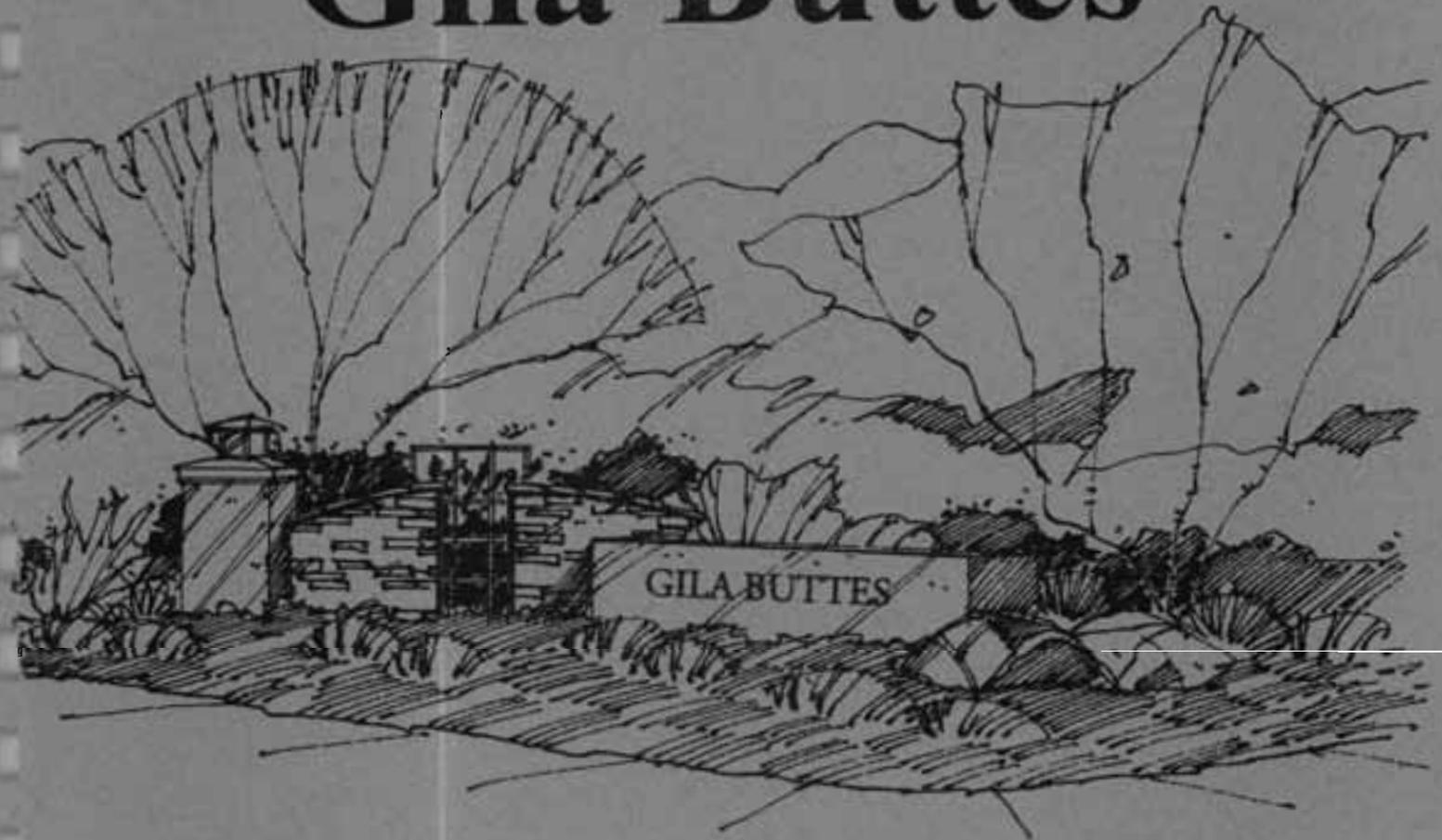


Gila Buttes



**Preliminary Development Plan
and
Development Guide
for a
Planned Area Development
Located at the Southwest Corner of
Val Vista Boulevard and Thornton Road**

Gila Buttes

Preliminary Development Plan and Development Guide for a Planned Area Development Located at the Southwest Corner of Val Vista Boulevard and Thornton Road

June 2000

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Gila Buttes

Preliminary Development Plan and Development Guide for a Planned Area Development

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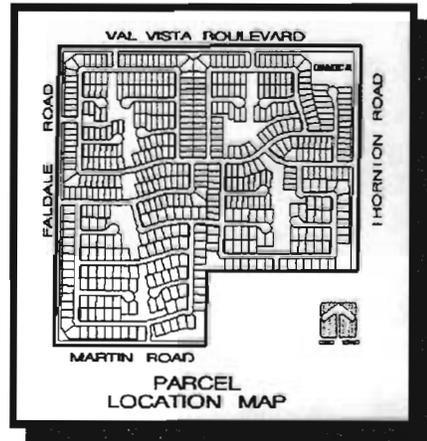
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Gila Buttes

Preliminary Development Plan and Development Guide for a Planned Area Development

1.0 Purpose of Request

Gila Buttes is a proposed 140.6-acre residential and commercial development located at the southwest corner of Val Vista Boulevard and Thornton Road. This Development Guide is being submitted to the City of Casa Grande as a supplement to the Zoning application and is intended to demonstrate the quality of subdivision design and housing product intended for the new community. The development team has designed a high quality, mixed-use community as this document will illustrate.



The purpose of the zoning application is to request a zone change for the **Gila Buttes** site from UR (Urban Ranch) to Planned Area Development (PAD) zoning featuring low and medium single family residential coupled with neighborhood retail.

2.0 Land Use Plan/ Preliminary Development Plan/ Project Description

The developer is proposing a high quality, mixed-use community within the City of Casa Grande. The community will consist of a 2.8-acre gross neighborhood commercial component and 502 site-built single-family detached lots/homes, along with significant active and passive open space. The proposed land uses and densities reflect the land use designations approved within the Casa Grande General Plan. The proposed land use locations generally correspond to the 'parcels' noted on the Preliminary Development Plan (land use plan).

The proposed retail site is an appropriate location for commercial uses as supported by the Casa Grande General Plan which designates the corner as CB. The intersection of

two arterial roadways, Val Vista Boulevard and Thornton Road, provide the needed transportation capacity to support the trip generation associated with commercial development. Val Vista Boulevard serves as the first major east-west road in the north Casa Grande area, offering residents to the east of Thornton Road access to Interstate 10 via Pinal Avenue.

In regard to residential uses, the developers are proposing to ring the commercial property with medium-density homes in order to provide a buffer for the lower-density homes proposed along the southern boundary. The future availability of sewer, and the existing availability of water will offer the 'urban-type' services necessary to sustain this type of development.

2.1 Residential Development

The residential portion of **Gila Buttes** includes two separate land use designations, as reflected in the Casa Grande General. Presently, approximately 40 acres of the site are designated for Low-density Residential uses, at a density of 1.4 - 4 dwelling units per acre (d.u./acre). Eighty (80) acres of the site are presently designated for Medium-density Residential uses, which allows for a density between 4.0 and 12.0 d.u./acre. Additionally, a General Plan Amendment is proposed for another 18 acres to change the land use designation from Community Business to Medium-density Residential land uses (discussed in detail below). It is upon these existing and approved land use designations, intensities of use, and densities that this mixed-use development is based.

The residential portion of **Gila Buttes** consists of 502 single-family lots/homes on approximately 140.6 gross acres, for an overall gross density of 3.6 dwelling units per acre. A school site is indicated (Parcel 'G' on the Preliminary Development Plan) as a future elementary school. If the school is not developed in the future, the parcel would be developed as single-family residential homes and the lot yield would increase to 537, for an overall gross density of 3.8 dwelling units per acre.

The Casa Grande Elementary School District has agreed to the proposed location as a future elementary school. Further negotiations are required with the school district as to the timing of the actual development of the school and the terms of the dedication.

The proposed single-family residential land uses are designed to reflect the land use designations, and their respective densities, as depicted in the Casa Grande General Plan. As noted previously, approximately 40 acres of **Gila Buttes** are designated for Low-density Residential land uses, which allows a density of 1.4 to 4.0 dwelling units per acre. Approximately 176 lots are proposed within this portion of the site (which is generally within the boundaries of Parcels 'A', 'F' and 'G' on the Preliminary Development Plan), for an overall gross density of between 2.6 to 3.5 dwelling units per acre, depending upon whether or not the school site is developed as such. Lot sizes within the Low-density Residential portion of the site have a minimum size of 7,700 square feet, which provides for minimum dimensions of 70' wide and 110' deep. The average lot size within this portion of the site is 8,151 square feet, with the maximum size of any lot within this portion of the site at 15,008 square feet.

Parcel	Land Use	Minimum Lot Square Footage	Average Lot Square Footage	Maximum Lot Square Footage
A	LDR	7,700	8,188	15,008
B	MDR	5,500	6,010	10,168
C	MDR	5,500	5,873	10,142
D	LDR	7,700	8,080	12,233
E	LDR	7,700	8,251	10,836

Approximately 80 acres of the site are presently designated for Medium-density Residential land uses, which allows a density of 4.0 to 12.0 dwelling units per acre. As a companion request to this PAD application, a General Plan Amendment is proposed to change the land use designation for an additional 18 acres of the site from Community Business to Medium-density residential land uses. The resultant acreage would yield approximately 361 lots within the Medium-density Residential portion of the site (which is generally within the boundaries of Parcels 'B', 'C', 'D' and 'E' on the Preliminary Development Plan), for an overall gross density of between 4.0 to 4.9 dwelling units per acre. Lot sizes within the Medium-density Residential portion of the site have a minimum size of 5,500 square feet, which provides for minimum dimensions of 50' wide and 110' deep. The average lot size within this portion of the site is 5,940 square feet, with the maximum size of any lot within this portion of the site at 10,836 square feet.

Table 1 indicates the relationship between the land use designations approved for the site under the Casa Grande General Plan and the resultant lot size ranges.

2.2 Residential Subdivision Design

Dietz-Crane Home's goal is to design a community with visual interest and distinctive character and identity. The design of the subdivision is critical to the success of a "visually diverse" community. **Gila Buttes** has been designed with numerous cul-de-sacs, curvilinear streets, and centralized, useable and highly visible open space. The local streets are designed in a discontinuous manner so as to discourage cut-through traffic and as a traffic calming measure. Cul-de-sacs and short loop roads have been designed extensively to create mini-neighborhoods within the overall community. To maximize visual impact for the overall community, many of the local streets are single-loaded adjacent to open space areas. Numerous connector streets allow easy access to the various neighborhoods.

To encourage the use and supervision of shared open space areas, many cul-de-sacs open-up to and roads terminate with views into open space areas. Both entries into **Gila Buttes** from Val Vista Boulevard terminate with views into the centralized open space corridors. In order to improve the overall appearance of the community as well as create a unifying theme, all corner lots are designed with a landscape tract adjacent to the street to be maintained by the master homeowner's association. In addition, the developer has designed attractive entry monumentation and theme wall design as illustrated within this document.

Details regarding the specific subdivision and home development standards, as well as a discussion of this project's conformance to Casa Grande's PAD Residential Design Standards, are noted in Appendix 'A' to this Development Guide.

2.3 Commercial Development

Approximately 2.8 gross acres of the site, along the Val Vista Boulevard and Thornton Road frontage, is proposed for a commercial shopping center with uses similar in intensity and characteristics to the B-2/General Business zone. This portion of the subject site is presently vacant desert with no improvements. The site is presently designated for Community Business uses on the Casa Grande General Plan.

The exact layout and site plan of the commercial portion of the development is not known at this time. Uses will be limited to indoor retail, office, and professional service

uses allowed within the City's B-2 (General Business) and CO (Commercial Office) zoning districts. The indoor retail requirement shall not exclude incidental outdoor eating areas or drive-through's associated with an otherwise allowable use. Setbacks and building heights will be consistent with the B-2 zoning district standards and as noted below.

The development of any portion or phase of this commercial shopping center area will undergo the Major Site Plan review process. The Major Site Plan review process, which involves review and recommendation by the Planning Department staff and review and approval by the Casa Grande Planning and Zoning Commission, addresses issues such as site design and layout, building design and appearance, access, signs, lighting, landscaping, parking arrangement, etc.

As a basis for the development of the commercial shopping center site, the following development performance standards will be applied for any phase or portion of the development:

- All buildings and structures within the commercial shopping center will use exterior treatments and colors designed to be compatible with the adjacent residential development.
- All four exterior elevations of any detached ('pad') building will be finished.
- A minimum setback of 45 feet will be maintained along the south and west boundary of the commercial shopping center site, between any building within the commercial shopping center and the property line of any adjacent residential lot/use. Circulation areas, parking areas, loading areas and trash dumpster enclosures may be allowed to be placed in this setback area.
- The site will be screened from the proposed adjacent residential uses (to the south) by an 8-foot high block wall. A minimum 10-foot wide landscaping buffer placed along the commercial side of the wall will be designed and will be landscaped with screening plant material such as trees and shrubs.
- Trash compactors and loading areas will be located and screened so as to minimize potential noise to adjacent residential uses.

- The frontage of this site, along Val Vista Boulevard and Thornton Road, will be landscaped. A coordinated landscape plan and landscaping theme will be utilized throughout the entire commercial shopping center site.
- Driveway locations and roadway improvements will be determined in cooperation with Pinal County and/or the City of Casa Grande. The commercial corner shall be limited to a maximum of one ingress/egress driveway from each of the adjacent arterial rights-of-way.
- Continuous vehicular connectivity via cross-access easements and shared parking is required within the commercial parcel. Parking and loading requirements will be in accordance with Zoning Ordinance requirements (including provisions for handicapped-accessible spaces).
- All on-site circulation, drive areas and parking areas are to be paved and landscaped, with concrete vertical curbing provided. Parking area screening will be in accordance with City of Casa Grande requirements.
- Sign structures will be designed to be compatible with the buildings within the commercial shopping center. The commercial site will comply with a comprehensive sign guide reviewed and approved by the City's Planning and Zoning Commission. Any attached or detached signage will be designed per the approved guidelines. Any allowed detached sign(s) will be a low-profile, monument style.
- On-site lighting will be designed so as to not 'fall' onto adjacent residential uses.
- The first commercial Major Site Plan request shall be required to submit a conceptual (final if request is for full parcel) site plan layout, meeting the approval of the Planning and Zoning Commission, for the entire commercial parcel.

2.4 Open Space

Over 23 acres of open space is proposed (if Parcel G is developed as single-family homes) within **Gila Buttes** to be landscaped as inviting recreational areas and pedestrian corridors. This open space equates to over 16.8% of the residential portion of the project and 16.5% of the total site. The open space areas were designed to retain storm water generated on the site as well carry off-site drainage through the site in an aesthetically-pleasing design. The open spaces are strategically located for high visibility and serve as pedestrian/bike connections through the site. The main entries into the project terminate with views into open space areas in order to create a dramatic

entry to the project. In addition, numerous interior roads and cul-de-sacs terminate with views into open space areas. The open space is centralized as much as possible for maximum use by **Gila Buttes** residents. These open spaces are connected by a 10-foot multi-use pathway and 5-foot wide walkways which meanders through the open space corridors. This trail system serves to physically and visually tie the neighborhoods together as a community. The internal path (10-foot wide) and walkway (5-foot wide) network shall be designed to provide safe and convenient connections/linkages to all open space amenities, open-ended cul-de-sacs, the school site, and the commercial center. All walkways and paths will be constructed of concrete and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director. All paths and walks shall be covered by pedestrian public access easements.

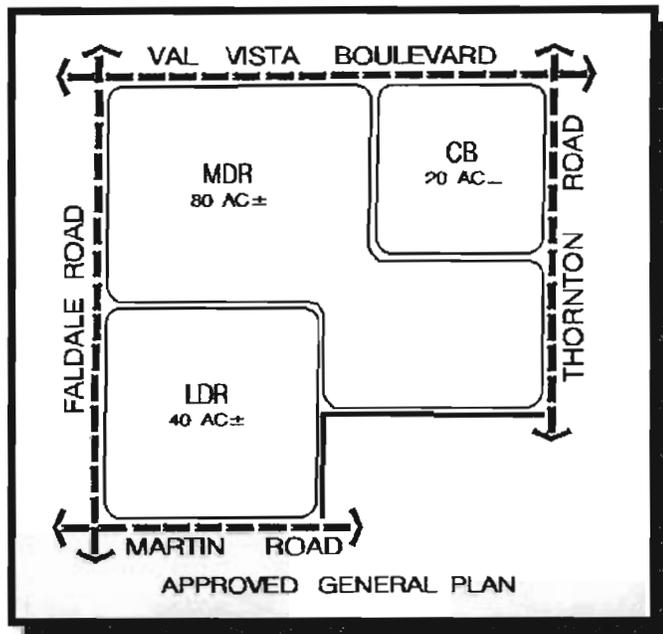
A number of recreational amenities will be provided as illustrated on the site plan and master landscape plan Exhibit 1/4. Proposed amenities are centralized as much as possible and include three children's play areas, a half basketball court, four shade ramadas, picnic tables and barbeques and turf areas for passive recreation. In addition, play structures and ball fields will be constructed by the school district if the school is developed within parcel G.

The landscape design concept for the open space areas will include the use of shade trees, shrubs, ground cover, and areas of turf for passive recreation. Plant material selections reflect the native vegetation of Arizona and are drought tolerant. Final landscape and amenity plans are subject to review and approval of the City's Planning Director.

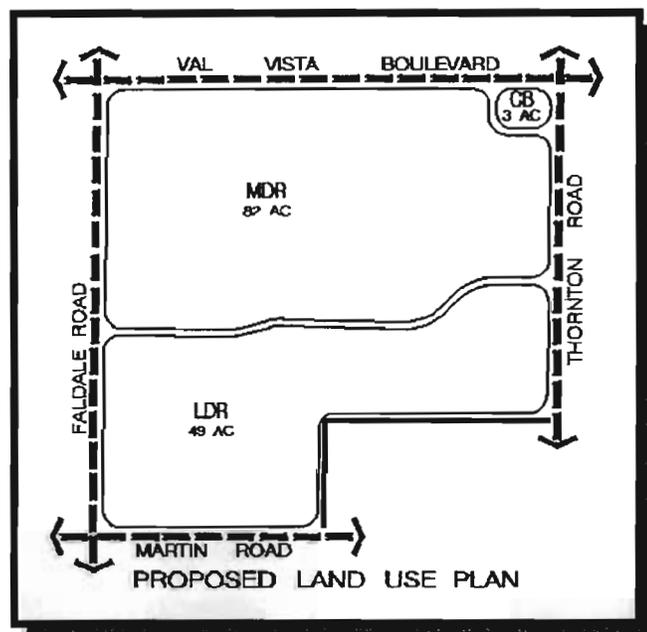
The developer will offer to the homebuyer a selection of front yard landscape packages. The front-yard landscaping will be installed by the developer prior to occupancy and will be maintained by the individual homebuyer. Front yard landscape packages will include a variety of water-conserving plants, ground covers, and vines. Turf will not be offered by the developer/homebuilder as a front-yard landscape option. Decomposed granite or river rock will cover all exposed areas. A variety of front yard landscape designs shall be provided to create visual diversity along the street scene.

3.0 Relationship to City of Casa Grande General Plan

The subject site was included as part of a larger General Plan Update and annexation, both of which became effective less than one year ago, on May 5, 1999. The 140.6-acre site includes several different land uses, as designated within the Casa Grande General Plan. These land use designations are Community Business (approximately 20 acres), Low-density Residential (1.4 - 4 dwelling units per acre – approximately 40 acres), and Medium-density Residential (4 - 12 dwelling units per acre- approximately 80 acres). It is upon these existing land use designations, intensities of use, and densities that this mixed-use development is based. These land use designations, as indicated on the approved Casa Grande General Plan, are those that were agreed to and approved by the City of Casa Grande to secure their approval for annexation.



As depicted on the Preliminary Development Plan included with this PAD application, land uses and densities are proposed that conform with the land use designations, as noted above, for the applicable portion of the Casa Grande General Plan (except for a 18-acre portion of the site, as noted below).



Commercial uses, in conformance with the Community Business land

use designation, are proposed for the portion of the site directly at the southwest corner of the intersection of Thornton Road and Val Vista Boulevard. Although the proposed commercial uses are in conformance with the Community Business land use designation, only 2 acres of commercial uses (as a neighborhood commercial center) are actually proposed, rather than the 20 acres that are indicated to occur in the current Casa Grande General Plan.

Residential uses (along with a potential school site) are proposed to occur within the remaining 138 acres (approximate) of the site, all of which is designated for residential land uses, at an overall gross density of between 3.6 to 3.8 dwelling units per acre, depending on whether or not the school site is developed as such. Those portions of the proposed residential uses that area located within the portion of the site indicated for Low-density Residential uses (Parcels 'A', 'F' and 'G'), are at a proposed gross density of 2.6 to 3.5 dwelling units per acre, again depending on whether or not the school site is developed as such. Those portions of the proposed residential uses that area located within the portions of the site indicated for Medium-density Residential uses are at a proposed gross density of 4.3 to 4.5 dwelling units per acre. This range of residential densities conforms with the respective General Plan land use designations.

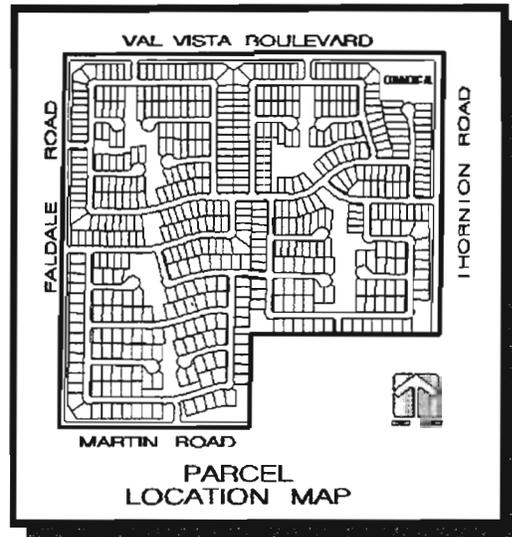
As noted previously, an 18-acre portion of the site (approximate size), located south of the southwest corner of Thornton and Val Vista, and immediately to the south of the proposed commercial uses, is proposed for Medium-density Residential uses, at a gross density of 4.3 d.u./acre, rather than Community Business uses. Medium-density Residential uses make sense at this location given that it is 'sandwiched' between other Medium-density Residential uses and Community Business (commercial) uses. Under separate application, a General Plan Amendment is being requested to amend the land use designation for this portion of the site from the Community Business land use designation to the Medium-density Residential land use designation, to allow for residential uses at a maximum gross density of 4.3 dwelling units per acre.

The site is discussed within City of Casa Grande Municipal Airport – Airport Master Plan, adopted in 1987 and amended in 1998, the site is indicated as likely to develop with residential and commercial land uses similar to those that are requested in this application. The Airport Master Plan indicates that the site is not located within any noise

contours. Even so, the developer has proposed that as added protection to the City, if necessary, language will be placed on all plats, deeds, titles and/or leases that puts the potential property owner/lessee on notice regarding the proximity of the airport and the potential for noise.

4.0 Existing Site Conditions

As shown on the vicinity map, **Gila Buttes** consists of approximately 140.6 acres located at the southwest corner of Val Vista Boulevard and Thornton Road. The legal description of the project site is attached as Exhibit A. The site is presently undeveloped, with no improvements.



The site drains from north to south with an approximate slope of 1.2%. Several minor washes transverse through the site. These washes have been combined into two main centralized drainage corridors which will be developed as useable open space and utilized for a multi-use pathway to connect the neighborhoods.

5.0 Relationship to Surrounding Properties

The primary character of the area is scattered single-family residential uses on one-plus acre lots and vacant desert. The character of the surrounding properties are as follows:

- Areas to the north are scattered single-family residential uses and undeveloped/vacant desert, zoned GR (General Rural) and under the jurisdiction of Pinal County.
- Areas to the east are undeveloped/vacant desert. All areas to east of **Gila Buttes** are zoned I-1 (Light/Garden Industrial) and are located within and under the jurisdiction of the City of Casa Grande.
- Areas to the south are undeveloped/vacant desert, are located within the City of Casa Grande, and are zoned UR (Urban Ranch). Further to the southeast is the Casa Grande Airport.

- Areas to the west of **Gila Buttes** consist of undeveloped/vacant desert. Zoned UR (Urban Ranch), and under the jurisdiction of the City of Casa Grande.

The City of Casa Grande corporate limits 'run' along the north-side of the Val Vista Boulevard alignment, which serves as the north boundary of **Gila Buttes**.

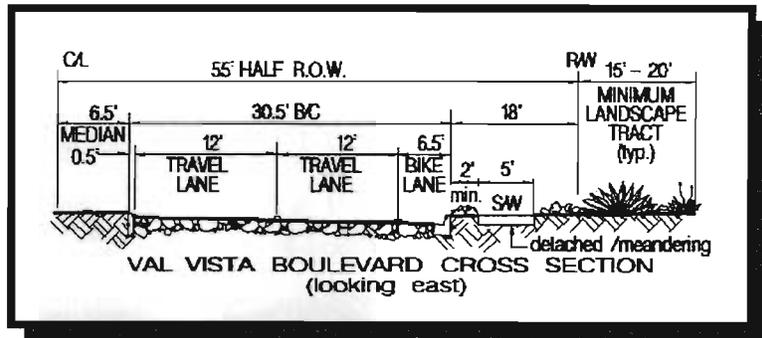
6.0 Accessibility

The principal access to **Gila Buttes** will be from Val Vista Boulevard, which is a paved two-lane roadway adjacent to the north boundary of the site. Secondary access to **Gila Buttes** will be via Thornton Road, which a dirt roadway adjacent to the east boundary of the site. The east/west mid-section line collector road to the south, Martin Road, is not developed at this time.

7.0 Circulation System and Street Improvements

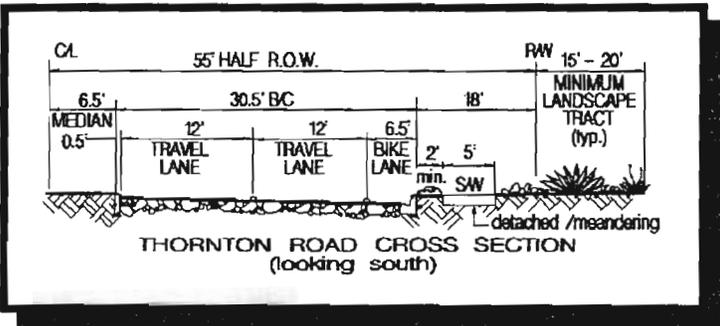
Final traffic reports and plans, meeting the approval of the City Engineer, are required prior to the recording of the PAD Plat or the approval of any Final Subdivision Plats for this project. This study will determine the traffic impact of this project and any need for additional traffic and roadway improvements that the developer will be required to provide and/or be partially financially responsible for based on the amount of traffic generated by **Gila Buttes**. A Preliminary Traffic Impact Study will be submitted to the City under separate cover.

The developer will be responsible for the engineering and construction of the south half of Val Vista Boulevard adjacent to **Gila Buttes**. They will dedicate 55-foot half right of way and install paving, curb, gutter, median, striped bike lane, 5-foot wide detached, meandering sidewalk, and landscaping within the right of way. Sidewalks along all collector and arterial roadways shall be detached from the curb, except at intersections, and meander



within the right of way. Cross sections and striping plans for arterial and collector roadways are subject to the review and approval of the City Engineer and City Planning Director. Striped bike lanes, meeting AASHTO standards and the recommendations of the City Engineer, shall be provided on all collector and arterial roadways. Upon completion of construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande except for the maintenance of landscaping within right-of-way. Maintenance of median landscaping, if applicable, is to be the responsibility of the City of Casa Grande upon installation by the developer and acceptance by the City.

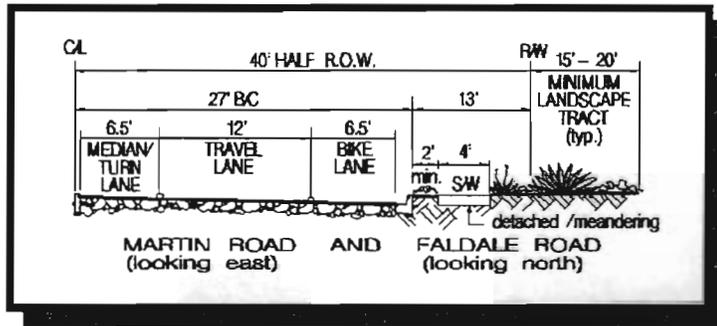
The developer will be responsible for the engineering and construction of the east half of Thornton Road adjacent to **Gila Buttes**. They will dedicate 55-foot half right of way and install paving, curb, gutter, median, striped bike lane, 5-foot wide detached, meandering sidewalk, and landscaping within the right of way. Sidewalks along all collector and arterial roadways



shall be detached from the curb, except at intersections, and meander within the right of way. Cross sections and striping plans for arterial and collector roadways are subject to the review and approval of the City Engineer and City Planning Director. Striped bike lanes, meeting AASHTO standards and the recommendations of the City Engineer, shall be provided on all collector and arterial roadways. Upon completion of construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande except for the maintenance of landscaping within right-of-way. Maintenance of median landscaping, if applicable, to be the responsibility of the City of Casa Grande upon installation and acceptance.

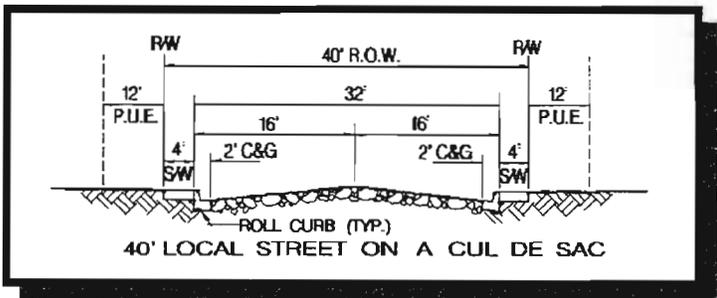
The developer will be responsible for the engineering and construction of the north half of Martin Road adjacent to **Gila Buttes**. They will dedicate 40-foot half right of way and install paving, curb, gutter, striped bike lanes, 4-foot wide detached and meandering sidewalk, and landscaping within the right of way. Sidewalks along all collector and arterial roadways shall be detached from the curb, except at intersections, and meander

within the right of way. Cross sections and striping plans for arterial and collector roadways are subject to the review and approval of the City Engineer and City Planning Director. Striped bike lanes, meeting AASHTO standards and the recommendations of the City Engineer, shall be provided on all collector and arterial roadways. Upon completion of construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande except for the maintenance of landscaping.



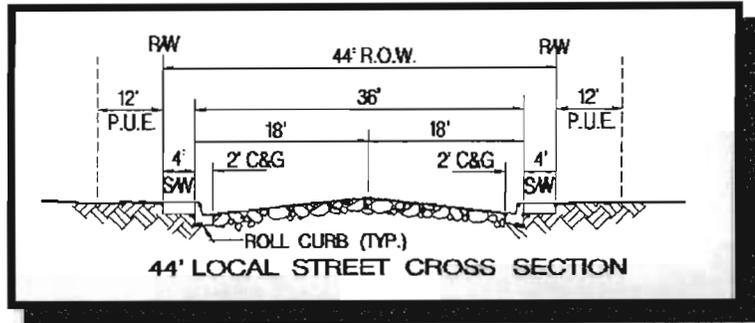
The developer will be responsible for the engineering and construction of the east half of Faldale Road adjacent to **Gila Buttes**. They will dedicate 40-foot half right of way and install paving, curb, gutter, striped bike lanes, 4-foot wide detached, meandering sidewalk, and landscaping within the right of way. Sidewalks along all collector and arterial roadways shall be detached from the curb, except at intersections, and meander within the right of way. Cross sections and striping plans for arterial and collector roadways are subject to the review and approval of the City Engineer and City Planning Director. Striped bike lanes, meeting AASHTO standards and the recommendations of the City Engineer, shall be provided on all collector and arterial roadways. Upon completion of construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande except for the maintenance of landscaping.

The developer will be responsible for the engineering and construction of local streets and cul-de-sacs within **Gila Buttes**. They will dedicate 44-foot right-of-way and 40-foot



right-of-way respectively as a function of neighborhood traffic needs. Use of the 40-foot wide right-of-way will be restricted to cul-de-sac streets with limited trip generation characteristics. Local street improvements will include paving, curb, gutter and an attached 4-foot wide sidewalk on both sides of the rights-of-way. Upon completion of

construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande.



The homeowner's association will maintain all landscaping

within the public right-of-way except for any landscaping occurring within arterial road medians.

8.0 Public Facilities

Police and fire protection will be provided by the City of Casa Grande. Refuse collection will be provided by the City of Casa Grande.

Gila Buttes is located within both the Casa Grande Elementary School District and the Casa Grande Union High School District. The high school facility is located approximately 3 miles away, at the intersection of McCartney and Trekell Roads.

A proposed elementary school site is proposed as Parcel 'G' within **Gila Buttes**. The Casa Grande Elementary School District has agreed to the proposed location as a future elementary school. Further negotiations are required with the school district as to the timing of the actual development of the school and the terms of the dedication.

This residential development will include usable open space areas and other passive and active recreational activities and amenities as noted previously throughout this document. In addition to these amenities, the Dave White Regional Park is located approximately 2 miles to the south of **Gila Buttes**. No other public recreational areas or parks exist near the site.

9.0 Phasing Plan

The project will be developed in multiple phases in accordance with the Phasing Plan as shown on Exhibit C. The phasing schedule is preliminary at this time and is subject to modifications depending on market trends. A more detailed phasing plan, meeting the

approval of the City Engineer and Planning Director, will be established during the improvement plan and final plat review process.

10.0 Utilities

Any utilities running through the site or any utilities that need to be relocated for development of the site, will be placed underground except as approved by the City Council. Sewer facilities, street lights, and fire hydrants will be provided according to City of Casa Grande codes and per the recommendations of the Engineering and Fire Departments. Upon completion of construction and acceptance, operation and maintenance of all utilities and facilities will rest with the appropriate operating agency.

10.1 Sewer

The City of Casa Grande's sewer facilities that will serve this site consists of an existing 27" sewer line located on the Thornton Road alignment approximately one mile south of **Gila Buttes**. The preliminary sewer analysis indicates that the demand generated by **Gila Buttes** will be satisfied by a 15-inch diameter main with a minimum slope of 0.40 percent. It is the developers intent to construct this 15-inch line south to the existing terminus of the 27-inch main in conjunction with the first phase of this project. The conceptual sewer collection system is illustrated on the Conceptual Sewer Design Report to be submitted under separate cover. Final sewer reports and plans, meeting the approval of the City Engineer, are required prior to the recording of the PAD Plat or the approval of any Final Subdivision Plats for this project.

10.2 Potable Water

Potable water for **Gila Buttes** will be provided by the Arizona Water Company. The company's water system will serve the site with an existing 12" water line located in Val Vista Boulevard along the north boundary of the site. See Preliminary Water Design Report submitted under separate cover. Final water reports and plans, meeting the approval of the City Engineer, are required prior to the recording of the PAD Plat or the approval of any Final Subdivision Plats for this project. The developer will provide a 100-year Assured Water Supply Certificate prior to Final Plat approval.

10.3 Electrical Power

Electricity service will be provided by Arizona Public Service Company.

10.4 Natural Gas

Natural gas service will be supplied by Southwest Gas Company.

10.5 Telephone

Telephone services will be provided by U.S. West.

10.6 Sanitation

Waste disposal services will be provided by the City of Casa Grande.

11.0 Grading and Drainage Concept

The grading and drainage concept for **Gila Buttes** consists of providing retention basins within the proposed open space areas as required. The property will be graded to drain toward the retention basins. The streets will be designed per the City of Casa Grande criteria to convey all onsite storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. Offsite storm drainage will be accommodated through adequately designed water conveyance systems. See Conceptual Grading and Drainage Design Report submitted under separate cover. Final drainage and retention reports and plans, meeting the approvals of the City Engineer, are required prior to the recording of the PAD Plat or the approval of any Final Subdivision Plats for this project.

The retention basins will be designed as multi-use facilities, combining retention facilities with playground equipment and recreational opportunities. To minimize the disruption of use during and after storms, all playground equipment will be elevated out of the 25-year storm event.

12.0 Tree Preservation

The developer/builder will work with the City Planning Department to develop a plan for identifying and preserving and/or relocating large (specimen type) desert trees existing on the site.

13.0 Residential Covenants, Conditions, & Restrictions

In order to assure residents that their investment in the community and home will endure, **Gila Buttes** will be controlled by a strong set of Covenants, Conditions, and Restrictions (CC&Rs). The CC&R's will incorporate the design principals as outlined in this document and will promote diversity in home sites, color, texture, and streetscapes, not only from neighborhood to neighborhood but also from neighbor to neighbor.

The CC&R's will be presented to the City Planning Director for review and approval prior to the approval of any Final Subdivision Plats.

14.0 Homeowners Association

A master homeowners association will be formed with the development of **Gila Buttes** which will maintain all landscape tracts, perimeter walls, paver/stamped asphalt treatments, and open space areas including drainageways, perimeter walls and landscaping within rights-of-ways (except arterial roadway medians).

15.0 Dietz-Crane Homes

Dietz-Crane Homes has been recognized as a leader in every aspect of homebuilding. Their reputation for quality, variety, and affordability has put them at the head of the homebuilding industry. They carefully chose the location of their communities and the design of their homes in order to meet the needs of the homebuyer. Because Dietz-Crane Homes has focused on staying committed to craftsmanship, design and value, they are building some of the finest homes in Arizona.

In addition to home-building and subdivision development, Dietz-Crane Home has extensive experience in commercial center and mixed-use developments. The most recent development of this type is a large commercial center in the City of Peoria, Arizona, which includes a Home Depot, and single-family residential lots.

Dietz-Crane also has extensive experience in Senior-oriented and age-restricted communities, including the recent development of the final phases of the Leisure World development in east Mesa, Arizona.

16.0 Development Team

Dietz-Crane Homes/WVVB80, L.P. has assembled a development team to design **Gila Buttes** as a community which carries through the standards they developed for **Copper Vista** and to create a community any homebuyer would be proud to live within. A community which attracts, meets the needs of, and is accessible to a variety of homebuyers. The development team consists of the following:

Builder/Owner

Dietz-Crane Homes & WVVB80, L.P.
3612 West Dunlap Avenue
Phoenix, Arizona 85051
Contact: Craig Prouty
Phone: 602.973.8632

Engineer

DNA Incorporated
314 East 8th Street
Casa Grande, Arizona 85222
Contact: Bill Collings, P.E.
Phone: 520.836.5501

Land Planner

Arizona Land Design
5202 East Oakhurst Way
Scottsdale, Arizona 85254
Contact: Christine Taratsas, RLA
Phone: 480.951.6410

Zoning Consultant

Greg Loper, AICP
306 West Monte Cristo
Phoenix, Arizona 85023
Contact: Greg Loper
Phone: 602.550.7004

17.0 Conclusion

Gila Buttes is a community which invites its residents to walk, run, ride, play and mingle. The open space areas are strategically located for high visibility and centrally located for high usability. Additional design features such as significant entry monumentation and attractive perimeter theme wall design as illustrated below combine to create a high quality residential community which Dietz-Crane Homes is proud to develop within the City of Casa Grande.

Development of **Gila Buttes** will be in accordance with applicable code requirements of the City of Casa Grande, the City's Residential Design Standards for PAD's per the approved Development Guide, and any other conditions deemed necessary by the City of Casa Grande Council.

Gila Buttes

Appendix A Residential Development Standards

Appendix A

1.0 Residential Development Standards

Gila Buttes has been designed to incorporate as many of the City of Casa Grande's Residential Design Standards for Planned Area Developments as possible. The following outlines how the design of **Gila Buttes** has met or exceeded these standards.

1.1 Mandatory PAD Layout and Design Standards

1.1.1 Open Space

Approximately 23.2 acres of open space is to be landscaped as inviting recreational areas and pedestrian corridors. The open space equates to over 16% of both the residential portion as well as the total site. The open space areas are centralized as much as possible to maximize use by all neighborhoods. Every home within **Gila Buttes** will be within approximately 600 feet of a pathway or open space area which is almost half the City recommended distance. A Master Homeowners Association will be formed to maintain all landscape tracts.

The open spaces are strategically located for high visibility and serve as pedestrian/bike pathways through the site. The main entries into the project terminate with views into open space areas in order to create a dramatic entry to the project. In addition, numerous interior roads and cul-de-sacs terminate with views into open space areas. The open space is centralized as much as possible for maximum use by **Gila Buttes** residents. These open spaces are connected by a series of pedestrian pathways and paths which serve to physically and visually tie the neighborhoods together as a community.

The open space areas were designed to retain storm water generated on the site as well carry off-site drainage through the site in an aesthetically-pleasing design. Many of the proposed open space areas will also provide retention for the project. Creatively designed, these retention basins will utilize varied side slopes, varied plant massing, and curvilinear pedestrian pathways in order to make the basins pleasant open space and recreational areas. At least 15% of

the retention basins that are designed for recreational usage will be elevated above the 25-year flood water surface elevation.

A final landscape and open space amenity plan, meeting the approval of the City Planning and Development Director, shall be submitted prior to the approval of any Final Subdivision Plats for the property. A minimum of 20 acres (23 acres if school is not developed) of open space, not including landscaped rights-of-way, shall be provided within the single-family residential portions of this PAD.

1.1.2 Additional Requirements for PAD Layout and Design

The following seven additional development standards will be utilized at **Gila Buttes**.

- Enhanced subdivision entryway features. As this project, along with **Copper Buttes** and **Copper Vista** by Dietz-Crane Homes, are the first subdivisions to occur within Casa Grande along Val Vista Boulevard, the developer has an opportunity to establish a theme which is consistent along the roadway. The entry features and perimeter fences for all three projects utilize the same basic building materials and colors in order to create a consistent theme. Attractive entry monumentation as depicted in this document will be installed by the developer and will promote the sense of a high-quality residential community. Stamped and colored asphalt pavers will be installed at all entries. In order to create a sense of arrival, the main entries from Val Vista Boulevard terminate with views into the main open space corridors.
- Curvilinear street system. The project has been designed with a curvilinear street system which follows the natural lay of the land. The streets were designed in a discontinuous manner so as to discourage cut-through traffic and as a traffic slowing measure.
- Stamped asphalt. Pavers or colored stamped asphalt will be located at all entries into the development and at all locations where the internal path or walkway network cross roadways. All paver or colored stamped asphalt treatments shall be maintained to the City Engineer's satisfaction by the homeowner's association.

- Stagger front yard setbacks. The developer proposes to vary the building relationship to the street by providing alternating setbacks on every third or fourth lot with a front-loaded garage. Front-loaded garages will vary in setback from 18 feet to 23 feet. The setback for side-entry garages shall be 15 feet. The proposed homes may include options such as side entry garages and covered front porches that project beyond the face of a front entry garage. Those projections can vary the streetscape by incorporating setbacks from 15 feet to 23 feet.
- Perimeter wall design. The perimeter wall design as depicted in this document illustrates the use of varied material including block, cultured stone and wrought iron. The theme wall will consist of smooth face 8" x 8" scored CMU block with two 8" stone veneer pop-outs located approximately 150 - 200 feet on center. See Wall Exhibit included as Exhibit G of this Development Guide. In addition, the walls will have 2-foot horizontal offsets approximately 150 – 200 feet apart in order to create visual “stagers” in the wall.
- Multi-Use Path. A 10-foot wide concrete path and 5-foot wide concrete walks will meander through the development’s proposed open space corridors physically tying the community together as one. The internal path (10-foot wide) and walkway (5-foot wide) network shall be designed to provide safe and convenient connections/linkages to all open space amenities, open-ended cul-de-sacs, the school site, and the commercial center. All walkways and paths will be constructed of concrete and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director. All paths and walks shall be covered by pedestrian public access easements.
- Lot orientation. Many of the lots are oriented in such a way as to provide terminating views onto open space. Lots that back onto these spaces will have view walls as illustrated on the Preliminary Development Plan.

2.0 Mandatory Residential PAD Architectural Standards

The residential product for **Gila Buttes** has not been determined at this time. The elevations and floor plans illustrated in this document are a sample of the type of product

Dietz-Crane Homes builds. As illustrated, the homes have architectural diversity while still maintaining a cohesive architectural theme and character. The product Dietz-Crane will build at **Gila Buttes** will incorporate architectural elements that will help create a diverse and aesthetically pleasing street scene. Product elevations and floor plans will be presented to the City of Casa Grande Planning and Development Department and City Planning and Zoning Commission for review and approval prior to City Council approval of the final subdivision plats.

2.1 Elevations and Roofs

- A minimum of four home floor plans, each with three distinct elevations, will be utilized within parcels B/C/D/E and parcels A/F/G.
- A minimum of three distinct home color schemes will be utilized within parcels B/C/D/E and parcels A/F/G. Low reflective desert colors (LRV of 50 or less) will be utilized.
- The developer/homebuilder will not allow two similar home elevations to be located on adjacent lots within **Gila Buttes**. A variety of architectural design features will be incorporated into each home elevation to promote diversity from home to home.
- There will not be any more than three consecutive similar rear home elevations for homes backing on Val Vista Boulevard, Thornton Road, Faldale Road or Martin Road.
- A variety of home roofing materials, colors, shapes or textures will be offered. All roofing will be of durable, long-lasting clay or concrete tile roofing material. A minimum of three tile colors will be provided with parcels B/C/D/E and within parcels A/F/G.
- All homes will have front entries. Emphasis will be placed on attracting attention to these entryways instead of the garages.
- All side elevations facing a public right of way will have at least one large window.
- In most instances, front-loaded garages will not extend more than 10 feet beyond the livable portion of the home.
- Residential dwelling units and accessory buildings/structures will have no roof-mounted mechanical equipment including HVAC coolers or antennas.

- Non-tandem front-loaded garages for three or more cars will not be allowed on any lot less than 60 feet wide at the 20-foot front setback line.
- The applicant will work with City staff to develop a diverse housing product for the project that includes the use of front courtyards, front porches, front or corner side bay windows and/or Pueblo-style architecture as standard features on at least four of the offered elevations per product/price type.

2.2 Add-ons

Add-on elements such as awnings and carports must be approved by the **Gila Buttes** Master Homeowner's Association and will be constructed and painted to complement the homes. Carports or any other detached buildings/structures shall only be located within the rear yard. No more than one accessory buildings/structure per dwelling unit will be allowed. All accessory buildings/structures will be constructed of materials and colors complimentary to the dwelling unit. Accessory buildings/structures will only be located within fenced rear yards and no closer than five feet from any property line or twenty-five feet from the perimeter of the PAD.

3.0 Additional Requirements for PAD Residential Architecture

A minimum of four of the standards listed below will be mandatory for the developer to implement at **Gila Buttes**. These additional requirements for PAD residential architecture will be presented to the Planning and Zoning Commission prior to approval of the final subdivision plats.

- Incorporate a variety of durable exterior materials and finishes. In addition to tile roofing, materials such as brick, stone, and masonry will be incorporated into the homes.
- Provide significant architectural features, such as covered front entries, front porches, and bay windows on at least fifty percent of the homes.
- Reduce the number of front-loaded garages. Use side-loaded and/or rear yard detached garages on thirty percent or more of the homes.

- De-emphasize front-loaded garages by recessing garage doors, recessing the second story over garages on multi-story homes, providing at least twenty feet of non-garage home frontage, and/or other effective methods.
- Exceed the mandatory requirements for the number of required distinct floor plans, elevations and home color schemes.
- Applicant's choice. An opportunity for creativity and design innovation is provided here.

4.0 MAILBOXES

All mail gang boxes will be built within a decorative block wall/structure feature meeting United States Postal Office requirements.

Gila Buttes

Exhibit A

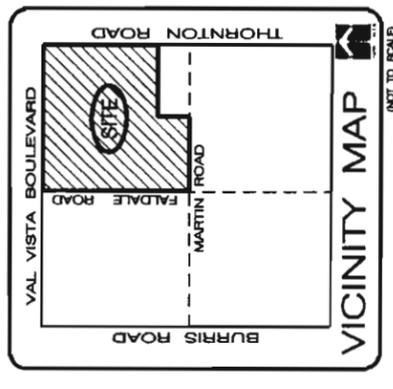
Preliminary Development Plan

Wall Exhibit

Topographical Exhibit

PRELIMINARY DEVELOPMENT PLAN FOR GILA BUTTES

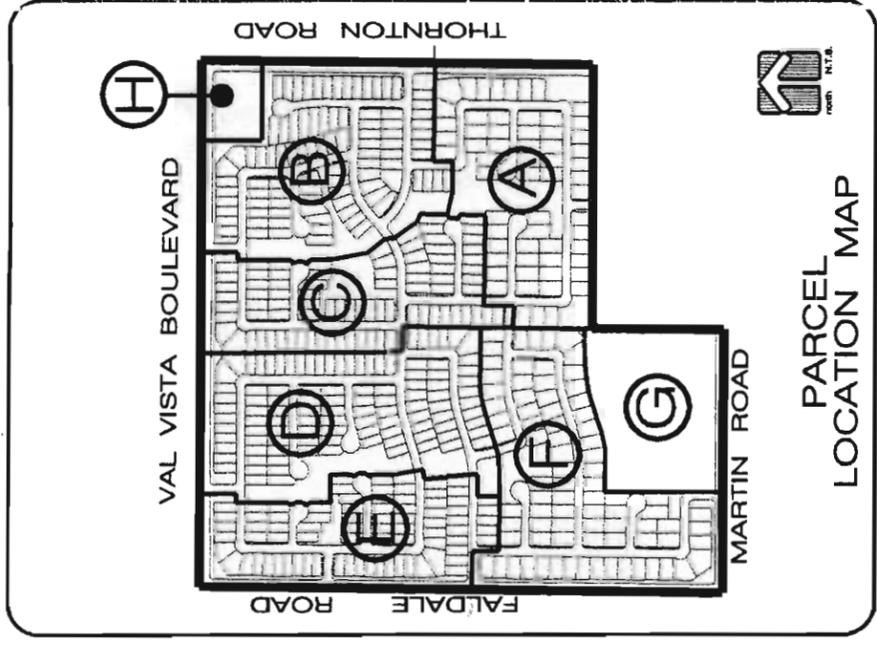
The west half & a portion of the east half of the northeast quarter of Section 30, T. 5 S., R. 6 E., G&SRM, Pinal County, Arizona



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 FAX: 602.271.9985
 CONTACT: BILL COLLINGS, P.E.



TRACT TABLE		PROPOSED USE		PROPOSED USE	
TRACT	AREA	PROPOSED USE	TRACT	AREA	PROPOSED USE
A-1	1.0 AC.	RETENTION/OPEN SPACE	D-5	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT
A-2	0.3 AC.	LANDSCAPE TRACT/OPEN SPACE	D-6	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT
A-3	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	D-7	0.5 AC.	10' SIDE YARD LANDSCAPE TRACT
A-4	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT	D-8	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT
A-5	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT	D-9	0.6 AC.	RETENTION/OPEN SPACE
A-6	2.8 AC.	RETENTION/OPEN SPACE	D-10	0.7 AC.	RETENTION/OPEN SPACE
A-7	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	D-11	2.5 AC.	RETENTION/OPEN SPACE
A-8	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT	PARCEL D TOTAL 4.46 ACRES		
A-9	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	E-1	0.7 AC.	LANDSCAPE TRACT/OPEN SPACE
A-10	0.6 AC.	RETENTION/OPEN SPACE	E-2	0.4 AC.	LANDSCAPE TRACT/OPEN SPACE
A-11	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	E-3	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT
A-12	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	E-4	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT
PARCEL A TOTAL 4.75 ACRES					
B-1	0.2 AC.	LANDSCAPE TRACT/OPEN SPACE	E-5	0.5 AC.	RETENTION/OPEN SPACE
B-2	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	E-6	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT
B-3	0.8 AC.	RETENTION/OPEN SPACE	PARCEL E TOTAL 1.72 ACRES		
B-4	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT	F-1	0.8 AC.	LANDSCAPE TRACT/OPEN SPACE
B-5	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	F-2	0.2 AC.	RETENTION/OPEN SPACE
B-6	1.2 AC.	L1/20' DRAINAGE CHANNEL	F-3	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT
B-7	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT	F-4	0.6 AC.	RETENTION/OPEN SPACE
B-8	2.0 AC.	RETENTION/OPEN SPACE	F-5	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT
B-9	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT	F-6	0.2 AC.	RETENTION/OPEN SPACE
PARCEL B TOTAL 4.49 ACRES					
C-1	0.3 AC.	LANDSCAPE TRACT/OPEN SPACE	F-7	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT
C-2	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT	F-8	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT
C-3	1.4 AC.	RETENTION/OPEN SPACE	F-9	1.4 AC.	RETENTION/OPEN SPACE
C-4	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT	F-10	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT
C-5	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	F-11	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT
C-6	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	F-12	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT
C-7	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT	PARCEL F TOTAL 2.91 ACRES		
C-8	0.2 AC.	10' SIDE YARD LANDSCAPE TRACT			
PARCEL C TOTAL 1.88 ACRES					
D-1	0.5 AC.	LANDSCAPE TRACT/OPEN SPACE			
D-2	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT			
D-3	0.6 AC.	10' SIDE YARD LANDSCAPE TRACT			
D-4	0.5 AC.	10' SIDE YARD LANDSCAPE TRACT			
TOTAL OPEN SPACE = 20.21 ACRES					

SITE SUMMARY TABLE						
PARCEL	EXISTING ZONING	PROPOSED ZONING	PROPOSED USE	GROSS AREA	NET AREA	YIELD
A	UR	PAD	SINGLE FAMILY	20.3 AC.	19.3 AC.	61 LOTS
B	UR	PAD	SINGLE FAMILY	23.6 AC.	21.6 AC.	83 LOTS
C	UR	PAD	SINGLE FAMILY	17.1 AC.	16.4 AC.	89 LOTS
D	UR	PAD	SINGLE FAMILY	23.9 AC.	23.0 AC.	106 LOTS
E	UR	PAD	SINGLE FAMILY	17.1 AC.	15.3 AC.	79 LOTS
F	UR	PAD	SINGLE FAMILY	23.8 AC.	22.2 AC.	80 LOTS
G	UR	PAD	SINGLE FAMILY	12.1 AC.	11.4 AC.	0 LOTS
SUBTOTAL			SCHOOL	137.8 AC.	128.2 AC.	502 LOTS
H	UR	PAD	COMMERCIAL	2.8 AC.	2.0 AC.	0 LOTS
TOTAL				140.6 AC.	131.2 AC.	502 LOTS
						3.6 DU/AC
						3.8 DU/AC
						*20.21 AC/15.4%
						*20.21 AC/15.4%

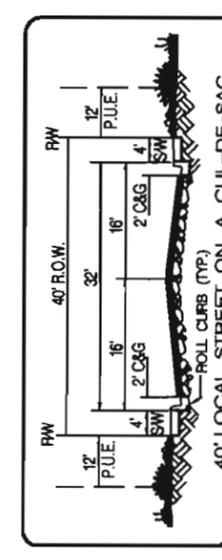
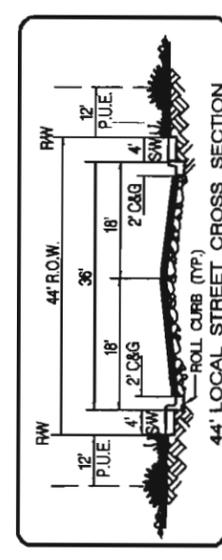
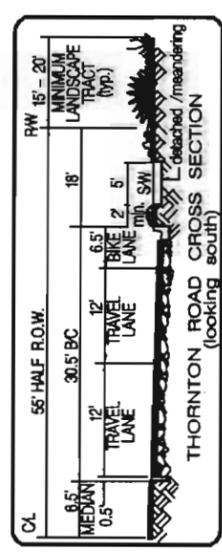
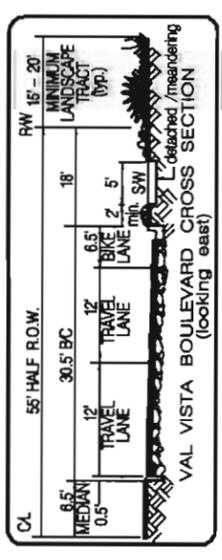
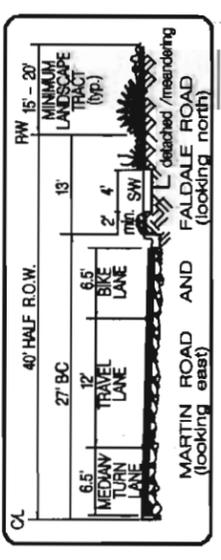
*OPEN SPACE AREA EQUATES TO 15.4% OF TOTAL SITE, OR 15.8% OF RESIDENTIAL PORTION OF SITE.
 *OPEN SPACE AREA INCLUDES ALL LANDSCAPE TRACTS.
 **NET DENSITY EXCLUDES PROPOSED RIGHTS-OF-WAYS ALONG VAL VISTA BLVD., THORNTON ROAD, MARTIN ROAD & FALDALE ROAD.
 ***YIELD MAY VARY BASED ON FINAL PLAT APPROVAL.

RESIDENTIAL DEVELOPMENT GUIDELINES								
PARCEL ZONING	PROPOSED MINIMUM LOT AREA	MINIMUM LOT SIZE	MINIMUM YARD SETBACKS		MAXIMUM BLDG. HEIGHT	P.D. DISTANCE BETWEEN BUILDINGS		
			*FRONT	**REAR (INTERIOR CORNER)				
A	PAD	7,700 S.F.	70' X 110'	15'-23'	15'	35' - 2 story	10'	25'
B	PAD	5,500 S.F.	50' X 110'	15'-23'	15'	35' - 2 story	10'	25'
C	PAD	5,500 S.F.	50' X 110'	15'-23'	15'	35' - 2 story	10'	25'
D	PAD	5,500 S.F.	50' X 110'	15'-23'	15'	35' - 2 story	10'	25'
E	PAD	5,500 S.F.	50' X 110'	15'-23'	15'	35' - 2 story	10'	25'
F	PAD	7,700 S.F.	70' X 110'	15'-23'	15'	35' - 2 story	10'	25'
G	PAD	7,700 S.F.	70' X 110'	15'-23'	15'	35' - 2 story	10'	25'

NOTE:
 PARCEL G WILL BE DEDICATED AS A POTENTIAL ELEMENTARY SCHOOL SITE. (SEE SHEET 2 FOR DESIGN WITH SCHOOL SITE.) THE SITE WILL BE DEVELOPED AS ILLUSTRATED ON SHEET 3 IF THE SCHOOL DOES NOT DEVELOP PARCEL G.
 A LOT MATRIX WILL BE PROVIDED WITH EACH PLAT WHICH DESCRIBES EXACT SQUARE FOOTAGE OF EACH LOT.

- * 15' TO LIVABLE PORTION OF HOME OR FRONT PORCHES. 18' - 23' MIN. TO FRONT LOADED GARAGE. SIDE LOADED GARAGES WILL BE SETBACK 15'.
- ** REAR SETBACKS FOR LOTS BACKING ONTO ARTERIAL OR COLLECTOR ROADWAYS IS 20'
- *** LANDSCAPE TRACTS PROVIDED ADJACENT TO ALL CORNER LOTS. MINIMUM OF 10' TRACTS AND MINIMUM OF 5' BUILDING SETBACK FROM TRACT.
- ****A MINIMUM OF 15' SEPARATION SHALL BE PROVIDED BETWEEN A MULTI-STORY HOME AND ANY OTHER HOME.
- o TWO STORY HOMES ARE NOT ALLOWED ON LOTS LESS THAN 6,000 SQUARE FEET.

TYPICAL STREET SECTIONS



GILA BUTTES

PRELIMINARY DEVELOPMENT PLAN OPTION A - PARCEL G DEVELOPED AS ELEMENTARY SCHOOL

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FAX: 602.973.2258
CONTACT: CRAIG PROUTY

LAND PLANNER

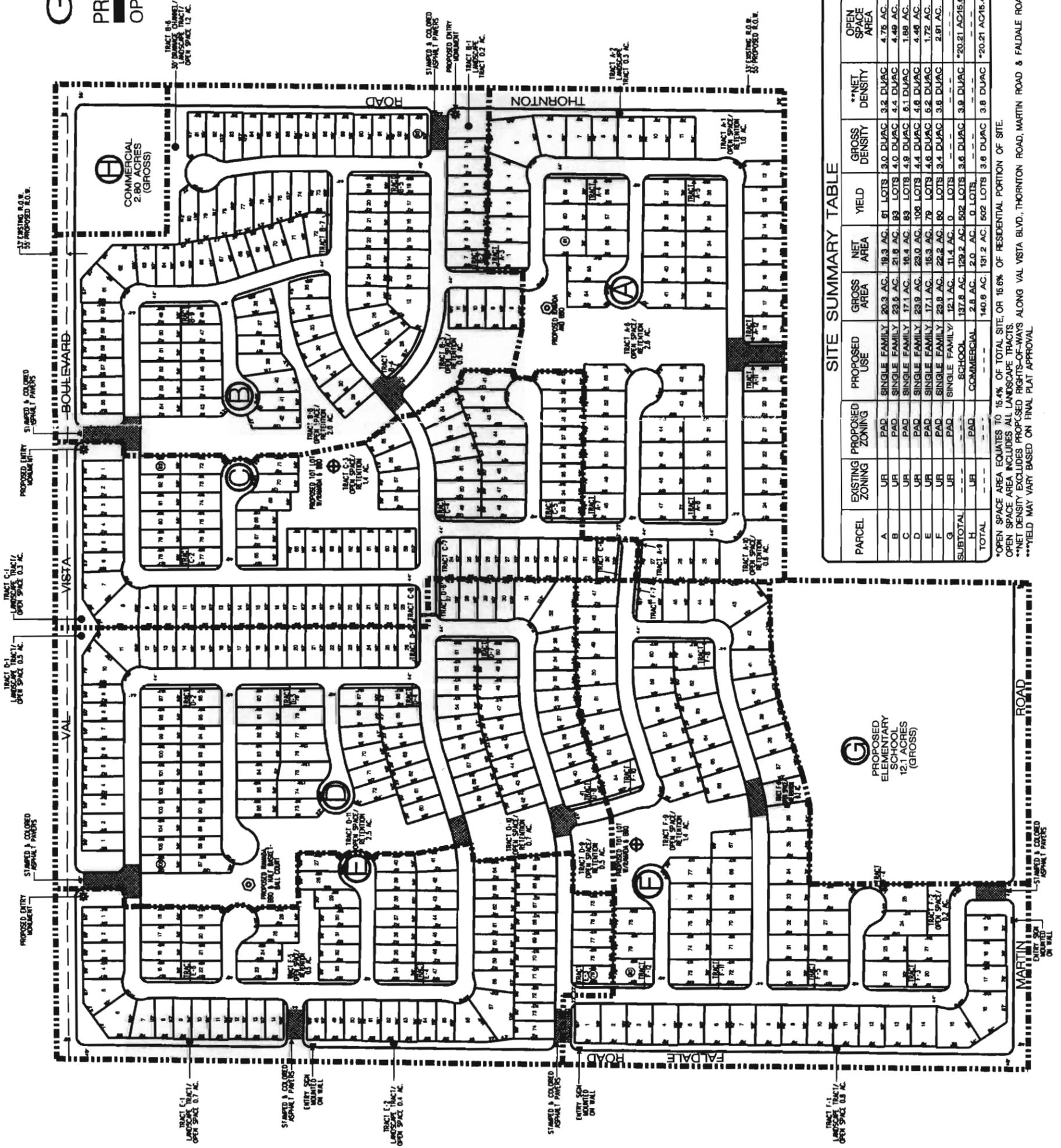
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FAX: 480.315.8698
CONTACT: CHRISTINE TARATSAS, R.L.A.

ENGINEER

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CASA GRANDE, AZ 85222
PHONE: 520.836.5501
FAX: 602.271.9985
CONTACT: BILL COLLINGS, P.E.

LEGEND:

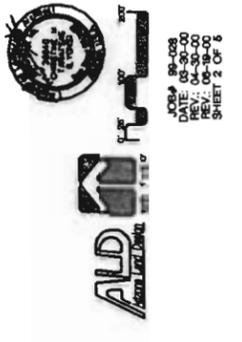
- * ENTRY MONUMENT
- ENTRY SIGN
- ⊕ TOT LOT, BARBEQUE
- ⊙ AND RAMADA
- ⊖ RAMADA & BARBEQUE
- ▨ PAVERS OR STAMPED
- ▩ COLORED ASPHALT



SITE SUMMARY TABLE

PARCEL	EXISTING ZONING	PROPOSED ZONING	PROPOSED USE	GROSS AREA	NET AREA	YIELD	GROSS DENSITY	**NET DENSITY	OPEN SPACE AREA
A	UR	PAD	SINGLE FAMILY	20.3 AC.	18.3 AC.	81 LOTS	3.0 DU/AC	3.2 DU/AC	4.75 AC.
B	UR	PAD	SINGLE FAMILY	23.5 AC.	21.8 AC.	83 LOTS	4.0 DU/AC	4.4 DU/AC	4.49 AC.
C	UR	PAD	SINGLE FAMILY	17.1 AC.	16.4 AC.	83 LOTS	4.9 DU/AC	5.1 DU/AC	1.89 AC.
D	UR	PAD	SINGLE FAMILY	23.0 AC.	23.0 AC.	108 LOTS	4.6 DU/AC	4.6 DU/AC	4.46 AC.
E	UR	PAD	SINGLE FAMILY	17.1 AC.	15.3 AC.	79 LOTS	4.6 DU/AC	4.6 DU/AC	1.72 AC.
F	UR	PAD	SINGLE FAMILY	23.8 AC.	22.2 AC.	80 LOTS	3.4 DU/AC	3.6 DU/AC	2.91 AC.
G	UR	PAD	SINGLE FAMILY	12.1 AC.	11.4 AC.	0 LOTS	---	---	20.21 AC @ 15.6%
H	UR	PAD	SCHOOL	127.8 AC.	129.2 AC.	502 LOTS	3.6 DU/AC	3.9 DU/AC	20.21 AC @ 15.4%
TOTAL	---	---	COMMERCIAL	140.8 AC.	131.2 AC.	502 LOTS	3.6 DU/AC	3.8 DU/AC	20.21 AC @ 15.4%

*OPEN SPACE AREA EQUATES TO 15.4% OF TOTAL SITE, OR 15.6% OF RESIDENTIAL PORTION OF SITE.
 **NET DENSITY INCLUDES ALL LANDSCAPE TRACTS.
 ***NET DENSITY EXCLUDES PROPOSED RIGHTS-OF-WAYS ALONG VAL VISTA BLVD., THORNTON ROAD, MARTIN ROAD & FALDALE ROAD.
 ****YIELD MAY VARY BASED ON FINAL PLAT APPROVAL.



DATE: 05-20-09
 REV: 04-30-09
 REV: 06-09-09
 SHEET 2 OF 8

GILA BUTTES

PRELIMINARY DEVELOPMENT PLAN OPTION B - PARCEL G DEVELOPED AS SINGLE-FAMILY RESIDENTIAL

DEVELOPER / OWNER

DIETZ-CRANE HOMES
AND
WVVB80, L.P.
3612 WEST DUNLAP AVENUE
PHOENIX, ARIZONA 85051
PHONE: 602.973.8632
FAX: 602.973.2258
CONTACT: CRAIG PROUTY

LAND PLANNER

ARIZONA LAND DESIGN
5202 E. OAKHURST WAY
SCOTTSDALE, AZ 85254
PHONE: 480.951.6410
FAX: 480.315.8698
CONTACT:

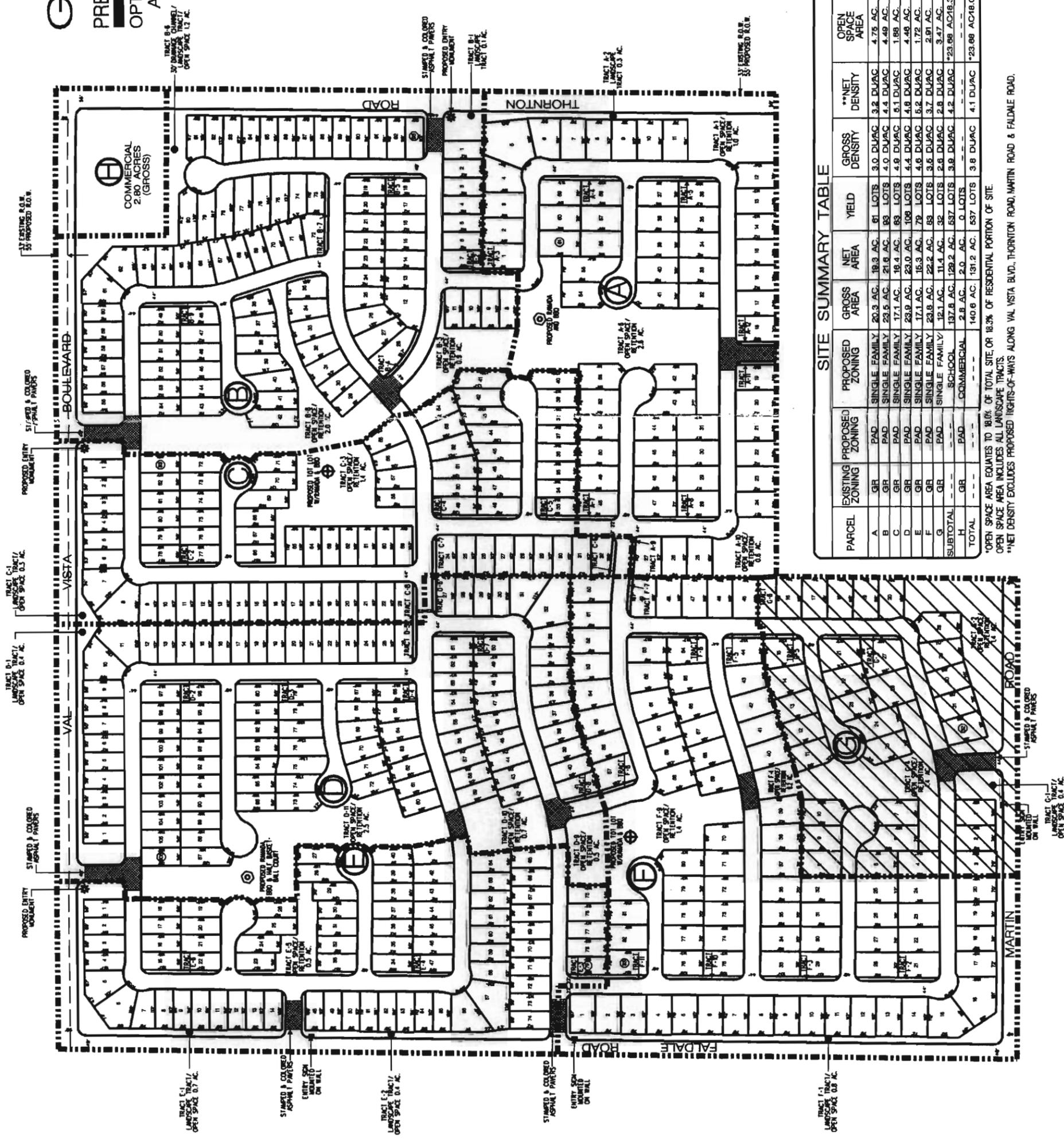
CHRISTINE TARATSAS, R.L.A.

ENGINEER

D.N.A. INCORPORATED
314 EAST 8TH STREET
CASA GRANDE, AZ 85222
PHONE: 520.836.5501
FAX: 602.271.9985
CONTACT: BILL COLLINGS, P.E.

LEGEND:

- ENTRY MONUMENT *
- ENTRY SIGN -
- TOT LOT, BARBEQUE ⊕
- AND RAMADA ⊙
- RAMADA & BARBEQUE ⊕
- PAVERS OR STAMPED [Hatched Box]
- COLORS ASPHALT [Dotted Box]



SITE SUMMARY TABLE

PARCEL	EXISTING ZONING	PROPOSED ZONING	PROPOSED ZONING	GROSS AREA	NET AREA	YIELD	GROSS DENSITY	**NET DENSITY	OPEN SPACE AREA
A	GR	PAD	SINGLE FAMILY	20.3 AC.	18.3 AC.	61 LOTS	3.0 DU/AC	3.2 DU/AC	4.75 AC.
B	GR	PAD	SINGLE FAMILY	23.5 AC.	21.8 AC.	88 LOTS	4.0 DU/AC	4.4 DU/AC	4.49 AC.
C	GR	PAD	SINGLE FAMILY	17.1 AC.	16.4 AC.	89 LOTS	4.9 DU/AC	5.1 DU/AC	1.88 AC.
D	GR	PAD	SINGLE FAMILY	23.9 AC.	23.0 AC.	108 LOTS	4.4 DU/AC	4.8 DU/AC	4.49 AC.
E	GR	PAD	SINGLE FAMILY	17.1 AC.	15.3 AC.	79 LOTS	4.6 DU/AC	5.2 DU/AC	1.72 AC.
F	GR	PAD	SINGLE FAMILY	23.8 AC.	22.2 AC.	83 LOTS	3.5 DU/AC	3.7 DU/AC	2.91 AC.
G	GR	PAD	SINGLE FAMILY	121.4 AC.	114.4 AC.	32 LOTS	2.6 DU/AC	2.8 DU/AC	3.47 AC.
H	GR	PAD	SCHOOL	128.2 AC.	2.8 AC.	0 LOTS	0 DU/AC	0 DU/AC	**23.98 AC/18.3%
SUBTOTAL				140.6 AC.	131.2 AC.	537 LOTS	3.8 DU/AC	4.1 DU/AC	**23.68 AC/18.0%
TOTAL									

*OPEN SPACE AREA EQUATES TO 18.3% OF TOTAL SITE, OR 18.3% OF RESIDENTIAL PORTION OF SITE.
OPEN SPACE AREA INCLUDES ALL LANDSCAPE TRACTS.
**NET DENSITY EXCLUDES PROPOSED RIGHTS-OF-WAYS ALONG VAL VISTA BLVD., THORNTON ROAD, MARTIN ROAD & FALDALE ROAD.



GILA BUTTES WALL EXHIBIT

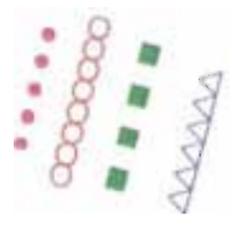
OPTION A - PARCEL G DEVELOPED
AS ELEMENTARY SCHOOL

DEVELOPER / OWNER
DIETZ-CRANE HOMES
AND WYB80 L.P.
3612 WEST DUNLAP
PHOENIX, ARIZONA 85051
PHONE: 602.973.8632
FAX: 602.973.2258

LAND PLANNER
ARIZONA LAND DESIGN
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PHONE: 520.836.5501
FAX: 602.271.9985
CONTACT: BILL COLLINGS, P.E.

- LEGEND:**
- THEME WALL
 - VIEW WALL
 - 8' BLOCK WALL
 - 6' BLOCK SUBDIVISION WALL



JOB# 98-028
REV# 03-30-00
SHEET 4 OF 6

GILA BUTTES WALL EXHIBIT

OPTION A - PARCEL G DEVELOPED
AS ELEMENTARY SCHOOL

DEVELOPER / OWNER

DIETZ-CRANE HOMES
AND WWB80.LP
3612 WEST DUNLAP AVENUE
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PHONE: 602.973.8632
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ARIZONA LAND DESIGN
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SCOTTSDALE, AZ 85254
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FAX: 480.315.8698
CONTACT:

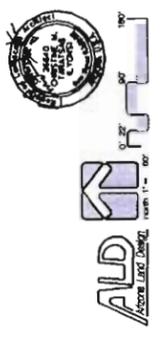
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FAX: 602.271.9985
CONTACT: BILL COLLINGS, P.E.

LEGEND:

- THEME WALL 
- VIEW WALL 
- 8' BLOCK WALL 
- 6' BLOCK SUBDIVISION WALL 



JOB# 99-028
DATE: 03-30-00
SCALE: 1/8" = 1'-0"
SHEET 4 OF 5

GILA BUTTES

TOPOGRAPHICAL EXHIBIT

DEVELOPER / OWNER

DIETZ-CRANE HOMES
AND WYV80, L.P.
3612 WEST DUNLAP AVENUE
PHOENIX, ARIZONA 85051
PHONE: 602.973.8632
FAX: 602.973.2258
CONTACT: CRAIG PROUTY

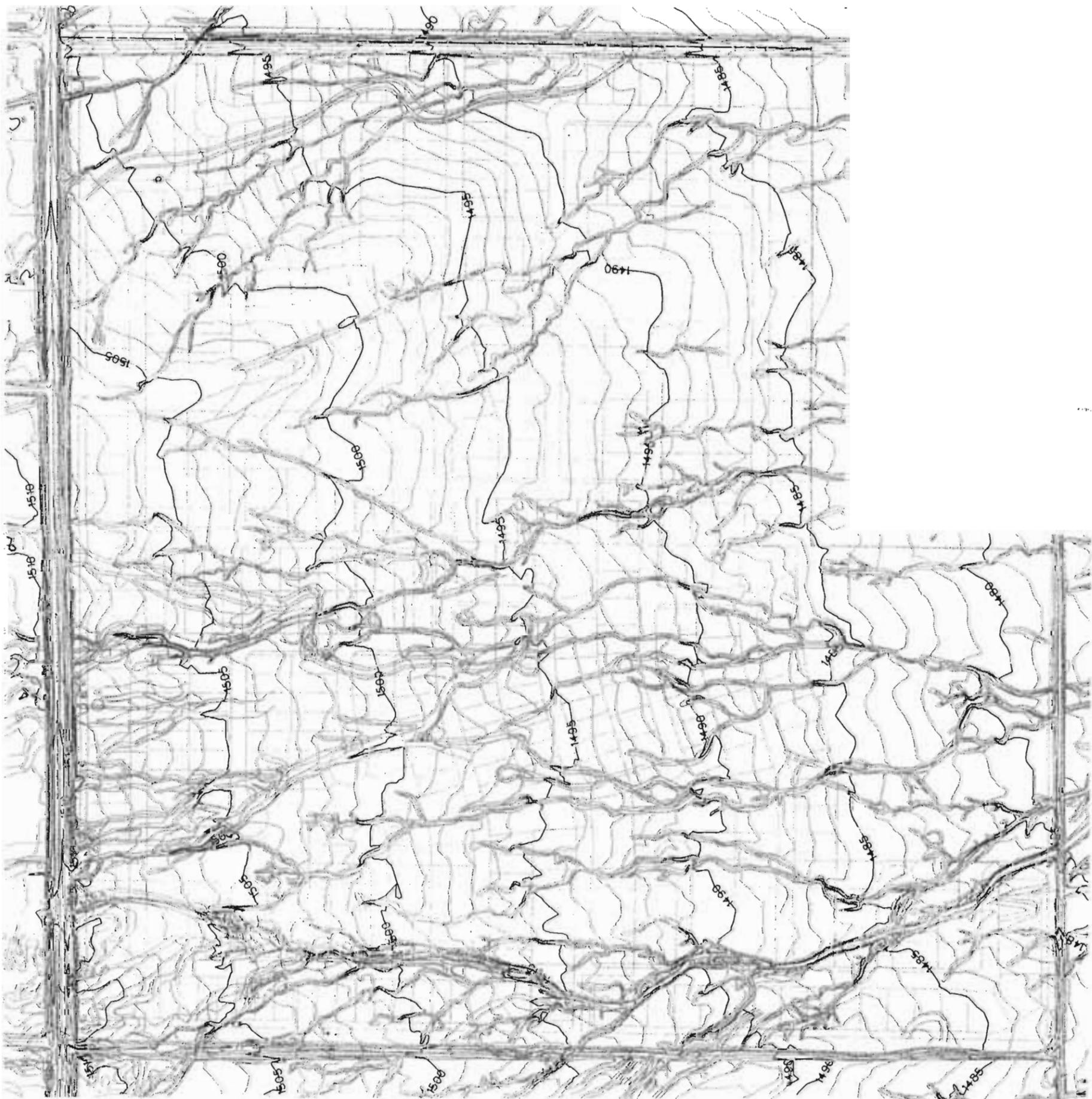
LAND PLANNER

ARIZONA LAND DESIGN
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SCOTTSDALE, AZ 85254
PHONE: 480.951.6410
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PHONE: 520.836.5501
FAX: 602.271.9985
CONTACT: BILL COLLINGS, P.E.



DATE: 05-20-00
REV: 04-20-00
SHEET 5 OF 5

Gila Buttes

**Exhibit B
Legal Description
and
PAD Plat**

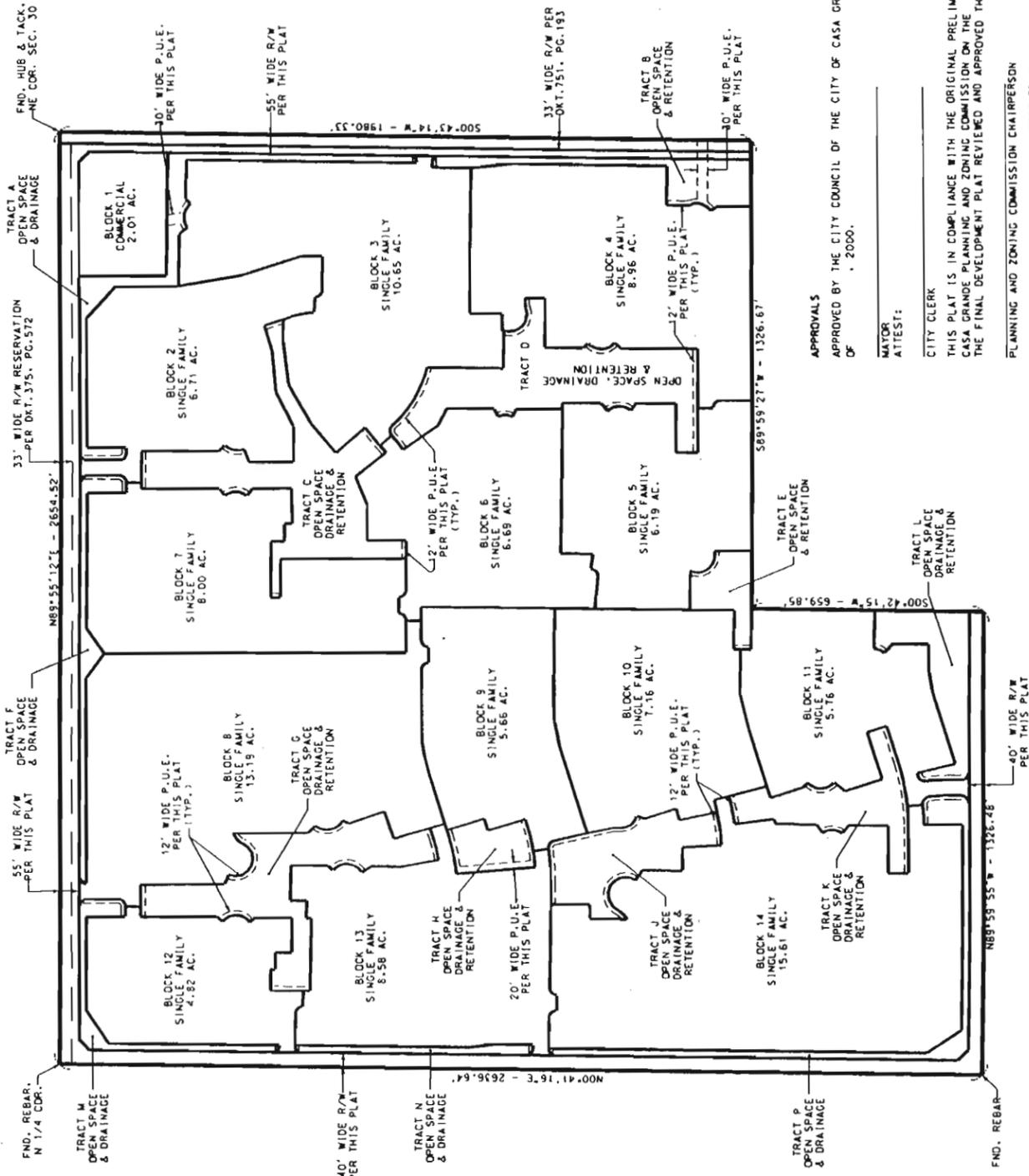
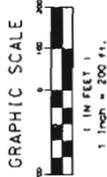
PRELIMINARY DEVELOPMENT PLAT GILA BUTTES

A PLANNED AREA DEVELOPMENT LOCATED OVER A PORTION OF THE NORTHEAST QUARTER OF SECTION 30, T.5.S., R.6.E., GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.

OWNER/DEVELOPER: W VVB 80 LIMITED PARTNERSHIP
C/O DIETZ-CRANE HOMES
3612 W. DUNLAP AVENUE
PHOENIX, AZ 85051

DESCRIPTION	LANDUSE	AREAS (S.F.)	UNITS	DUAL AC.
OPEN SPACE	DRAINAGE/RETENTION	21.26	0.30 FAR	26,267 S.F.
BLOCK 1	COMMERCIAL	2.01		5.51
BLOCK 2	SINGLE FAMILY	6.71		5.35
BLOCK 3	SINGLE FAMILY	10.65		4.02
BLOCK 4	SINGLE FAMILY	8.96		5.23
BLOCK 5	SINGLE FAMILY	6.19		4.04
BLOCK 6	SINGLE FAMILY	6.69		6.00
BLOCK 7	SINGLE FAMILY	8.00		5.61
BLOCK 8	SINGLE FAMILY	13.19		5.83
BLOCK 9	SINGLE FAMILY	5.66		4.19
BLOCK 10	SINGLE FAMILY	7.16		3.82
BLOCK 11	SINGLE FAMILY	5.76		5.39
BLOCK 12	SINGLE FAMILY	4.82		5.59
BLOCK 13	SINGLE FAMILY	8.58		4.36
BLOCK 14	SINGLE FAMILY	15.61		

LEGEND
 SET 5/8" REBAR
 FOUND. SEC. CORNER AS NOTED
 FND 1/2" REBAR



LEGAL DESCRIPTION

THAT PORTION OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID NORTHEAST QUARTER AND THE TRUE POINT OF BEGINNING; THENCE N.89°55'12"E. ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER A DISTANCE OF 2654.52 FEET TO THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE S.00°43'14"W. ALONG THE EAST LINE OF SAID NORTHEAST QUARTER A DISTANCE OF 1980.33 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SAID NORTHEAST QUARTER; THENCE S.89°59'27"W. ALONG SAID NORTH LINE A DISTANCE OF 1326.67 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER; THENCE S.00°42'15"W. ALONG SAID WEST LINE A DISTANCE OF 659.85 FEET TO A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER; THENCE N.89°55'12"E. ALONG SAID SOUTH LINE A DISTANCE OF 1206.41 FEET TO A POINT ON THE WEST LINE OF SAID NORTHEAST QUARTER; THENCE N.00°41'16"E. ALONG SAID WEST LINE A DISTANCE OF 2636.64 FEET TO THE TRUE POINT OF BEGINNING.

DEDICATION

STATE OF ARIZONA)
 COUNTY OF PINAL)

KNOW ALL MEN BY THESE PRESENTS: THAT WVB 80 LIMITED PARTNERSHIP, AN ARIZONA LIMITED PARTNERSHIP, AS OWNER, HAS HEREBY SUBDIVIDED UNDER THE NAME OF GILA BUTTES, A PORTION OF THE NORTHEAST QUARTER OF SECTION 30, T.5.S., R.6.E., GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, AND HEREBY PUBLISHES THIS PLAT OF GILA BUTTES, AND HEREBY DECLARES:

- THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE MEASUREMENTS AND DIMENSIONS OF THE BLOCKS, ROADS AND EASEMENTS SITUATED WITHIN COPPER BUTTES, AND THAT EACH BLOCK AND ROAD SHALL BE KNOWN BY THE NUMBER AS SHOWN ON THE PLAT.
- THAT ALL ROADWAYS SHOWN ON THE PLAT ARE HEREBY DEDICATED FOR ROADWAY PURPOSE, INCLUDING BUT NOT LIMITED TO ACCESS, DRAINAGE, TRANSMISSION LINES, AND PUBLIC UTILITIES.
- THAT UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY GRANTED TO THE PUBLIC AND PRIVATE UTILITY COMPANIES FOR INSTALLATION AND MAINTENANCE OF UTILITIES, DRAINAGE AND RETENTION PURPOSES AND SHALL REMAIN IN PERPETUITY.
- THAT ALL TRACTS AND DRAINAGE EASEMENTS ARE HEREBY GRANTED FOR OPEN SPACE.

WE THE UNDERSIGNED, OUR SUCCESSORS AND ASSIGNS, DO HEREBY SAVE THE CITY OF CASA GRANDE FROM SUCCESSORS AND ASSIGNS OF THEIR EMPLOYEES, OFFICERS AND AGENTS FROM LIABILITY FOR DAMAGES OR LOSSES OF ANY KIND, INCLUDING FLOODING OR DAMAGE CAUSED BY WATER WHETHER SURFACE, FLOOD OR RAINFALL, AND BY REASON OF INGRESS AND EGRESS.

IN WITNESS WHEREOF, WVB 80 LIMITED PARTNERSHIP, AS OWNER HAS EXECUTED THIS SUBDIVISION PLAT THE _____ DAY OF _____, 2000.

BY: LARRY K. YOUNT, MANAGING PARTNER

ACKNOWLEDGMENT

ON THIS, THE _____ DAY OF _____, 2000, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY THE MANAGING PARTNER, LARRY K. YOUNT, WHO ACKNOWLEDGED THAT HE WAS THE MANAGING PARTNER OF WVB 80 LIMITED PARTNERSHIP, AND THAT HE, AS SUCH AN OFFICER, BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING IN THE NAME OF THE PARTNERSHIP AS SUCH OFFICER.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

CERTIFICATE OF COMPLIANCE

DEVELOPMENT OF LAND WITHIN THE GILA BUTTES PLANNED AREA DEVELOPMENT IS TO BE IN ACCORDANCE WITH THE GILA BUTTES DEVELOPMENT GUIDE AS RECORDED WITH THE PINAL COUNTY RECORDER'S OFFICE AND ON FILE WITH THE CITY OF CASA GRANDE PLANNING DEPARTMENT.

100 YEAR WATER SUPPLY

GILA BUTTES SUBDIVISION IS WITHIN AN AREA DESIGNATED AS HAVING AN ASSURED WATER SUPPLY PURSUANT TO A.R.S. 45-576, SUBSECTION E.

CERTIFICATE OF SURVEY

I HEREBY CERTIFY THAT THE SURVEY AND PLATTING OF THE PREMISES DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION DURING THE MONTH OF JANUARY, 2000 AND MONUMENTATION FOUND OR SET IS AS SHOWN HEREON.

WILLIAM E. COLLINGS
 R.L.S. 16601



APPROVED BY THE CITY COUNCIL OF THE CITY OF CASA GRANDE, ARIZONA, THIS _____ DAY OF _____, 2000.

MAYOR _____
 ATTEST: _____
 CITY CLERK _____

THIS PLAT IS IN COMPLIANCE WITH THE ORIGINAL PRELIMINARY DEVELOPMENT PLAN APPROVED BY THE CITY OF CASA GRANDE PLANNING AND ZONING COMMISSION ON THE _____ DAY OF _____, 2000.

THE FINAL DEVELOPMENT PLAT REVIEWED AND APPROVED THIS _____ DAY OF _____, 2000.

PLANNING AND ZONING COMMISSION CHAIRPERSON _____
 DATA ON THIS PLAT REVIEWED AND APPROVED THIS _____ DAY OF _____, 2000, BY THE CITY ENGINEER OF CASA GRANDE, ARIZONA. _____

CITY ENGINEER _____

I CERTIFY THAT IN MY OPINION ALL BLOCKS AND TRACTS WITHIN THE DEVELOPMENT CONFORM TO GOOD LAND PLANNING POLICIES AND ARE SUITABLE FOR THE PURPOSES FOR WHICH THEY ARE INTENDED.

PLANNING DIRECTOR _____
 DATE _____

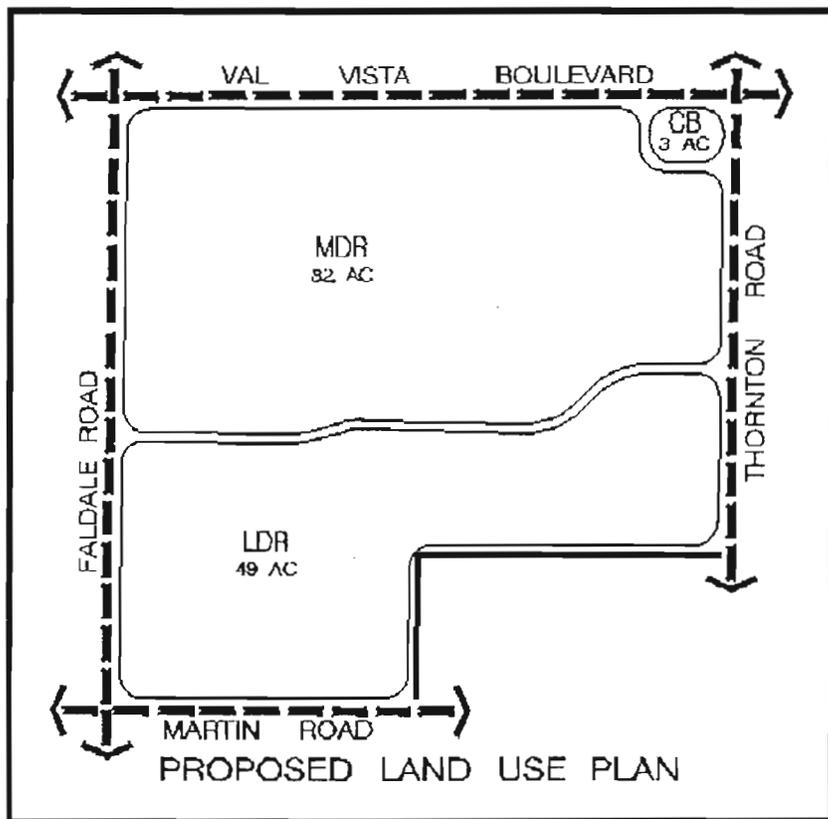
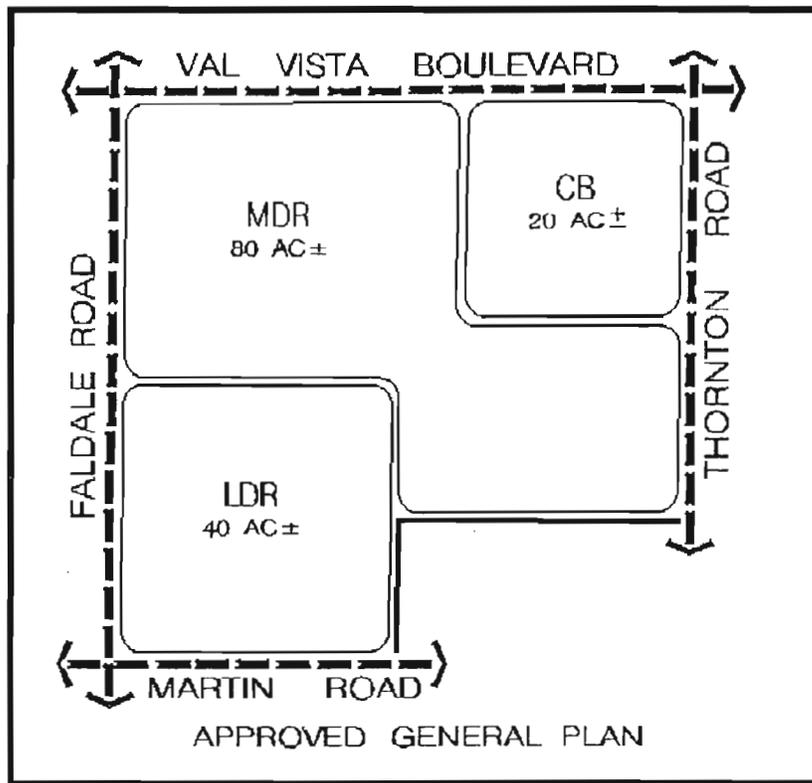
D.N.A. INC.
CIVIL ENGINEERING
LAND SURVEYING

340 E. WILLETTA ST.
 PHOENIX, ARIZONA
 85004
 (602) 271-9811

DRAWN BY: MAN DATE: 3/24/00 JOB: 99-248E SHEET 1 OF 1

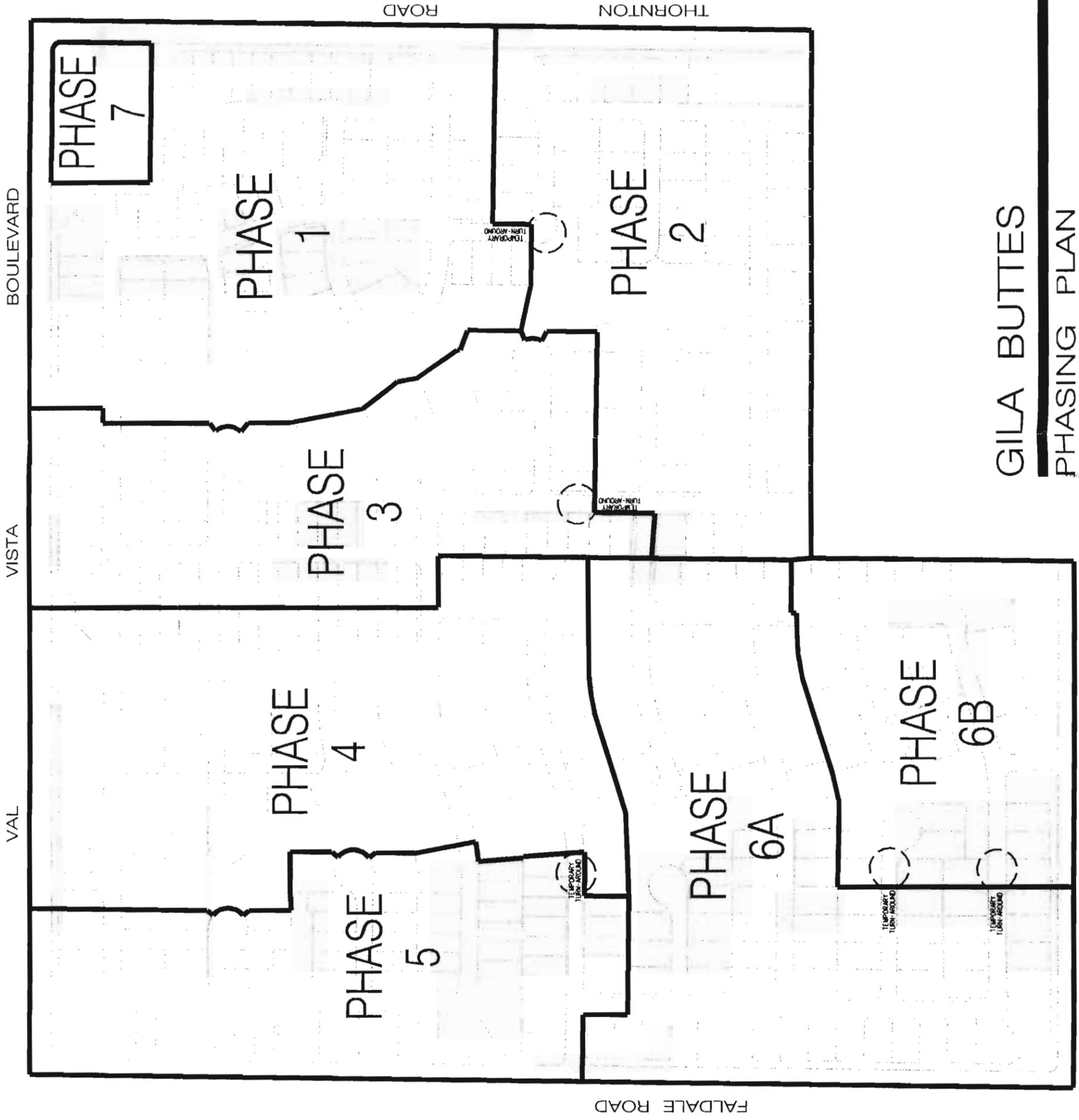
Gila Buttes

Exhibit C Casa Grande Land Use Plan Comparison



Gila Buttes

Exhibit D Phasing Plan and Phasing Schedule



DEVELOPER / OWNER
 DIETZ-CRANE HOMES
 AND WVB80, L.P.
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 PHOENIX, ARIZONA 85051
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 FAX: 602.271.9985
 CONTACT: BILL COLLINGS, P.E.

PHASE	ANTICIPATED CONSTRUCTION DATES
1	2001 - 2003
2	2002 - 2004
3	2003 - 2005
4	2004 - 2006
5	2005 - 2007
6	2006 - 2008
7	2007 - 2010



**GILA BUTTES
 PHASING PLAN**

NOT TO SCALE
 JOB# 99-028
 DATE: 03-30-00
 REV.: 04-30-00
 SHEET 1 OF 1

Gila Buttes

Exhibit E Landscape Master Plan

GILA BUTTES

PRELIMINARY OPEN SPACE

MASTER PLAN

TREES



CERCIDIUM SP.
PROSOPIS SP.
OLNEYA SP.
ACACIA SP.

SHRUBS



TEXAS RANGER
BIRD OF PARADISE
SALVIA
RUELLIA
CASSIA
DALEA
CALLIANDRA
YELLOW BELLS

GROUNDCOVERS/ACCENTS



LANTANA SP.
VERBENA SP.
GAZANIA SP.

YUCCA SP.
BOUGAINVILLEA SP.
AGAVE SP.

TURF AREAS



ALL TURF TO BE SEEDED BERMUUDA

ALL DECOMPOSED GRANITE TO BE 1/2" MINUS OR LARGER "DESERT GOLD"
ALL RIVER ROCK TO BE 6"-8" SALT RIVER TYPE



MACDONALD
MACDONALD
LANDSCAPE ARCHITECTURE

P.O. BOX 4536
PHOENIX, ARIZONA 85016
AZ 85016-0456
AZ 85016-0456 / AZ 85016-0456 / AZ 85016-0456

PLOT DATE 5.13.00

SCALE 25'

M.A. JOB NUMBER 2000045

DRAWN BY RW

LANDSCAPE MASTER PLAN

1/4



Gila Buttes

Exhibit F Community Elements



SEATWALL

INITIAL DEVELOPER SIGNAGE
(FUTURE COMMUNITY BOARD OR REMOVED
AT COMMUNITY COMPLETION)

RAMADA

PICNIC TABLE

BBQ



MACDONALD
LANDSCAPE ARCHITECTURE

100 800 535 8204
PHOTO: 800 535 8204
602 200 9190 VOICE / 602 795 1120 FAX / 602 374 6344 CELL / R1MACR@GMAIL.COM

PLOT DATE 5.15.00

MLA JOB NUMBER 20000045

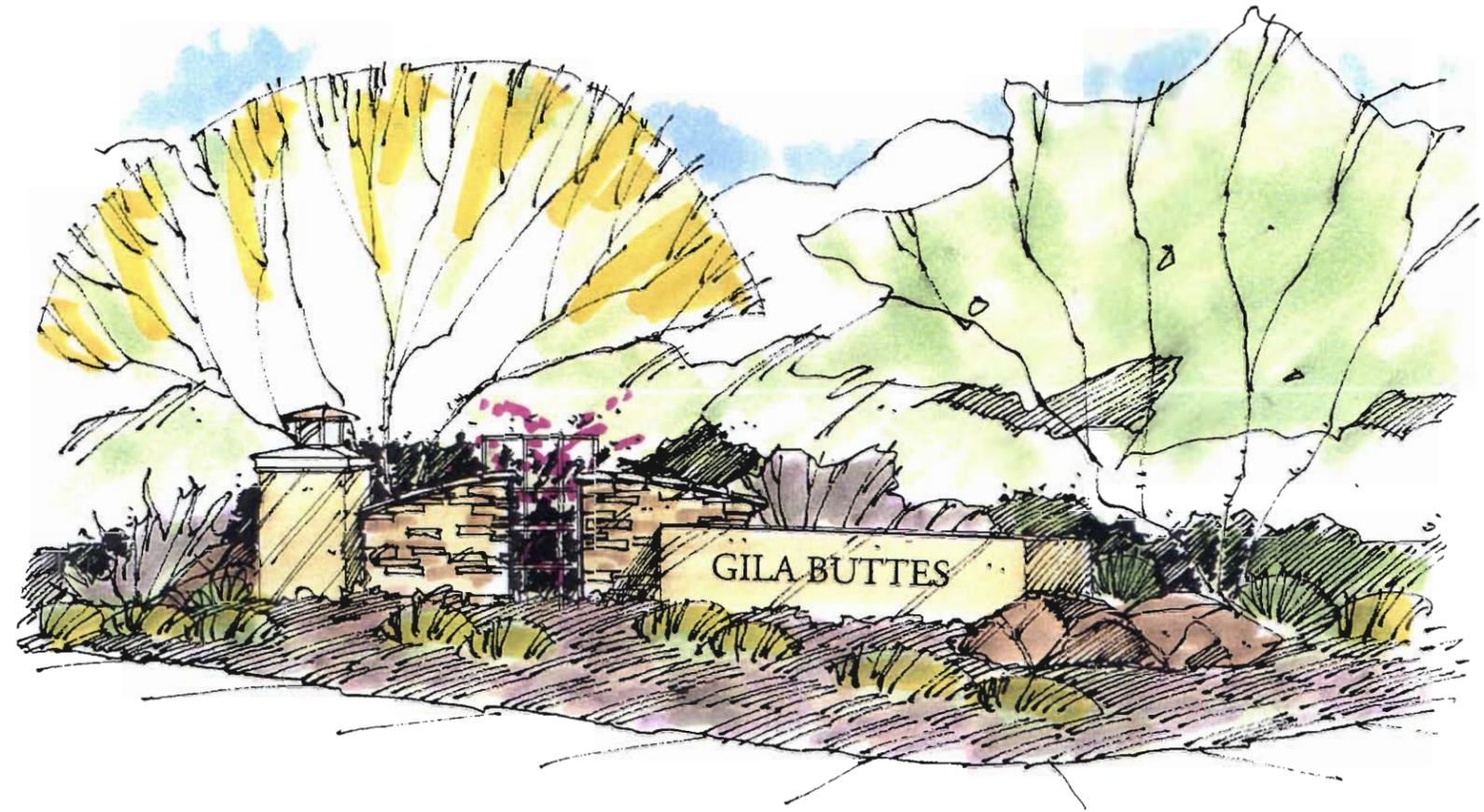
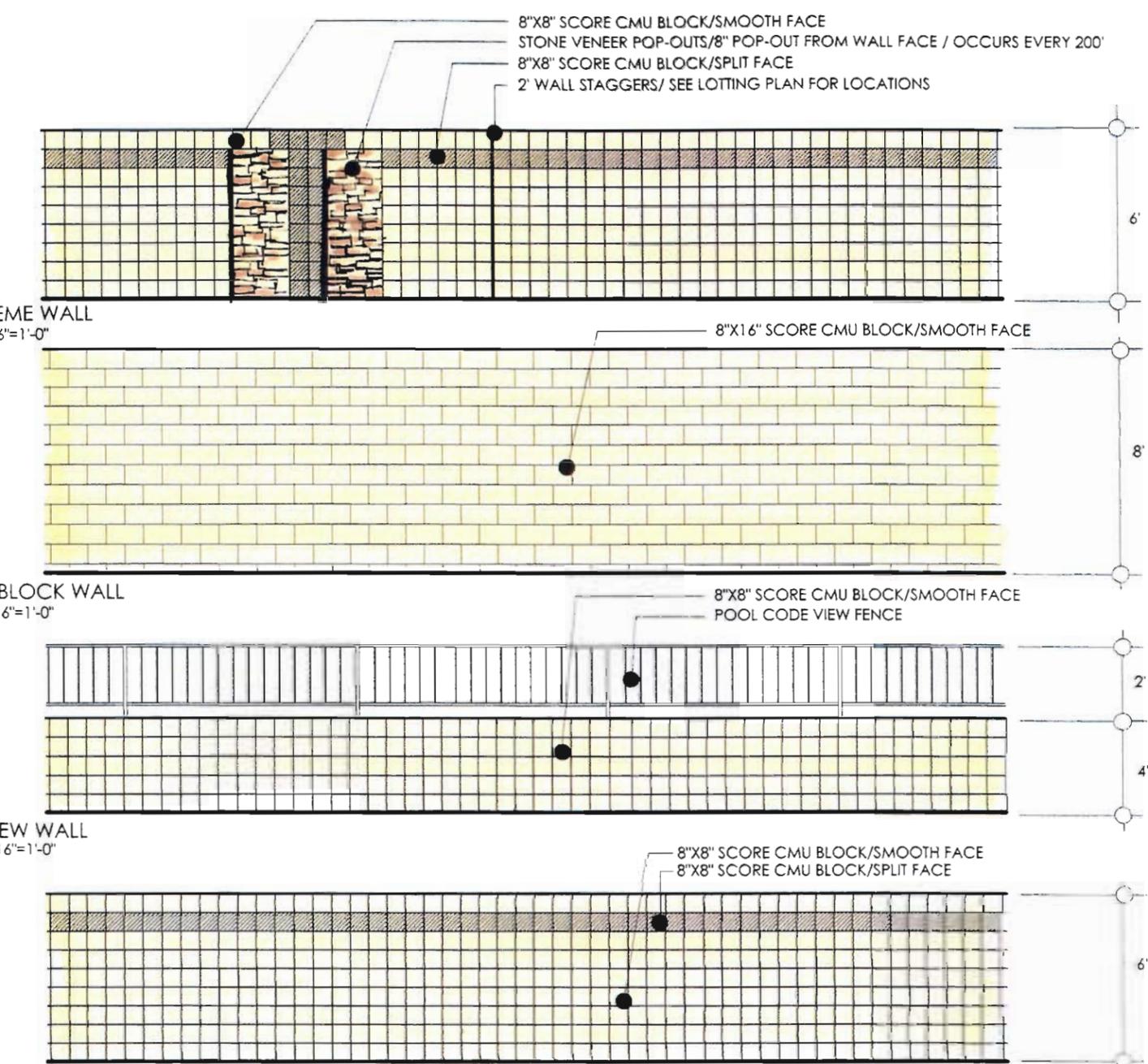
DRAWN BY RM

Gila Buttes

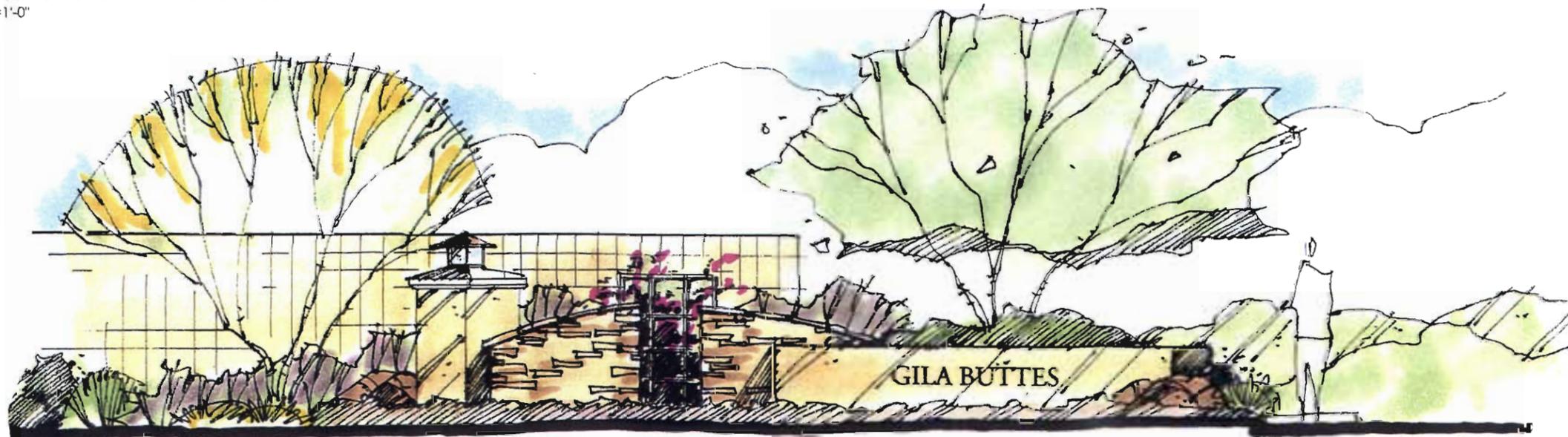
Exhibit G
Walls/Entry Feature

GILA BUTTES

WALLS/ENTRY FEATURE



ENTRY FEATURE PERSPECTIVE



ENTRY FEATURE ELEVATION



P.O. BOX 43338
 PHOENIX, ARIZONA 85064
 602.200.9190 VOICE / 602.751.1130 FAX / 602.521.4344 CELL / R1MAC@MSN.COM

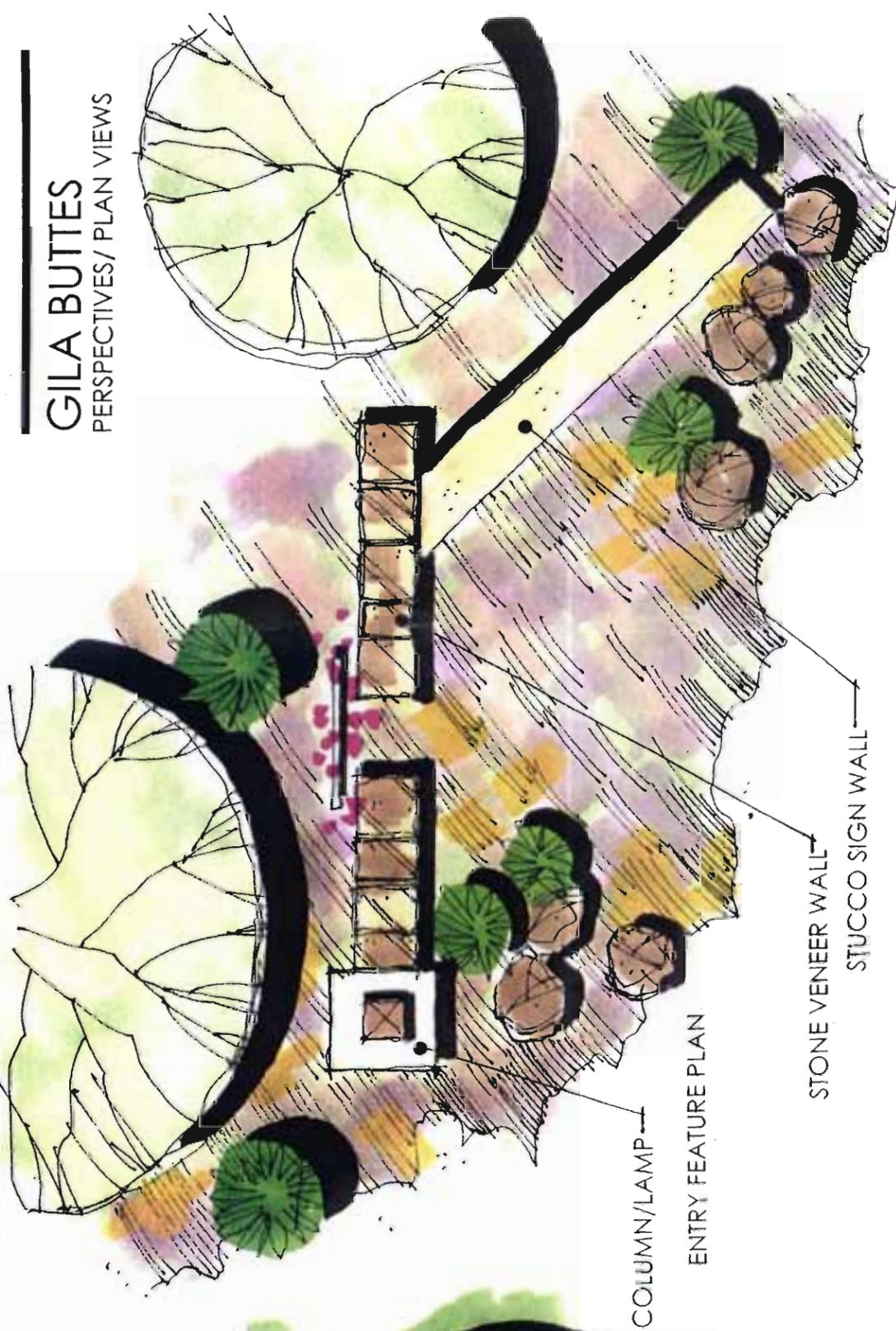
PLOT DATE 5.15.00
 MLA JOB NUMBER 2000045
 DRAWN BY RM

WALLS/ENTRY FEATURE

Gila Buttes

**Exhibit H
Perspectives
and
Plan Views**

GILA BUTTES
PERSPECTIVES / PLAN VIEWS



COLUMN/LAMP
ENTRY FEATURE PLAN

STONE VENEER WALL
STUCCO SIGN WALL



TYPICAL PLAY EQUIPMENT

TOT LOT / PLAN VIEW



TOT LOT / OPEN SPACE PERSPECTIVE



MACDONALD
MACDONALD
LANDSCAPE ARCHITECTURE

602.000.9199 VOICE / 602.751.1130 FAX / 602.528.0344 CT | P: MACDONALD.COM
PLOT DATE 5.15.00
MLA JOB NUMBER 2000045
DRAWN BY RM

PERSPECTIVES/PLAN VIEWS

Gila Buttes

Exhibit I Example Product Floor Plans and Elevations