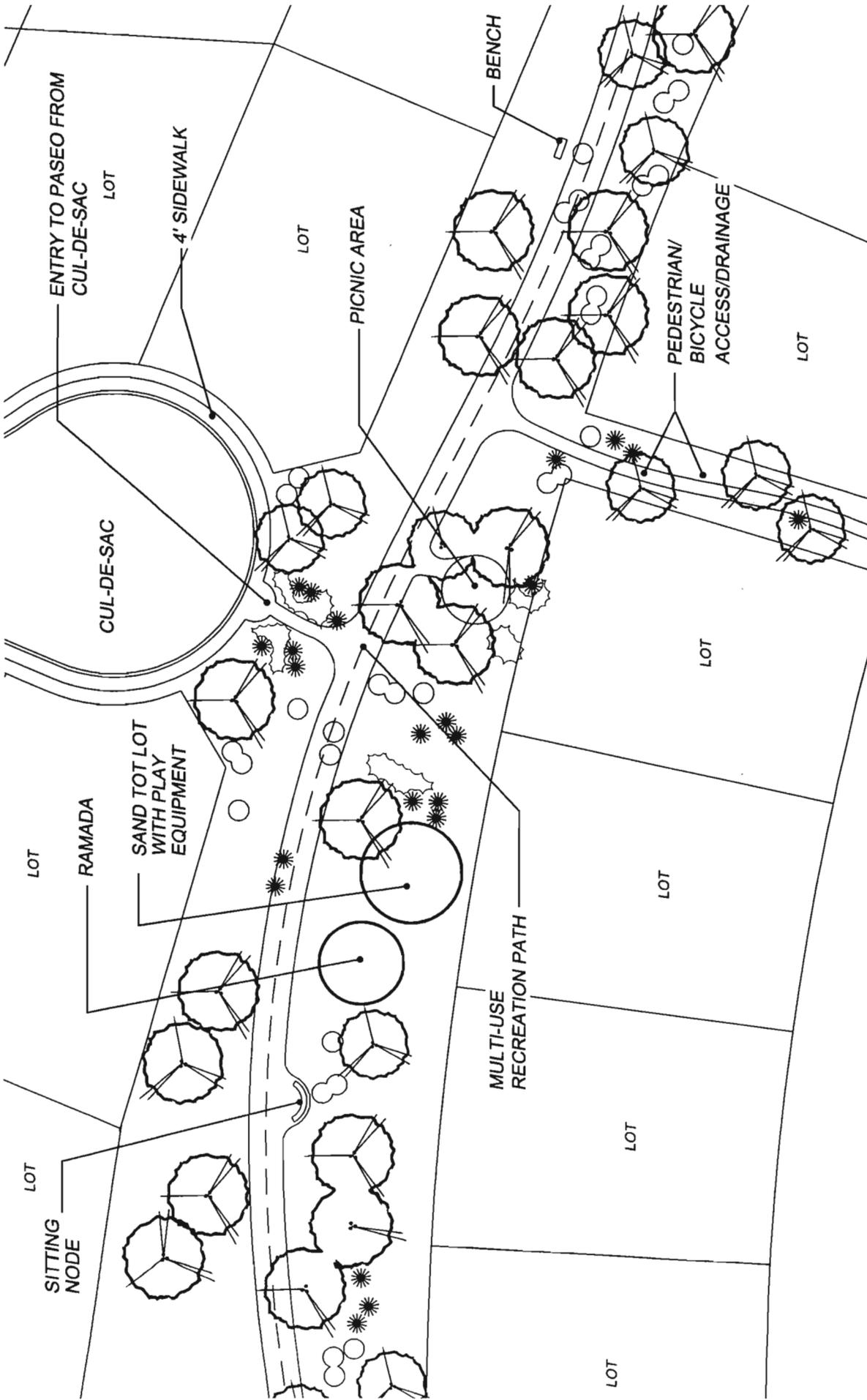
The 6-foot interior wall (please refer to *Exhibit 9: Interior Wall Design Concept*) will be used between adjoining lots and along the north perimeter and will consist of colored slump block units. In places where residential and commercial uses abut each other, this wall will be 8 feet in height.

The wall and entry monumentation within the Grande Valley North PAD, as shown in this PAD, are conceptual. Final wall and entry monument designs will be submitted as part of the landscape plans, subject to review and final approval by the Casa Grande Planning Department. Walls and monuments for the commercial and multi-family parcels are also subject to major site plan review and approvals.

Using a combination of decorative walls, berming, and vegetative buffers, the developers of the Grande Valley North PAD have discussed with the developers/owners of Grande Valley PAD proposed by Pulte Homes the development of a consistent wall and landscape theme to be used in both communities. Both parties will coordinate the development of landscape plans to ensure this consistency.

Open spaces within each parcel will be constructed and completed prior to issuance of occupancy permits. The respective homeowner's association will maintain such areas as regulated through the Covenants, Conditions, and Restrictions for each parcel. A master homeowner's association will be established and will be responsible for maintaining the paseo unless deeded to and maintained by the City of Casa Grande.

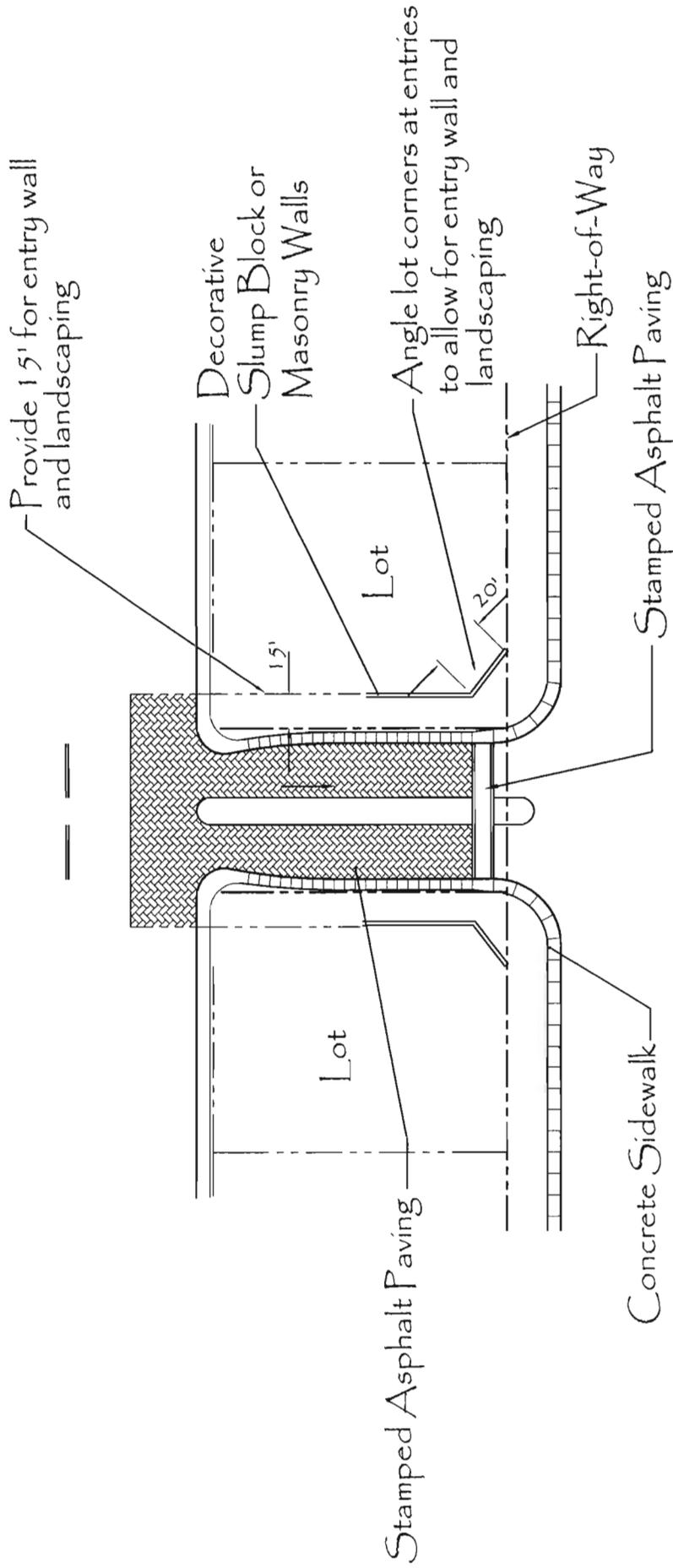
All non-single family use buildings will be constructed to use architectural features such as facades, building materials, and colors to maintain a complimentary architectural character throughout the PAD.



NOVEMBER 16, 2005
 REVISED DECEMBER 14, 2005

The **WLB**
 Group, Inc.

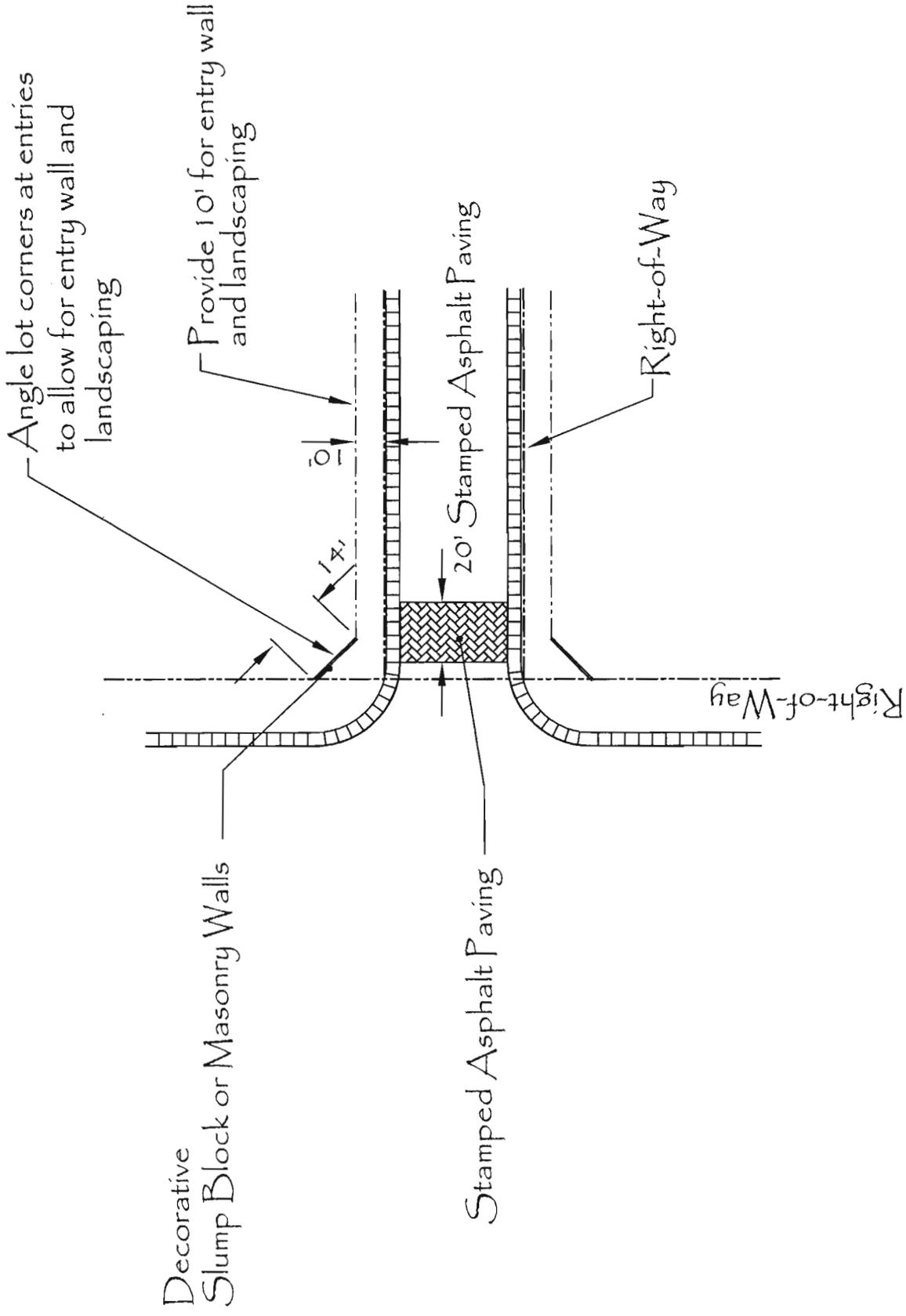
EXHIBIT 4: CONCEPTUAL 'CULS-DE-SAC AT PASEO' TREATMENT
 GRANDE VALLEY NORTH PAD



NOVEMBER 16, 2005
 REVISED DECEMBER 14, 2005



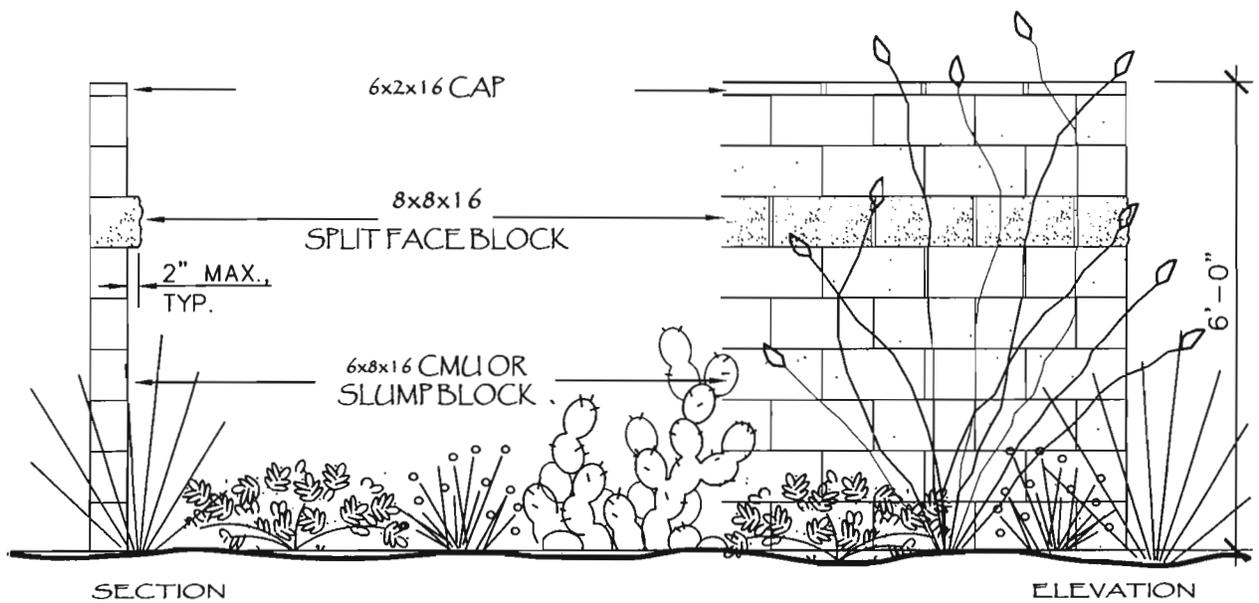
EXHIBIT 5: CONCEPTUAL 'MAIN ENTRY' TREATMENT
 GRANDE VALLEY NORTH PAD



NOVEMBER 16, 2005
 REVISED DECEMBER 14, 2005



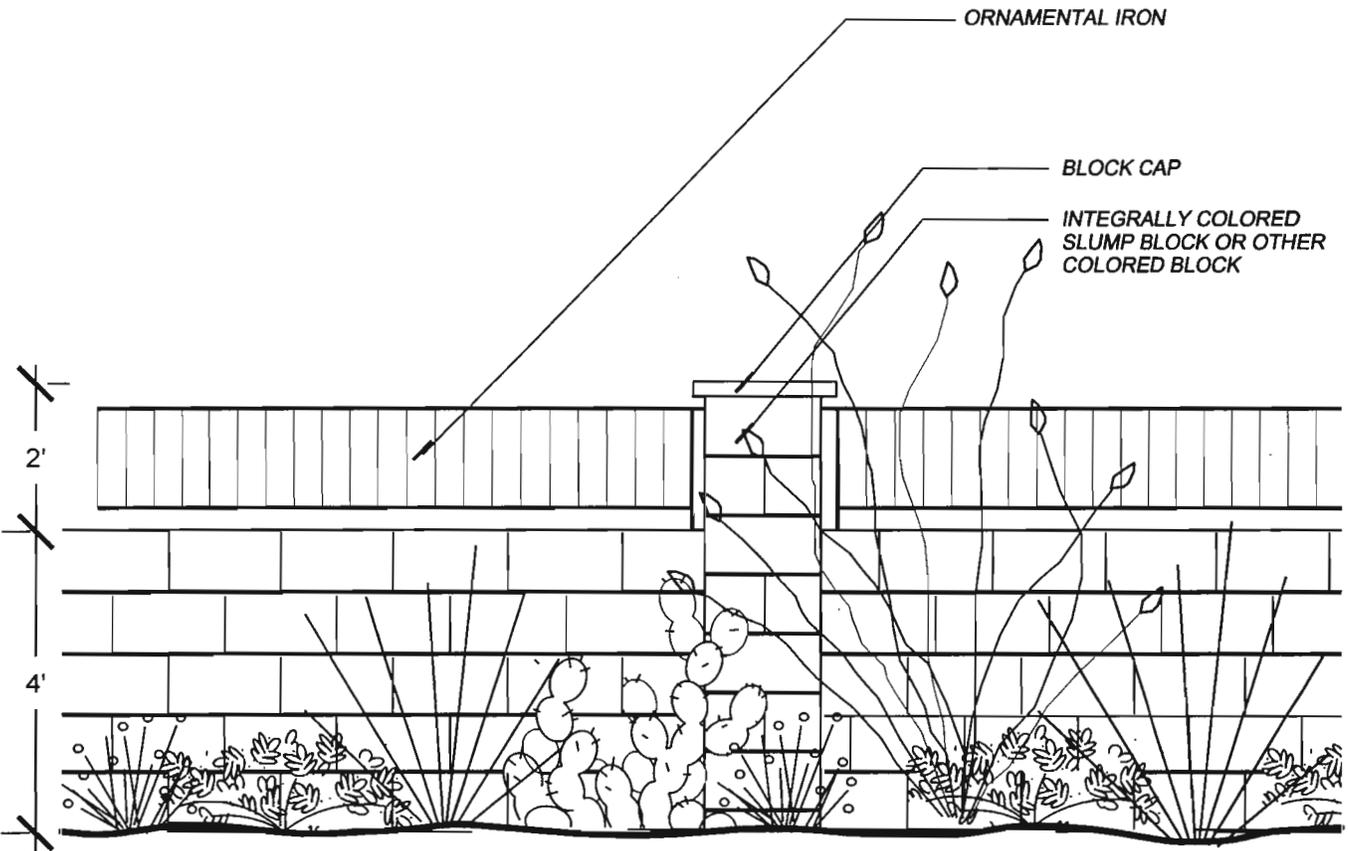
EXHIBIT 6: CONCEPTUAL 'SECONDARY ENTRY' TREATMENT
 GRANDE VALLEY NORTH PAD



NOVEMBER 16, 2005
 REVISED DECEMBER 14, 2005



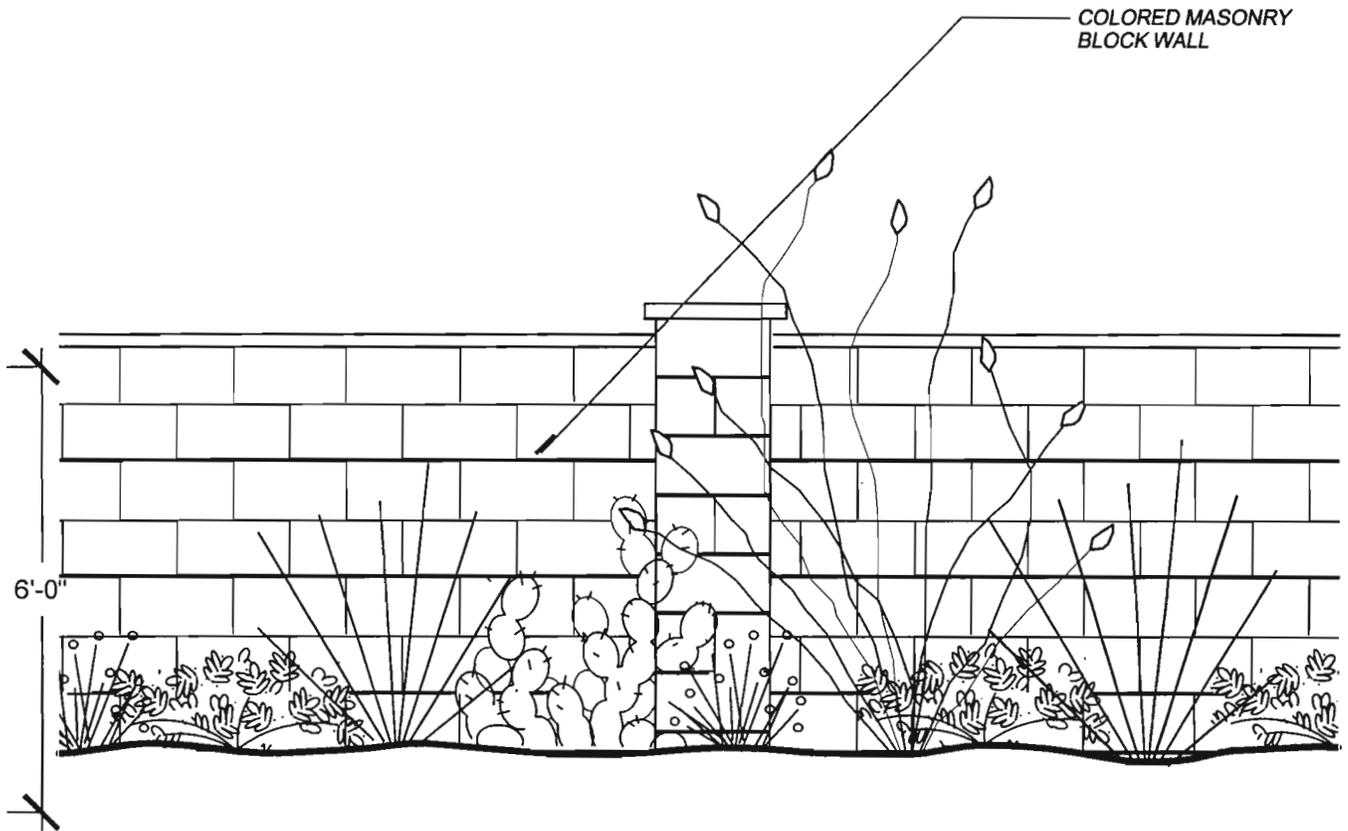
**EXHIBIT 7: PERIMETER WALL
 CONCEPTUAL DESIGN**
 GRANDE VALLEY NORTH PAD



NOVEMBER 16, 2005
 REVISED DECEMBER 14, 2005



**EXHIBIT 8: VIEW WALL
 CONCEPTUAL DESIGN**
 GRANDE VALLEY NORTH PAD



NOTE:

WALL TO BE 8'-0" IN HEIGHT BETWEEN COMMERCIAL AND RESIDENTIAL USES.

NOVEMBER 16, 2005
REVISED DECEMBER 14, 2005



**EXHIBIT 9: INTERIOR WALL
CONCEPTUAL DESIGN**
GRANDE VALLEY NORTH PAD

10. COMMERCIAL DESIGN STANDARDS

All commercial development within the Grande Valley North PAD will be developed with uses found in this development guide. The uses allowed in this district will provide goods and services on a community market scale and are located in areas which are served by arterial streets. Setbacks and building heights for the commercial parcel will be as shown later in this section. Site specific plans for the commercial area will be required and will be subject to "Major Site Plan" review by the City of Casa Grande.

1. Access Management

Future commercial development will be required to limit and space curb cuts and driveways per the recommendations of the City Engineer.

2. Cross Access/Parking

(a) Vehicular cross-access between all contiguous commercial is required. A conceptual site plan shall be submitted for the entire commercial parcel with the first major site plan request. A major site plan is required if the request is to develop the entire commercial parcel.

(b) Offstreet parking and loading shall be in compliance with Casa Grande municipal code.

3. Architectural Standards-Theme

(a) Wall expanses will be staggered and varied.

(b) Exterior finishes shall be stucco, block, brick, and limited concrete.

(c) Wall colors shall have an "LRV" less than 50.

(d) Architecture will be "four sided".

(e) All docks and service areas will be completely screened. There will be no portable storage buildings or containers on site, except during construction.

4. Signage

Prior to approval of any Major Site Plan request, Comprehensive Sign Guidelines for individual commercial parcels for Grande Valley North will be subject to the Major Site Plan review process. The guidelines will include requirements for sign heights, areas, size, color, logos, lighting, materials, and other significant elements.

5. Commercial Permitted Uses and Standards

The following are the permitted uses and developments standards for Commercial land use within Grande Valley North.

Allowable uses in the Commercial areas shall be limited to:

- Those uses permitted in the Neighborhood Business (B-1) Zone.
- A “large single retail use” and/or “large multiple use shopping center” use on the commercial parcels with arterial frontage providing that the use meets the requirements for such uses as outlined in the City Zoning Ordinance.
- Accessory single-family residential uses when occupied by the owner, lessee, or watchman employed on the premises.
- All ages book/video store.
- Animal hospital/veterinarian office without outdoor kennels.
- Appliance sales and service.
- Art gallery/museum.
- Automobile, boat or recreational vehicle sales.
- Athletic club.
- Automobile repair limited to oil and lubrication facility less than 6,500 square feet.
- Bakery with on-site sales and less than 3,500 square feet.
- Banks, credit unions and other financial institutions with drive thru facilities.
- Blueprint/photo processing and/or sales.
- Bowling alley.
- Business/office machine sales and service.
- Call centers.
- Candy and ice cream store.
- Catering business.
- Churches/synagogues.
- Cigar and tobacco store.
- Clothing and costume sales and rental shop.
- Community meeting centers.
- Convenience store.
- Dance/theatrical/music studio.
- Delicatessen and catering establishment.
- Dry cleaning and/or Laundromat.
- Electronics store.
- Essential (as determined by the City of Casa Grande) Public services/uses.

- Florist
- Game rooms/pool halls.
- Garden supply stores.
- Gas station, fast-food restaurant, automotive (excluding auto body) repair, tire sales/repairs, and/or car wash uses shall be limited to commercial parcels with primary arterial roadway frontage.
- General services, business, personal and professional.
- General retail services, direct sales to consumers including pharmacy with drive thru.
- Grocery store/food sales.
- Hair salon/beauty parlor/barber.
- Hardware store.
- Hotel.
- Interior decorator.
- Jewelry sales/service.
- Liquor store.
- Laundromat, self service.
- Lock and key shop.
- Medical urgent care center, including satellite hospital facilities.
- Medical, dental, optician and chiropractic offices.
- Newsstand.
- Offices.
- Photographic studio.
- Public buildings.
- Radio/television studio.
- Restaurant.
- Self-storage facility.
- Shoe repair/service.
- Sit-down restaurants.
- Sports equipment sales and service.
- Tavern/bar.
- Theater, excluding drive-in.
- Video sales and rental.
- Watch repair shop.
- Permitted accessory uses, including business signs, trash receptacles, accessory buildings, temporary buildings incidental to construction work, and accessory residential uses (single-family), when occupied by the owner, lessee, or watch man employed on the premises.
- Additional retail and office uses that are similar in nature to those specifically listed above shall also be permitted. Pawn shop, consignment store, thrift store and tattoo/piercing parlor

uses are prohibited. The Planning and Development Director may allow additional uses without an amendment to this PAD provided that the additional uses are appropriate and consistent with the uses described herein. Requested uses that materially differ from the uses described herein shall be reviewed and approved by the Planning and Zoning Commission with appeals being made to the City Council.

Setbacks and Building Heights for Commercial Parcels:

<i>Front</i>	<i>35 feet</i>
<i>Rear</i>	<i>15 feet</i>
<i>Interior Side</i>	<i>15 feet</i>
<i>Corner Side</i>	<i>25 feet</i>
<i>Residential Boundary</i>	<i>45 feet*</i>
<i>PAD Perimeter</i>	<i>25 feet</i>

Maximum Building Height *35 feet***

*Parking, loading, and circulation areas will be setback a minimum of 5 feet from any non-residential boundary and a minimum of 25 feet from any residential boundary line.

**Excludes architectural features, including towers.

6. Shared Parking Program

There is no restriction on combining different use categories within the same building or site except where prohibited based on life safety issues. A shared parking program is an effort to reduce the total required parking in parcels where the uses operate at different times from one another throughout the day. The shared parking program allows the property developer to use parking spaces more efficiently by allowing the same spaces to be shared by various uses.

11. GRADING AND DRAINAGE

The flows across the Grande Valley North PAD can be characterized as shallow sheet flow, with shallow concentrated flows from the northeast to the southwest. There are also concentrated flows under the Maricopa-Casa Grande Highway and Union Pacific Railroad. There are box culverts under the highway and railroad that allow drainage to continue its flow toward the North Branch of the Santa Cruz Wash.

The site is located within Zone C per FEMA FIRM Panel 040077 0700D, dated March 5, 1990 and Panel 040077 0675D, dated May 4, 1987. Zone C is classified as "areas of minimal flooding". A portion of the southern area of the property falls within Zone A per FEMA FIRM Panel 040077 0700D, dated March 5, 1990. This area is subject to flooding during regulatory flood events and will be removed from the floodplain via a

Conditional Letter of Map Revision and then a Letter of Map Revision that will officially revise the flood maps. On site retention basins will be designed to accommodate runoff during a 100-year storm event and whenever possible to serve the dual designed purpose of useable open space. At least 15 percent of the area of the retention basins designed for recreational use shall be above the 25-year flood high water surface elevation.

Final drainage reports and plans, meeting the approval of the City Engineer, are required prior to the approval of any Final Subdivisions Plats or Major Site Plans for this project.

12. PHASING

It is anticipated that development will first occur on the parcels that lie in the vicinity of Val Vista Road and Montgomery Road. As the parcels are developed, the collector roads will simultaneously be built. Overall, the construction of roads will be phased; only those portions of road necessary to gain access to parcels will be constructed. Lastly, it is expected that the commercial parcels will be built once all of the residential housing is complete. Should the need for commercial arise any sooner, or should a party express interest in building commercial, then this parcel will be appropriately developed. It is also expected that the development of this site will occur within a reasonable and expeditious timeframe. Prior to the approval of any Subdivision Final Plats or Major Site Plans for this project, the developer/builder shall submit a detailed phasing plan for approval by the relevant City departments.

13. CONCLUSION

The development of the Grande Valley North Planned Area Development shall be in accordance with the approved final Planned Area Development Guide, all applicable City codes and ordinances, and all conditions required by the City Council. Gallup Financial, L.L.C. and LKY Development, Inc. strongly desire to produce an attractive neighborhood to complement the City of Casa Grande. We envision a development that both enhances and compliments the surrounding area, The development as proposed reflects quality, diversity and compatibility with the area and will provide both future and existing Casa Grande residents with a high quality living environment, of which the residents and the City will be proud. The Grande Valley North PAD represents a diverse, well-designed and attractive master-planned community. We respectfully request your approval.

14. **DEVELOPMENT TEAM**

Owners

Gallup Financial, L.L.C.

8125 N. 23rd Avenue
Suite 100
Phoenix, AZ 85021-4952
Phone: 602.973.86.32
Fax: 602.973.62.84

Contact Person:

Phil Polich

LKY Development Company, Inc.

5040 East Shea Boulevard
Suite 254
Scottsdale, AZ 85254
Phone: 480.951.12.81
Fax: 483.27.36

Contact Person:

Larry K. Yount or Robyn Yount

Planners, Engineers, Landscape Architects and Surveyors

The WLB Group, Inc.

4444 East Broadway Boulevard
Tucson, Arizona 85711
Phone: 520.881.7480
Fax: 520.318.6170 or 881.7492

Contact Person:

Robert G. Longaker III, Senior Project Manager, R.L.A., ASLA.



APPENDIX A
Low Water Use Plants List

A. TREES

Botanical Name

Acacia spp.
Brachychiton populneus
Brahea spp.
Bursera spp.
Callistemon viminalis
Casuarinas pp.
Ceratonia siliqua
Cercidium spp.
Chamaerops humilis
Chilopsis linearis
Dahlbergia sissoo
Eucalyptus spp.
Leucaena retusa
Lysiloma spp.
Olea europea "Swan Hill"

Olneya tesota
Phoenix dactylifera
Pistacia spp.
Pithecellobium spp.
Pittosporum phillyraeoides
Prosopis spp.
Quercus spp.
Rhus lancea
Schinus terebinthifoliosus
Sophora secundiflora
Ulmus parviflora "semperivens"
Vitex agnus-castus
Washingtonia spp.
Ziziphus jujube

Common Name

Acacia/Wattle
Bottle Tree

Weeping Bottle Brush

St. John's Bread Tree/Carob Tree

Mediterranean Fan Palm
Desert Willow
Sissoo Tree

Golden Ball Lead Tree

Swan Hill Olive (or other non-pollen
producing olive trees)
Ironwood
Date Palm
Pistachio

Willow Pittosporum
Mesquite
Oak
African Sumac
Brazilian Pepper
Texas Mountain Laurel
Evergreen Elm
Chaste Tree
Fan Palm
Chinese Jujube

B. SHRUBS

Botanical Name

Acacia spp.
Baccaris spp.
Bougainvillea spp.
Buddleia marrubifolia
Caesalpinia spp.
Calliandra californica

Common Name

Acacia/Wattle

Bougainvillea
Butterfly Bush

Fairy Duster

Calliandra eriophylla
Calliandra peninsularis
Cassia spp.
Celtis pallida
Chrysothamnus nauseosus
Cistus spp.
Convolvulus cneorum
Cordia boissieri
Cordia parvifolia
Dalea spp.
Dodonaea spp.
Encelia spp.
Ephedra spp.
Haplopappus laricifolia
Bytis emoryi
Jatropha spp.
Lantana camara
Leucophyllum spp.
Lycium spp.
Mimosa biuncifera
Mimosa dysocarpa
Nerium oleander varieties
Plumbago scandens
Punica granatum varieties
Pyracantha spp.
Rhus ovata
Rhus trilobata
Rhus virens
Ruellia californica
Ruellia peninsularis
Salvia spp. (shrub only)
Simmondsia chinensis
Sophora arizonica
Sophora Formosa
TEcoma stans
Teucrium fruticans
Vauquelinia spp.
Viguiera tomentosa
Ziziphus obtusifolia

Fairy Duster
Fairy Duster

Desert Hackberry
Rabbit Brush

Brush Morning Glory

Little Leaf Cordia

Hopbush
Brittlebush
Mormon Tea
Turpentine Bush
Desert Lavender

Bush Lantana
Creosote Bush

Wait-a-Minute Bush
Velvet Pod Mimosa
Oleander
Cape Plumbago
Pomegranate
Pyracantha
Mountain Laurel
Skunkbush
Evergreen Sumac
Ruellia

Sage
Jojoba

Yellow Bells
Bush Germander
Rosewood
Golden Eye
Greythorn

**C. GROUND
COVERS/HERBACEOUS
PLANTS**

Botanical Name

Acacia Redolens "Desert Carpet"
Anigozanthos spp.
Asclepias subulata
Asparagus densiflorus cv. Sprengeri
Atriplex spp.
Baccharis spp.
Convolvulus mauritanicus
Dalea spp.
Gazania spp.
Lantana montevidensis
Myoporum parvifolium
Oenothera berlandieri
Oenothera drummondii
Pentzia incana
Rosmarinus officinalis "prostratus"
Salvia chamaedryoides
Salvia farinacea
Santolina chamaecyparissus
Sesuvium verrucosum
Sphaeralcea spp.
Verbena bipinnatifida
Verbena peruviana
Verbena pulchella
Verbena rigida

Common Name

Desert Carpet
Kangaroo Paw
Desert Milkweed
Sprenger Asparagus

Ground Morning Glory

Gazania
Trailing Lantana
Sandwoold
Mexican Evening Primrose
Baja Primrose
Karoo Groundcover
Prostrate Rosemary
Blue Sage
Mealy Cup Sage
Lavender Cotton
Sea Purslane
Glove-Mallow
Verbena
Peruvian Verbena
False Sand Verbena
Verbena

D. SUCCULENTS

Botanical name

Agave spp.
Aloe spp.
Cacti (all)
Dasylirion spp.
Fouquieria spp.
Hesperaloe spp.
Nolina spp.
Yucca spp.

Common Name

Centyr Plant/Agave
Aloe

Desert Spoon
Ocotillo

Bear Grass
Yucca

E. ANNUALS/PERENNIALS

Botanical Name

Abronia villosa
Arctotis spp.
Argemone pleicantha
Baeria chrysostoma
Bahia absinthifolia
Baileya multiradiata
Cassia covesii
Catharanthus roseus cultivars
Celosia spp.
Cosmos spp.
Dimorphotheca spp.
Dyssodia pentachaeta
Eschscholzia californica
Eschscholzia mexicana
Gilia leptantha
Gomphrena globosa
Helichrysum bracteatum
Helipterum spp.
Kallstroemia grandiflora
Layia platyglossa
Lesquerella gordonii
Linaria spp.
Lupinus densiflorus
Lupinus sparsiflorus
Matricaria grandiflora
Melampodium leucanthum
Mentzelia spp.
Orthocarpus purpurascens
Pectis papposa
Penstemon spp.
Phacelia spp.
Tagetes spp.
Ursinia spp.

Common Name

Sand Verbena
African Daisy
Prickly Poppy
Goldfield
Bahia
Desert Marigold

Madagascar Periwinkle
Cockscomb
Cosmos
African Daisy
Dyssodia
California Poppy
Mexican Gold Poppy
Showy Blue Gilia
Globe Amaranth
Everlasting Daisy

Arizona Poppy
Tidy Tips
Gold Crucifer
Toadflax
Lupine

Pineapple Weed
Blackfoot Daisy
Blazing Star
Owl's Clover
Chinch Weed

Marigold
Ursinia

F. GRASSES

Botanical Name

Aristida purpurea
Bromus rubens
Muhlenbergia dumosa
Schismus barbatus

Common Name

Red Three Awn
Red Brome
Giant Muhley
Schismus

G. VINES

Botanical Name

Antigonon leptopus
Bougainvillea spp.
Billardiera ringens
Campsis radicans
Cissus trifoliata
Clematis drummondii
Hardenbergia comptoniana
Kennedia nigricans
Macfadyena unguis-cati
Mascagnia lilacaena
Mascagnia macoptera
Merremia aurea
Solanum jasminoides

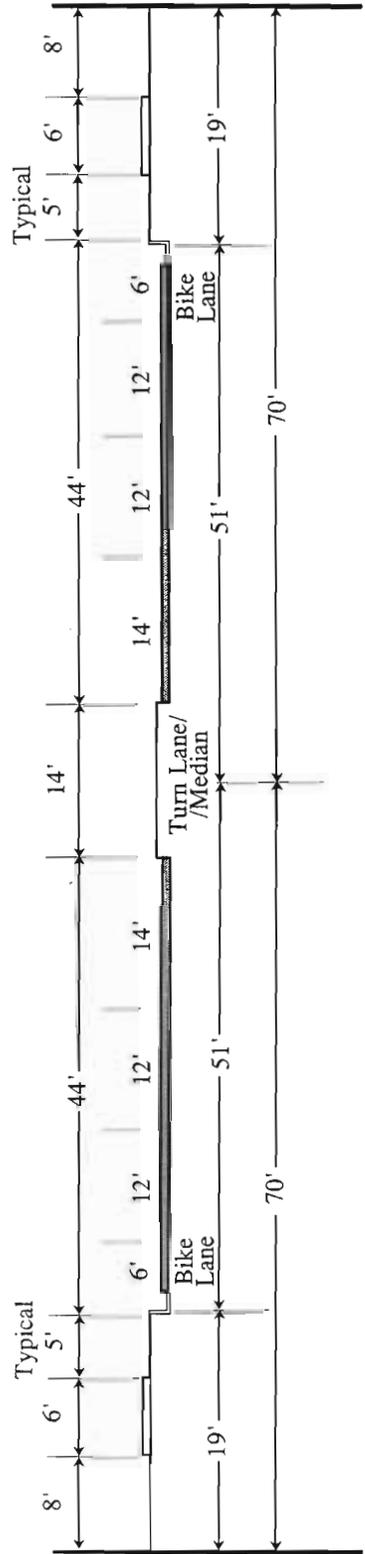
Common Name

Mountain Rose/Queens Wreath
Bougainvillea
Riverbell Flower
Common Trumpet Creeper
Arizona Grape Ivy
Virgin's Bower
Wild Wisteria
Black Yellow Vine
Cat Claw
Lilac Orchid Vine
Yellow Orchid Vine
Yellow Bells
Potato Vine



APPENDIX B
Typical Road Sections

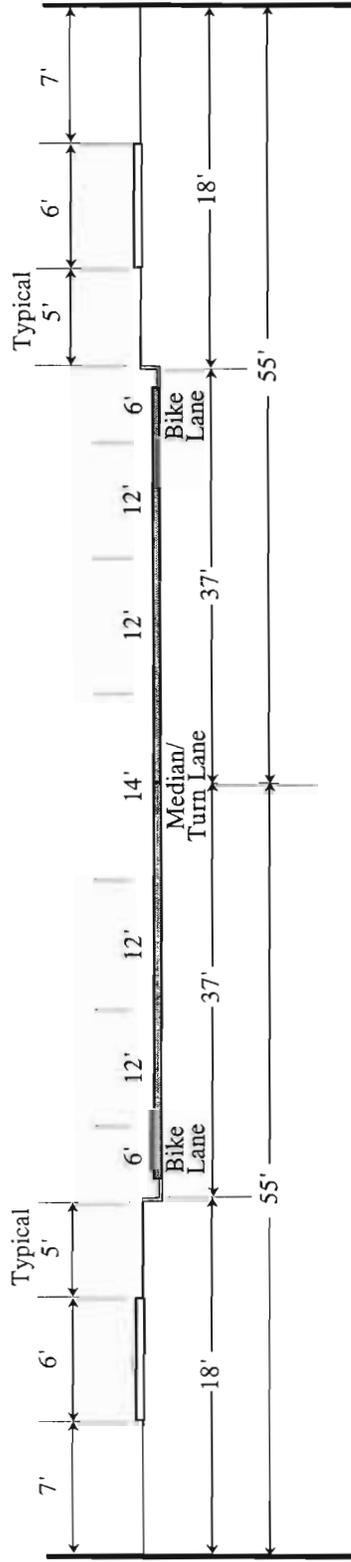
FIGURE 7-2. PRINCIPAL ARTERIAL



(Not to Scale)

- Notes:
- Dimensions measured from back-of-curb.
 - Interim roadway width to be determined by traffic study.
 - A 5 foot separation between curb and sidewalk is typical, however, the sidewalk may occasionally connect to the curb to allow for a minimal meander and landscaping requirement.
 - Retention not allowed within the street R.O.W. Landscaping permitted within the R.O.W. subject to sight triangle and sight distance requirements.

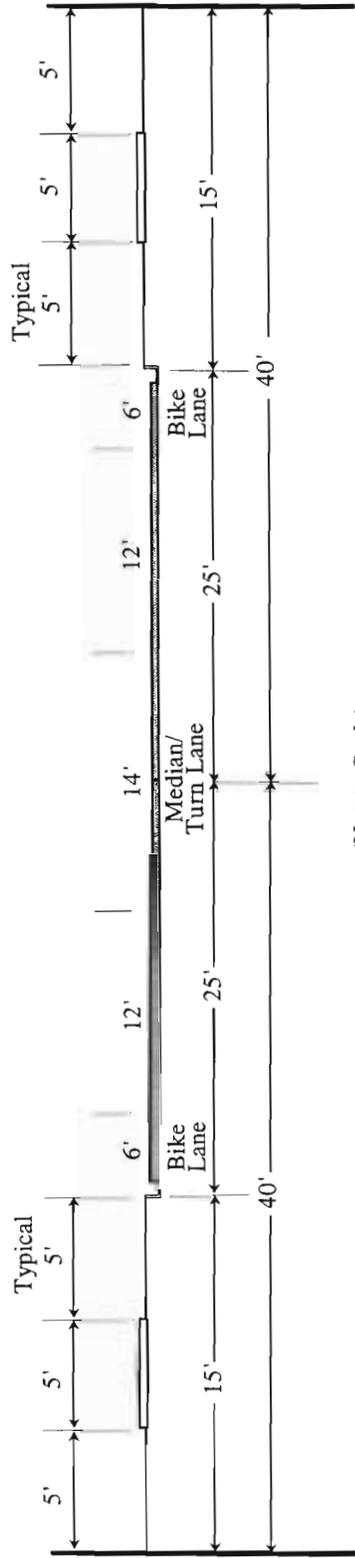
FIGURE 7-3. MINOR ARTERIAL



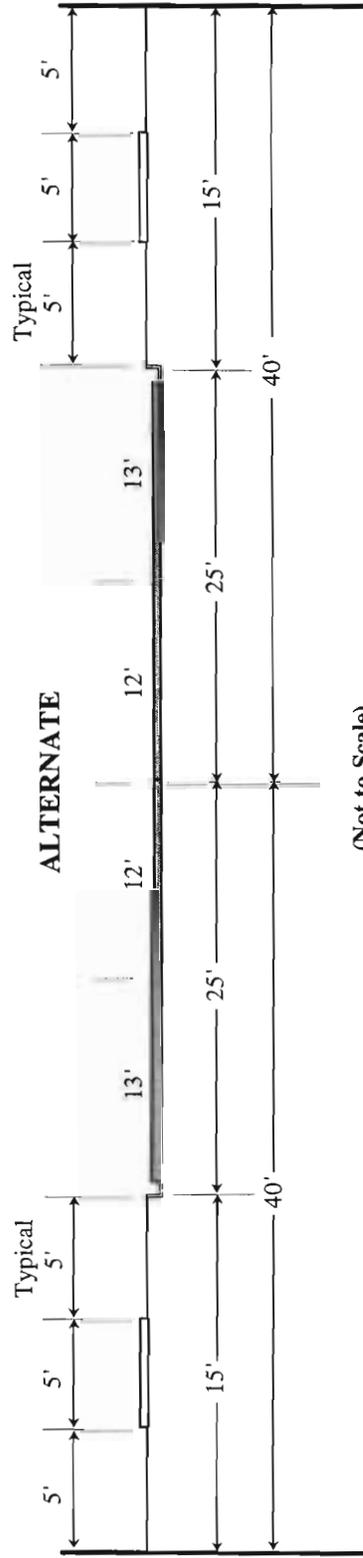
(Not to Scale)

- Notes:
- Dimensions measured from back-of-curb.
 - Interim roadway width to be determined by traffic study.
 - A 5 foot separation between curb and sidewalk is typical, however, the sidewalk may occasionally connect to the curb to allow for a minimal meander and landscaping requirement.
 - Retention not allowed within the street R.O.W. Landscaping permitted within the R.O.W. subject to sight triangle and sight distance requirements.

FIGURE 7-4. MAJOR COLLECTOR



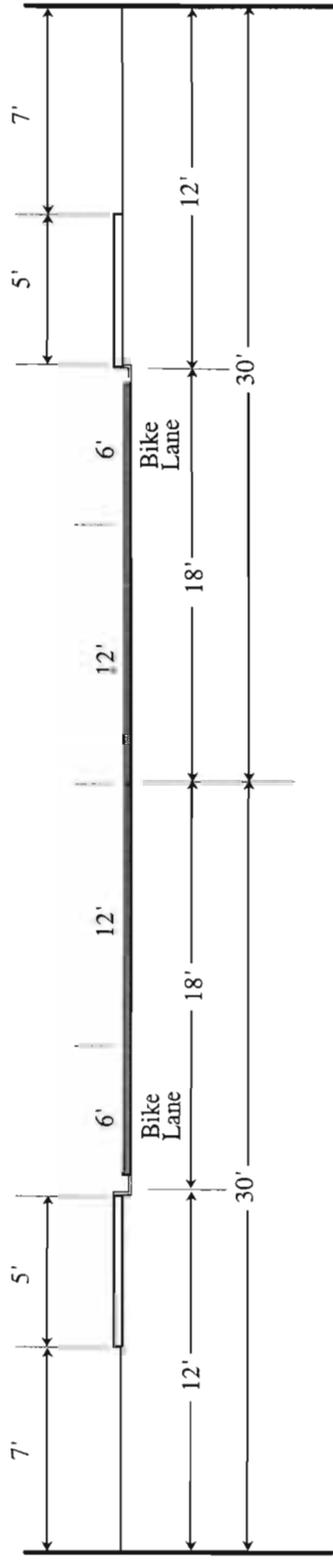
(Not to Scale)



(Not to Scale)

- Notes:
- Dimensions measured from back-of-curb.
 - Interim roadway width to be determined by traffic study.
 - A 5 foot separation between curb and sidewalk is typical, however, the sidewalk may occasionally connect to the curb to allow for a minimal meander and landscaping requirement.
 - Retention not allowed within the street R.O.W. Landscaping permitted within the R.O.W. subject to sight triangle and sight distance requirements.

FIGURE 7-5. MINOR COLLECTOR



(Not to Scale)

- Notes:
- Dimensions measured from back-of-curb.
 - Interim roadway width to be determined by traffic study.
 - Sidewalk separated from curb only when a minimum 10 foot wide landscape tract is provided adjacent to R.O.W.

FIGURE 7-6. LOCAL

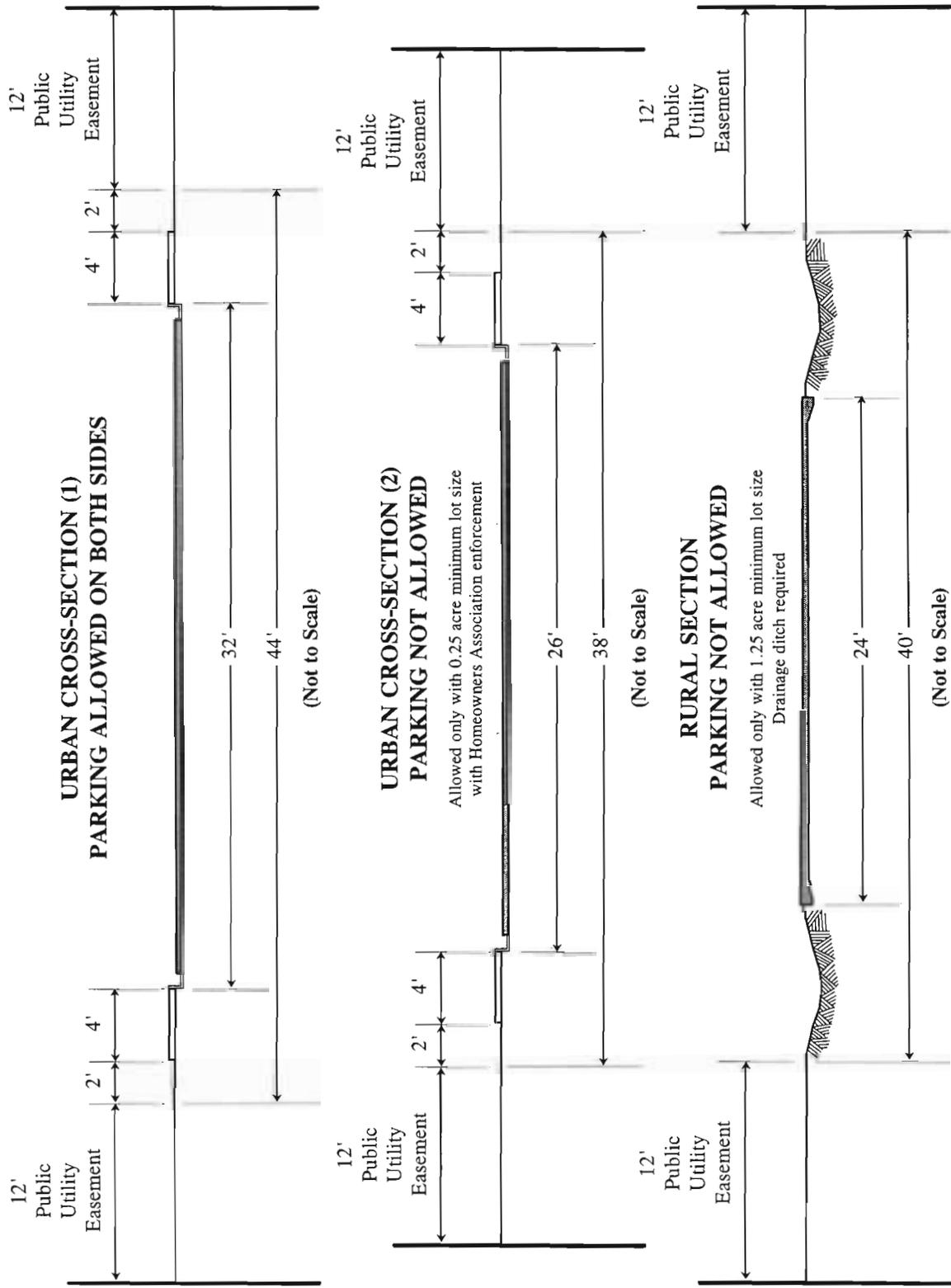
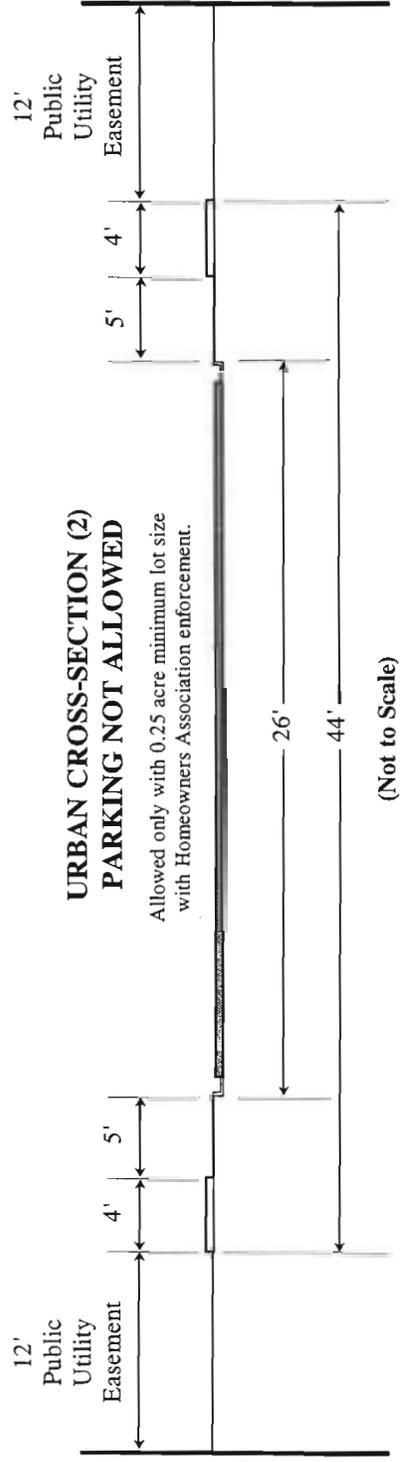
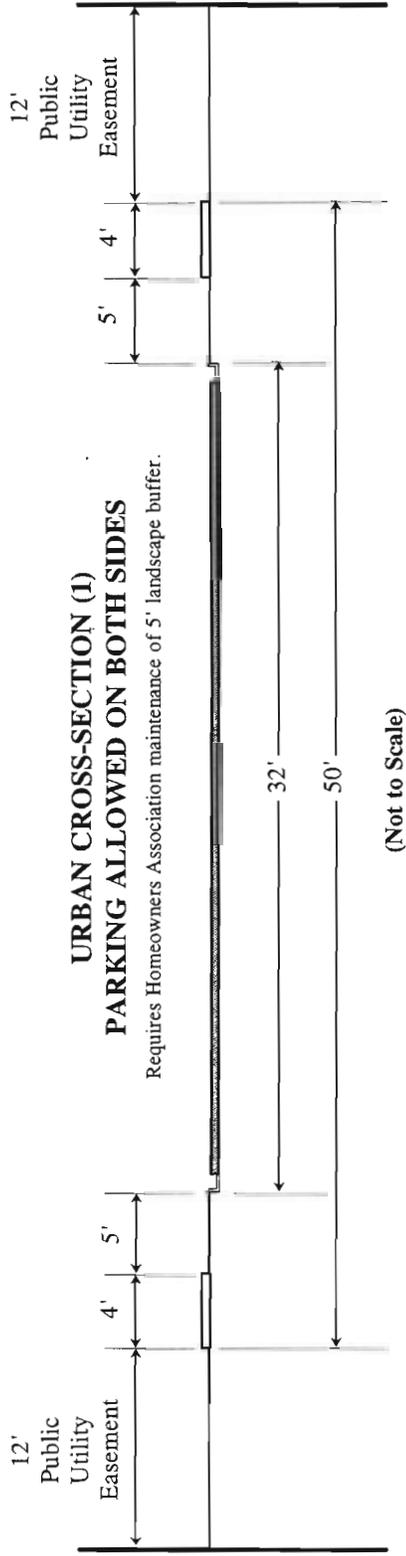


FIGURE 7-7. ALTERNATIVE LOCAL





APPENDIX C
Conceptual Land Use Plan (24"X36")