

# Ghost Ranch



**Final Development Plan  
and  
Development Guide  
for a  
Planned Area Development  
Located East of Pinal Avenue and  
North of Hopi Drive  
City of Casa Grande Case No. CGPZ-57-00**

# **Ghost Ranch**

## **Final Development Plan and Development Guide for a Planned Area Development**

October 2000

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## Final Development Plan and Development Guide for a Planned Area Development

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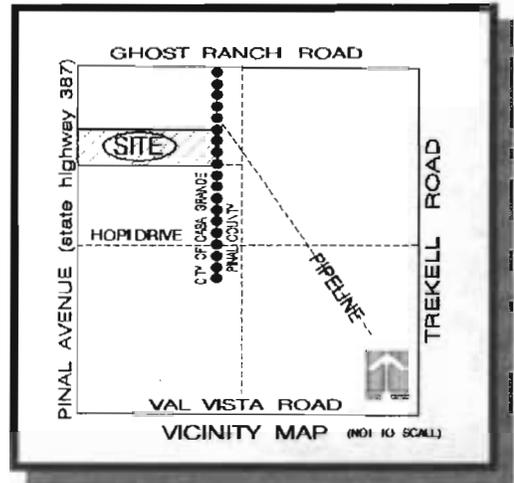
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# Ghost Ranch

## Final Development Plan and Development Guide for a Planned Area Development

### 1.0 Purpose of Request

**Ghost Ranch** is a proposed 32.6-acre residential development located east of Pinal Avenue (State Highway 387) and approximately one-quarter mile north of Hopi Drive. This Development Guide is being submitted to the City of Casa Grande as a supplement to the Planned Area Development Zoning application and is intended to demonstrate the quality of subdivision design and housing product intended for the new community. The development team has designed a high quality, mixed-use community as this document will illustrate.



The purpose of the zoning application is to request a zone change for the **Ghost Ranch** site from UR (General Ranch) to Planned Area Development (PAD) zoning to develop 125 single family residential homes.

### 2.0 Final Development Plan

The developer is proposing a high quality community within the City of Casa Grande. The community will consist of 125 site-built single-family detached lots/homes, along with significant active and passive open space. The proposed land uses and densities reflect the land use designations recently approved within the Casa Grande General Plan.

As reflected in the Casa Grande General Plan, **Ghost Ranch** is designated for Medium-density Residential uses which allows for a density between 4.0 and 12.0 dwelling units

per acre. It is upon these existing and approved land use designations, intensities of use, and densities that this residential development is based.

**Ghost Ranch** consists of 125 single-family lots/homes on approximately 32.6 gross acres for an overall gross density of 3.8 dwelling units per acre. The net acreage is 31.1 acres and a net density of 4.0 dwelling units per acre. Within the Medium-density Residential land use classification, densities for this site could yield between 130 to 391 dwelling units. This project proposes only 125 dwelling units. Lots within **Ghost Ranch** have a minimum size of 5,500 square feet, which provides for minimum dimensions of 50' wide and 110' deep. The average lot size, however, is 6,550 square feet, which is considerably larger than the minimum lot size requested with this application. The maximum size of any lot within the project is 10,187 square feet. Table 1 illustrates the variety of lot sizes proposed for the

Lot Square Footage	Yield	Percentage of Yield
Less than 5,500	0	0%
5,500 – 6,000	53	42.5%
6,000 – 7,000	46	37%
7,000 – 8,000	9	7%
8,000 – 9,000	8	6.5%
9,000 – 10,000	8	6.5%
10,000+	1	0.5%
—	<b>125</b>	<b>100%</b>

project and clearly indicates percentage of lots that are larger than the requested minimum lot size. As Table 1 illustrates, over 57% of the proposed lots are over 6,000 square feet in size and approximately 21% of the lots are over 7,000 square feet in size.

## 2.1 Subdivision Design

Dietz-Crane Home's goal is to design a community with visual interest and distinctive character and identity. The design of the subdivision is critical to the success of a "visually diverse" community. The streets are designed in a discontinuous manner so as to discourage cut-through traffic and to reduce traffic speeds. Particular consideration was given to developing a street layout which would permit fluid traffic movement yet would incorporate passive traffic calming through street geometry. The incorporation of curvilinear streets and short loop roads help to reduce traffic speeds. In addition, the short loop roads help to create mini-neighborhoods within the overall community.

**Ghost Ranch** has been designed with centralized, useable and highly visible open space. To encourage the use and supervision of shared open space areas, many roads

terminate with views into open space areas. The major entry to **Ghost Ranch** from Pinal Avenue is designed with a landscaped median and decorative stamped and colored asphalt pavers to create a sense of arrival to the planned community. In addition, the developer has designed attractive entry monumentation as illustrated within this document. A significant amount of open space is proposed along Pinal Avenue as a buffer between the residential lots and the state highway. The large open space buffer along Pinal Avenue combined with attractive entry monumentation provides an opportunity to establish a precedence by which future residential projects along Pinal Avenue may replicate. All corner lots are designed with a landscape tract adjacent to the street to be maintained by the master homeowner's association. This will improve the overall appearance of the community as well as create a unifying theme.

Details regarding the specific subdivision and home development standards, as well as a discussion of this project's conformance to Casa Grande's PAD Residential Design Standards, are noted in Appendix 'A' to this Development Guide.

## 2.2 Open Space

Over 7 acres of open space is proposed within **Ghost Ranch** to be landscaped as inviting recreational areas and pedestrian corridors. This open space equates to over 23.4% of the project. The open spaces are strategically located for high visibility and serve as pedestrian/bike connections through the site. A significant amount of open space is proposed at the main entry along Pinal Avenue. The main entry into the project terminates with views into open space areas in order to create a dramatic entry to the project. In addition, numerous interior roads and cul-de-sacs terminate with views into open space areas. The open space is centralized as much as possible for maximum use by **Ghost Ranch** residents. These open spaces are connected by a 10-foot multi-use concrete pathway which meanders through the open space corridors. This trail system, which will meet minimum AASHTO standards, serves to physically and visually tie the neighborhoods together as a community. The open space areas are also designed to retain storm water generated on the site as well carry off-site drainage through the site in an aesthetically-pleasing design.

A number of recreational amenities will be provided within the open space areas as illustrated on the site plan and master landscape plan Exhibit 1/4. Proposed amenities are centralized as much as possible to allow accessibility for all residents within **Ghost Ranch**. Amenities include a children's tot lot area with play equipment as illustrated within this document as Exhibit H, three shade ramadas with picnic tables and barbeques and turf areas for passive recreation.

The landscape design concept for the open space areas will include the use of shade trees, shrubs, ground cover, and limited areas of turf for passive recreation. Plant material selections reflect the native vegetation of Arizona and are drought tolerant. Final landscape and amenity plans are subject to review and approval of the City's Planning Director and provide an opportunity to set a design theme for north Pinal Avenue.

The developer will offer to the homebuyer a selection of front yard landscape packages. The front-yard landscaping will be installed by the developer prior to occupancy and will be maintained by the individual homebuyer. Front yard landscape packages will include a variety of water-conserving plants, ground covers, and vines. Turf will not be offered by the developer/homebuilder as a front-yard landscape option. Decomposed granite or river rock will cover all exposed areas. A variety of front yard landscape designs shall be provided to create visual diversity along the street scene. Front yard landscape designs will be presented to the Planning Commission for their review and approval in conjunction with the home elevations.

### **3.0 Relationship to City of Casa Grande General Plan**

The subject site was included as part of a larger General Plan Update and annexation, both of which became effective approximately one year ago, on May 5, 1999. The 32.6-acre site is designated as Medium-Density Single Family Residential within the Casa Grande General Plan which allows 4 - 12 dwelling units per acre. It is upon this existing land use designation, intensity of use, and density that this development is based. It should be noted that this land use designation, as indicated on the approved Casa Grande General Plan, is that was agreed to and approved by the City of Casa Grande to secure the property owner's consent to the annexation of their property into the City of Casa Grande.

As depicted on the Final Development Plan included with this PAD application, land uses and densities are proposed that conform to the MDR land use designation, as noted above, for the applicable portion of the Casa Grande General Plan. The gross density proposed is 3.8 dwelling units per acre and net density is 4.0 dwelling units per acre.

The site is also discussed within City of Casa Grande Municipal Airport – Airport Master Plan, adopted in 1987 and amended in 1998, the site is indicated as likely to develop with residential and commercial land uses similar to those that are requested in this application. The Airport Master Plan indicates that the site is not located within any noise contours. The owner(s) shall record an aviation easement, which shall provide notice of the proximity and activity of the Casa Grande Municipal Airport, on the subject property prior to any transfer of ownership of the subject property. The owner(s) shall disclose to any buyer, including individual residential buyers, the proximity of the Casa Grande Municipal Airport, its runways, and its flight paths. The disclosure will also state the types of aircraft operating at the airport, activity levels at the airport, projected growth figures for the types of aircraft and activity levels at the airport, and the fact that the Casa Grande Municipal Airport operates 24 hours a day each day of the week. The disclosure shall appear in both the Department of Real Estate Public Report and in a separate document acknowledged by each buyer. One copy of said separate document shall be signed by the buyer and shall be sent to the attention of the City of Casa Grande Airport Manager.

#### **4.0 Existing Site Conditions**

As shown on the vicinity map, **Ghost Ranch** consists of approximately 32.6 acres located at east of Pinal Avenue (State Highway 387) and approximately one-quarter mile north of Hopi Drive. The legal description of the project site is attached as Exhibit A. The site is presently undeveloped, with no improvements.

The site drains from northeast to the southwest with an approximate slope of 1.2%. Several minor washes transverse through the eastern portion of the site. These washes have been combined into one main drainage corridor which will be remain as undisturbed as possible and will be utilized for a pathway which may connect to future neighborhoods to the north and south of the project.

## 5.0 Relationship to Surrounding Properties

The primary character of the area is scattered single-family residential uses on one-plus acre lots and vacant desert. The character of the surrounding properties are as follows:

- Areas to the north are scattered single-family residential uses in Pinal County and undeveloped/vacant desert, zoned UR (Urban Ranch) and under the jurisdiction of the City of Casa Grande.
- Areas to the east are undeveloped/vacant desert. All areas to east of **Ghost Ranch** are located within and under the jurisdiction of Pinal County.
- Areas to the south are undeveloped/vacant desert and are zoned R-4 (Mobile Home Residential) and B-2 (General Business) and are located within and under the jurisdiction of the City of Casa Grande.
- Areas to the west of **Ghost Ranch** (across Pinal Avenue) consist of undeveloped/vacant desert located with and under the jurisdiction of the City of Casa Grande.

The City of Casa Grande corporate limits 'run' along the east side of the site which serves as the eastern boundary of **Ghost Ranch**.

## 6.0 Accessibility

The principal access to **Ghost Ranch** will be from Pinal Avenue, which is currently a two-lane paved roadway adjacent to the west boundary of the site. Secondary access to **Ghost Ranch** will be via a future stub street at the east boundary of the project.

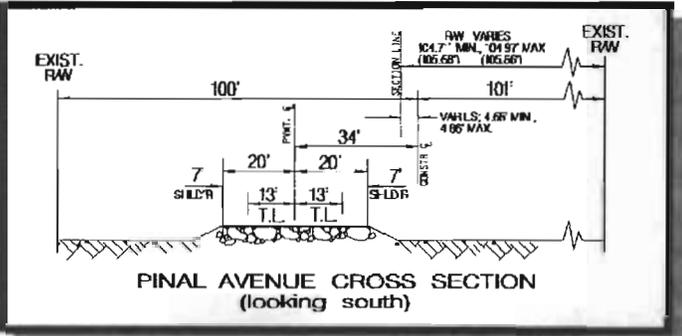
A road and landscape easement for a possible future stub-out local road connection to the south will cover lot 88, as shown on the Final Development Plan. The developer/builder of **Ghost Ranch** will construct/install a local road stub-out and landscaping per City standards within the confines of lot 88 if 1) the property to the south is zoned and/or platted for detached, site-built, single-family homes; and 2) the stub-out is requested by the City Engineer and City Planning Director prior to the issuance of the 50<sup>th</sup> building permit to construct a single-family home within **Ghost Ranch**. The easement will be eliminated and the stub-out will not be required if the above-stated conditions are not met.

## 7.0 Circulation System and Street Improvements

The project site is more than three and a half times longer than it is wide. Lineal sites such as these typically lend themselves to long straight streets subject to higher traffic speeds than would be desirable in a residential setting. To mitigate this situation, particular attention was given to developing a circulation system which would permit relatively fluid traffic movement yet would incorporate passive traffic calming through street geometry. The street system is designed in a manner that will force a left or right turn the mid-point of the site. The decision process and subsequent turning movement will force a speed reduction in the through traffic.

Prior to the approval of any Subdivision Final Plat, a comprehensive traffic study meeting the approval of the City Engineer, will be submitted and reviewed by the City. This study will determine the traffic impact of this project and any need for additional traffic and roadway improvements that the developer will be required to provide and/or be partially financially responsible for based on the amount of traffic generated by **Ghost Ranch**. A Preliminary Traffic Impact Study will be submitted to the City under separate cover.

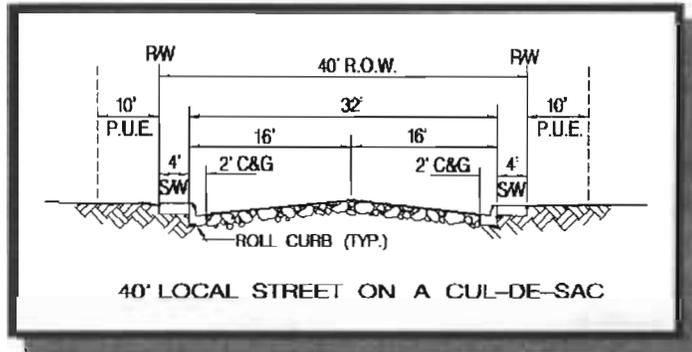
Pinal Avenue rights-of-way dedication and street improvements are existing. The road is currently a two-lane paved roadway adjacent to the west boundary of the site. The following exhibit illustrates the current condition of Pinal Avenue.



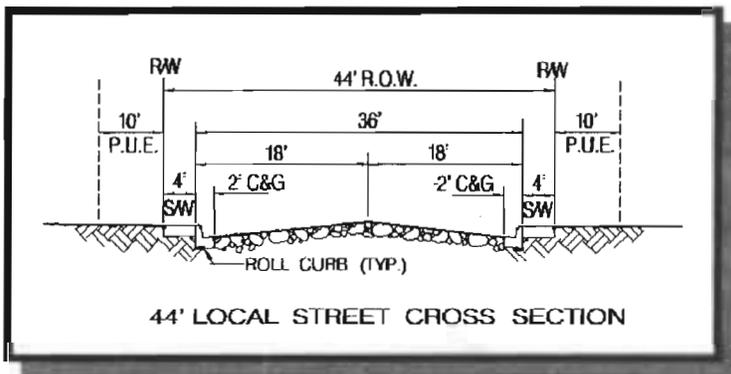
The developer does not anticipate further construction responsibilities except for landscaping of rights-of-way along the east boundary of the roadway and the

installation of a five foot wide concrete sidewalk and curb and gutter as approved by ADOT and the City Engineer. If ADOT does not complete the widening of Pinal Avenue prior to the development of **Ghost Ranch**, the developer/builder will provide a financial assurance to guarantee the future provision of the sidewalk, curb, and gutter. Maintenance of improvements within right-of-way will be the responsibility of ADOT except for the maintenance of landscaping within the right-of-way.

The developer will be responsible for the engineering and construction of local streets and cul-de-sacs within **Ghost Ranch**. They will dedicate 44-foot right-of-way and 40-foot right-of-way respectively as a function of neighborhood traffic



needs. Use of the 40-foot wide right-of-way will be restricted to cul-de-sac streets with limited trip generation characteristics. Local street improvements will include paving, curb, gutter and an attached 4-foot wide sidewalk on both sides of the rights-of-way. Upon completion and acceptance of construction, maintenance of improvements within right-of-way will be the responsibility of the City of Casa Grande.



## 8.0 Public Facilities

Police and fire protection will be provided by the City of Casa Grande. Refuse collection will be provided by the City of Casa Grande.

**Ghost Ranch** is located within both the Casa Grande Elementary School District and the Casa Grande Union High School District. The existing high school facility is located approximately 3 miles to the southeast, at the intersection of McCartney and Trezell Roads. Greg Loper has discussed the pending zoning application and the potential impacts of this development on their respective school systems with both school districts. An elementary school site is proposed within Dietz-Crane's **Gila Buttes** project

located at the southwest corner of Val Vista Boulevard and Thornton Road. As of this date, the developer and the school districts are negotiating the details of the school location and transaction.

This residential development will include usable open space areas and other passive and active recreational activities and amenities as noted previously throughout this document. In addition to these amenities, the Dave White Regional Park is located approximately 3 miles to the south of **Ghost Ranch**. No other public recreational areas or parks exist near the site.

## **9.0 Phasing Plan**

The project will be developed in two phases in accordance with the Phasing Plan as shown on Exhibit C. The phasing schedule is preliminary at this time and is subject to modifications depending on market trends. A more detailed phasing plan, meeting the approval of the City Engineer and Planning Director, will be established during the improvement plan and final plat review process.

## **10.0 Utilities**

Any utilities running through the site or any utilities that need to be relocated for development of the site, will be placed underground except as approved by the City Council. Sewer facilities, street lights, and fire hydrants will be provided according to City of Casa Grande codes and per the recommendations of the Engineering and Fire Departments. Upon completion of construction and acceptance, operation and maintenance of all utilities and facilities will rest with the appropriate operating agency.

### **10.1 Sewer**

The City of Casa Grande's sewer facilities that will serve this site consists of an existing 27-inch sewer line located on the Thornton Road alignment approximately 2 ¾ miles south and one mile of **Ghost Ranch**. The preliminary sewer analysis indicates that the demand generated by **Ghost Ranch** will be satisfied by a 10-inch diameter main with a minimum slope of 0.45 percent. It is the developers intent to construct this 10-inch line south of the existing terminus of the 27-inch main in conjunction with the first phase of this project.

The conceptual sewer collection system is illustrated on the Conceptual Sewer Design Report to be submitted under separate cover. Final Sewer Reports will be submitted for the City Engineer's review and approval prior to City approval of Final Subdivision Plats.

## **10.2 Potable Water**

Potable water for **Ghost Ranch** will be provided by the Arizona Water Company. The company's water system will serve the site with an existing 6-inch water line located in Pinal Avenue at its intersection with Hopi Drive. See Preliminary Water Design Report submitted under separate cover. The developer will provide a 100-year Assured Water Supply Certificate prior to Final Plat approval.

## **10.3 Electrical Power**

Electricity service will be provided by Arizona Public Service Company.

## **10.4 Natural Gas**

Natural gas service will be supplied by Southwest Gas Company.

## **10.5 Telephone**

Telephone services will be provided by U.S. West.

## **10.6 Sanitation**

Waste disposal services will be provided by the City of Casa Grande.

## **11.0 Grading and Drainage Concept**

The grading and drainage concept for **Ghost Ranch** consists of providing retention basins within the proposed open space areas and along the existing wash as required. The property will be graded to drain toward the retention basins. The streets will be designed per the City of Casa Grande criteria to convey all onsite storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. Offsite storm drainage will be accommodated through adequately

designed water conveyance systems. See Conceptual Grading and Drainage Design Report submitted under separate cover. Final drainage and retention reports, meeting the approvals of the City Engineer, will be provided prior to the approval of any Final Subdivision Plats.

The retention basins will be designed as multi-use facilities, combining retention facilities with playground equipment and recreational opportunities. To minimize the disruption of use during and after storms, all playground equipment will be elevated out of the 25-year storm event.

### **12.0 Residential Covenants, Conditions, & Restrictions**

In order to assure residents that their investment in the community and home will endure, **Ghost Ranch** will be controlled by a strong set of Covenants, Conditions, and Restrictions (CC&Rs). The CC&R's will incorporate the design principals as outlined in this document and will promote diversity in home sites, color, texture, and streetscapes, not only from neighborhood to neighborhood but also from neighbor to neighbor.

The CC&R's will be presented to the City Planning Director for review and approval prior to the approval of any Final Subdivision Plats.

### **13.0 Homeowners Association**

A master homeowners association will be formed with the development of **Ghost Ranch** which will maintain all landscape tracts, perimeter walls, stamped asphalt/paver road treatment, and open space areas including drainageways and landscaping within rights-of-ways (except arterial roadway medians). All paver or stamped asphalt treatments shall be maintained by the homeowners association to the City Engineer's satisfaction.

### **14.0 Dietz-Crane Homes**

Dietz-Crane Homes has been recognized as a leader in every aspect of homebuilding. Their reputation for quality, variety, and affordability has put them at the head of the homebuilding industry. They carefully chose the location of their communities and the design of their homes in order to meet the needs of the homebuyer. Because Dietz-

Crane Homes has focused on staying committed to craftsmanship, design and value, they are building some of the finest homes in Arizona.

In addition to home-building and subdivision development, Dietz-Crane Home has extensive experience in commercial center and mixed-use developments. The most recent development of this type is a large commercial center in the City of Peoria, Arizona, which includes a Home Depot, and single-family residential lots.

Dietz-Crane also has extensive experience in Senior-oriented and age-restricted communities, including the recent development of the final phases of the Leisure World development in east Mesa, Arizona.

## **15.0 Development Team**

Dietz-Crane Homes has assembled a development team to design **Ghost Ranch** as a community which carries through the standards they developed for **Copper Vista**, **Copper Buttes**, and **Gila Buttes**. Their goal is to create a community any homebuyer would be proud to live within. A community that attracts, meets the needs of, and is accessible to a variety of homebuyers. The development team consists of the following:

Builder/Owner

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Engineer

**DNA Incorporated**  
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Phone: 520.836.5501

Land Planner

**Arizona Land Design**  
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Phone: 480.951.6410

Zoning Consultant

**Greg Loper, AICP**  
306 West Monte Cristo  
Phoenix, Arizona 85023  
Contact: Greg Loper  
Phone: 602.550.7004

## **16.0 Conclusion**

**Ghost Ranch** is a community that invites its residents to walk, run, ride, play and mingle. The open space areas are strategically located for high visibility and centrally located for high usability. Additional design features such as significant entry monumentation and

attractive perimeter theme wall design as illustrated below combine to create a high quality residential community which Dietz-Crane Homes is proud to develop within the City of Casa Grande.

Development of **Ghost Ranch** will be in accordance with applicable code requirements and ordinances of the City of Casa Grande, the City's Residential Design Standards for PAD's per the approved Development Guide, and any other conditions deemed necessary by the City of Casa Grande Council.

# **Ghost Ranch**

## **Appendix A Residential Development Standards**

# Appendix A

## 1.0 Residential Development Standards

**Ghost Ranch** has been designed to incorporate as many of the City of Casa Grande's Residential Design Standards for Planned Area Developments as possible. The following outlines how the design of **Ghost Ranch** has met or exceeded these standards.

### 1.1 Mandatory PAD Layout and Design Standards

#### 1.1.1 Open Space

Approximately 7.28 acres of open space is to be landscaped as inviting recreational areas and pedestrian corridors. The open space equates to over 23% of both the site. The open space areas are centralized as much as possible to maximize use by all neighborhoods. Every home within **Ghost Ranch** will be within approximately 200 feet of a pathway or open space area which is a quarter of the City recommended distance. As stated previously, a children's play area and three ramadas with picnic tables and barbeques are proposed within the project. A Master Homeowners Association will be formed to maintain all landscape tracts.

The open spaces are strategically located for high visibility and serve as pedestrian/bike pathways through the site. The main entry into the project terminates with views into open space areas in order to create a dramatic entry to the project. In addition, numerous interior roads and a cul-de-sac terminate with views into open space areas. The open space is centralized as much as possible for maximum use by **Ghost Ranch** residents. These open spaces are connected by a 10-foot multi-use concrete pathway which serves to physically and visually tie the neighborhoods together as a community.

The open space areas were designed to retain storm water generated on the site as well carry off-site drainage through the site in an aesthetically-pleasing design. Creatively designed, these retention basins will utilize varied side slopes, varied

plant massing, and curvilinear pedestrian pathways in order to make the basins pleasant open space and recreational areas. At least 15% of the retention basins that are designed for recreational usage will be elevated above the 25-year flood water surface elevation.

### **1.1.2 Additional Requirements for PAD Layout and Design**

The following eight additional development standards will be utilized at **Ghost Ranch**.

- Enhanced subdivision entryway features. The entry monumentation for this project is designed to be in harmony with the three other proposed Dietz-Crane projects within Casa Grande, **Copper Buttes**, **Gila Buttes** and **Copper Vista**. The entry features and perimeter fences for all four projects utilize the same basic building materials and colors in order to create a consistent theme. Attractive entry monumentation as depicted in this document will be installed by the developer and will promote the sense of a high-quality residential community. Stamped and colored asphalt/pavers will be installed at the entry as depicted on the Development Plan. In order to create a sense of arrival, a large open space area is located at the main entry from Pinal Avenue. In addition, the main entry terminates with a view into the major interior open space proposed.
- Curvilinear street system. The project has been designed with a curvilinear street system which follows the natural lay of the land. The streets were designed in a discontinuous manner so as to discourage cut-through traffic and as a traffic slowing measure.
- Stamped asphalt. The developer will provide stamped, colored asphalt/pavers at the entry to the project, street intersections and path crossings in order to create a unifying theme throughout the community.
- Stagger front yard setbacks. The developer proposes to vary the building relationship to the street by providing alternating setbacks on every third or fourth lot with a front-loaded garage. Front-loaded garages will vary in setback from 18 feet to 23 feet. The setback for side-entry garages shall be 15 feet. The proposed homes may include options such as side entry garages and covered front porches that project beyond the face of a front

entry garage. Those projections can vary the streetscape by incorporating setbacks from 15 feet to 23 feet.

- Theme wall design. The theme wall design as depicted in this document illustrates the use of varied material including block, cultured stone and wrought iron. The theme wall will consist of smooth face 8" x 8" scored CMU block with two 8" stone veneer pop-outs located approximately 150 - 200 feet on center. See Wall Exhibit included as Exhibit G of this Development Guide. In addition, the walls will have 2-foot horizontal offsets approximately 100 – 150 feet apart in order to create visual “stagers” in the wall.
- Multi-Use Path. A 10-foot wide concrete path will meander through the development’s proposed open space corridors physically tying the community together as one. The path will meet minimum AASHTO standards. All paths will be covered by a pedestrian public access easement.
- Lot orientation. Many of the lots are oriented in such a way as to provide terminating views onto open space. Lots that back onto these spaces will have view walls as illustrated on the Wall Exhibit of the Preliminary Development Plan.
- Grouped Mail Boxes. Mail gang boxes will be incorporated into a decorative masonry block structure meeting United States Post Office requirements.

## **2.0 Mandatory Residential PAD Architectural Standards**

The residential product for **Ghost Ranch** has not been determined at this time. The elevations and floor plans illustrated in this document are a sample of the type of product Dietz-Crane Homes builds. As illustrated, the homes have architectural diversity while still maintaining a cohesive architectural theme and character. The product Dietz-Crane will build at **Ghost Ranch** will incorporate architectural elements that will help create a diverse and aesthetically pleasing street scene. Product elevations and floor plans will be presented to the City of Casa Grande Planning and Development Department and City Planning and Zoning Commission for review and approval prior to City Council approval of the final subdivision plats.

## 2.1 Elevations and Roofs

- A minimum of six home floor plans, each with three distinct elevations, will be utilized within the project.
- A minimum of three distinct home color schemes will be utilized within the project. Low reflective desert colors (LRV of 50 or less) will be utilized.
- The developer/homebuilder will not allow two similar home elevations to be located on adjacent lots within **Ghost Ranch**. A variety of architectural design features will be incorporated into each home elevation to promote diversity from home to home.
- There will not be any more than three consecutive similar rear home elevations for homes backing on Pinal Avenue.
- A variety of home roofing materials, colors, shapes or textures will be offered. All roofing will be of durable, long-lasting clay or concrete tile roofing material. A minimum of three tile colors will be provided within the project.
- All homes will have front entries. Emphasis will be placed on attracting attention to these entryways instead of the garages.
- All side elevations facing a public right of way will have at least one large (minimum of 20 square feet) window.
- In most instances, front-loaded garages will not extend more than 10 feet beyond the livable portion of the home and will not exceed more than 65% of the front plane of the home.
- The applicant will work with City staff to develop a diverse housing product for the project that includes the use of front court yards, front porches, front and corner side bay windows, and/or Pueblo-style architecture as standard features on at least one of the offered elevations per floor plan.
- Three or more car, front-loaded garages shall not be allowed on any lot that is less than 60 feet wide at the 20-foot front setback line.

## 2.2 Add-ons

Add-on elements such as awnings and carports must be approved by the **Ghost Ranch** Master Homeowner's Association and will be constructed and painted to complement the homes. Carports or any other detached buildings/structures shall only be located within the rear yard. No more than one accessory

buildings/structure per dwelling unit will be allowed. All accessory buildings/structures will be constructed of materials and colors complimentary to the dwelling unit. Accessory buildings/structures will only be located within fenced rear yards and no closer than five feet from any property line or twenty feet from the perimeter of the PAD. Garage conversions shall be prohibited.

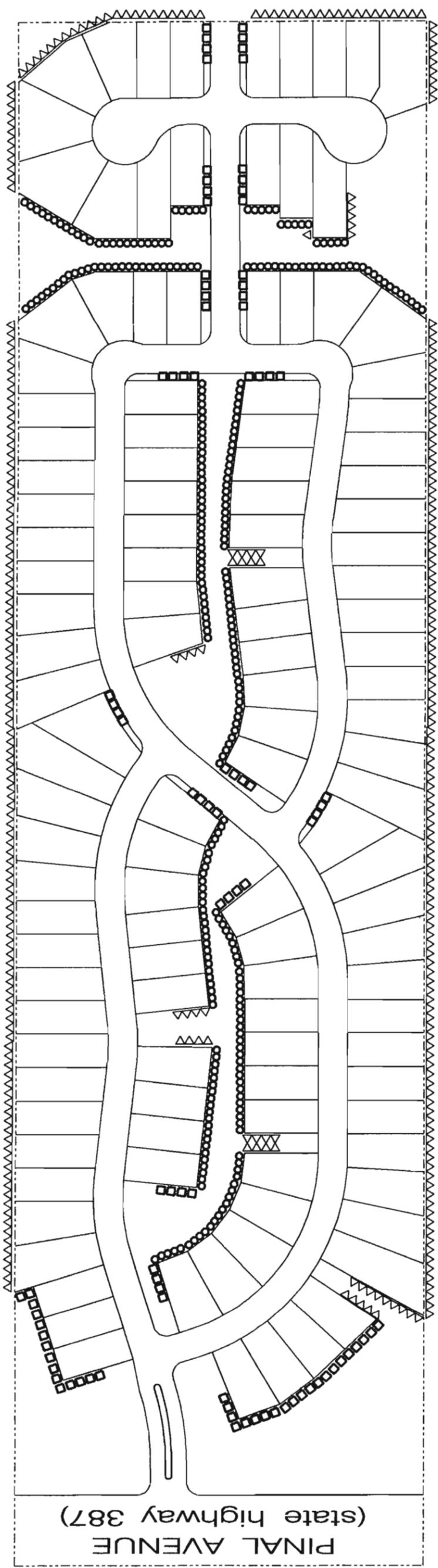
### **3.0 Additional Requirements for PAD Residential Architecture**

A minimum of four of the standards listed below will be mandatory for the developer to implement at **Ghost Ranch**. These additional requirements for PAD residential architecture will be presented to the City Staff and Planning and Zoning Commission for their review and approval prior to approval of the final subdivision plats.

- Incorporate a variety of durable exterior materials and finishes. In addition to tile roofing, materials such as brick, stone, and masonry will be incorporated into the homes.
- Provide significant architectural features, such as covered front entries, front porches, and bay windows on at least fifty percent of the homes.
- Reduce the number of front-loaded garages. Use side-loaded and/or rear yard detached garages on thirty percent or more of the homes.
- De-emphasize front-loaded garages by recessing garage doors, recessing the second story over garages on multi-story homes, providing at least twenty feet of non-garage home frontage, and/or other effective methods.
- Exceed the mandatory requirements for the number of required distinct floor plans, elevations and home color schemes previously stated in this guide.
- Applicant's choice. An opportunity for creativity and design innovation is provided here.

# **Ghost Ranch**

**Exhibit A  
Final Development Plan  
Wall Exhibit  
and  
Topographical Exhibit**



**DEVELOPER / OWNER**

DIETZ-CRANE  
 3612 WEST DUNLAP AVENUE  
 PHOENIX, ARIZONA 85051  
 PHONE: 602.973.8632  
 FAX: 602.973.2258  
 CONTACT: CRAIG PROUTY

**LAND PLANNER**

ARIZONA LAND DESIGN  
 5202 E. OAKHURST WAY  
 SCOTTSDALE, AZ 85254  
 PHONE: 480.951.6410  
 FAX: 480.315.8698  
 CONTACT:  
 CHRISTINE TARATSAS, R.L.A.

**ENGINEER**

D.N.A. INCORPORATED  
 314 EAST 8TH STREET  
 CASA GRANDE, AZ 85222  
 PHONE: 520.836.5501  
 FAX: 602.271.9985  
 CONTACT: BILL COLLINGS, P.E.

**LEGEND:**

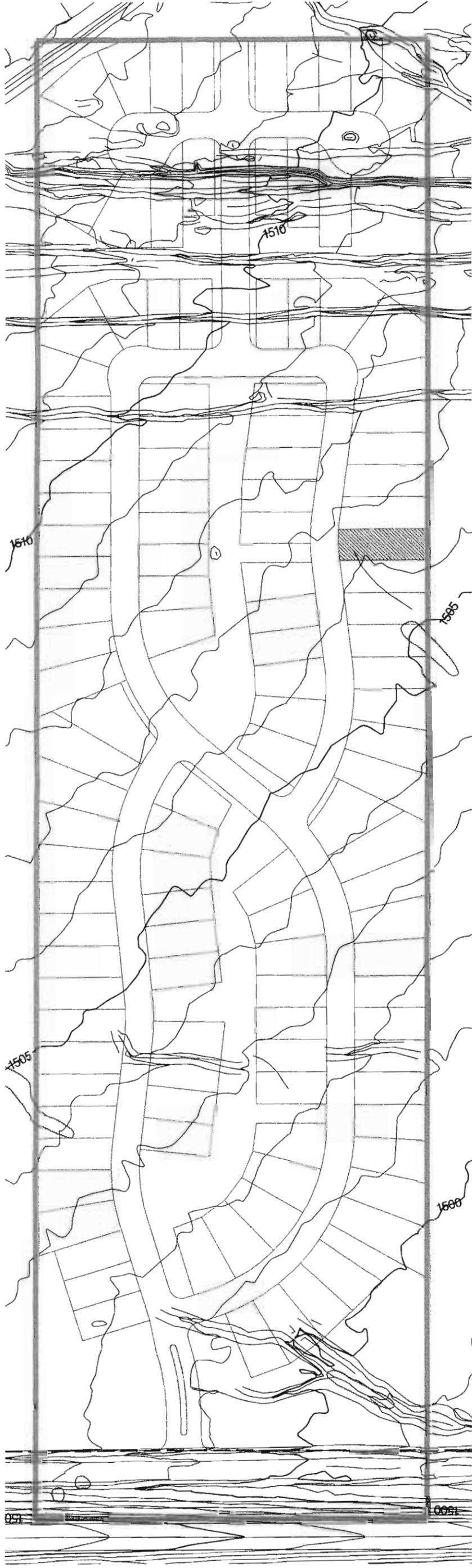
- THEME WALL    □□□□□□
- VIEW WALL    ○○○○○○○○
- 6' BLOCK SUBDIVISION WALL    ▲▲▲▲▲▲

**NOTE:**  
 TYPICAL SIDEYARD SUBDIVISION WALLS  
 WILL EXTEND THE MAJORITY DISTANCE  
 OF THE SIDE OF THE HOME.

ALD  
 ENGINEERING  
 99-027  
 JOB# 08/1500  
 REV: 08/1500  
 REV: 08/1600  
 REV: 10/0900  
 SHEET 2 OF 3

# GHOST RANCH

## WALL EXHIBIT



**DEVELOPER / OWNER**

DIETZ-CRANE  
 3612 WEST DUNLAP AVENUE  
 PHOENIX, ARIZONA 85051  
 PHONE: 602.973.8632  
 FAX: 602.973.2258  
 CONTACT: CRAIG PROUTY

**LAND PLANNER**

ARIZONA LAND DESIGN  
 5202 E. OAKHURST WAY  
 SCOTTSDALE, AZ 85254  
 PHONE: 480.951.6410  
 FAX: 480.315.8698  
 CONTACT:

CHRISTINE TARATSAS, R.L.A.

**ENGINEER**

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 314 EAST 8TH STREET  
 CASA GRANDE, AZ 85222  
 PHONE: 520.836.5501  
 FAX: 602.271.9985  
 CONTACT: BILL COLLINGS, P.E.



JOB# 99-027  
 DATE: 04/18/00  
 REV.: 100900  
 SHEET 3 OF 3



# GHOST RANCH

## TOPOGRAPHICAL EXHIBIT

# **Ghost Ranch**

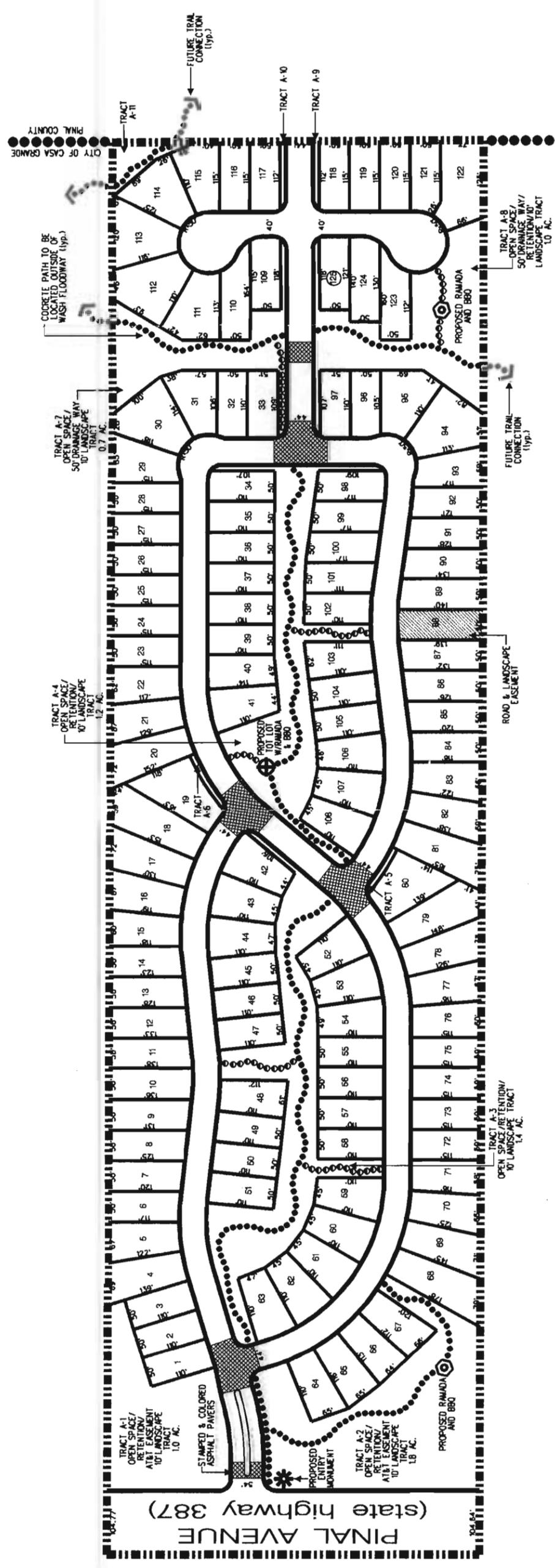
## **Exhibit B Legal Description and PAD Plat**



# **Ghost Ranch**

## **Exhibit C Casa Grande Land Use Plan**

PINAL AVENUE (state highway 387)



**RESIDENTIAL DEVELOPMENT GUIDELINES**

PROPOSED ZONING	MINIMUM LOT AREA	MINIMUM YARD SETBACKS	MAXIMUM BLDG. HEIGHT	MAXIMUM LOT COVERAGE	MINIMUM DISTANCE BETWEEN BUILDINGS	P.A.D.
P.A.D.	5,500 S.F.	5' FRONT, 15' REAR, 15' SIDE (INTERIOR) (CORNER)	35' - 2 story	50%	10'	25'

\* 15' TO LIVABLE PORTION OF HOME OR COVERED PORCHES. 18' - 23' MIN. TO FRONT LOADED GARAGE. SIDE LOADED GARAGES WILL BE SETBACK 15'.  
 \*\* LANDSCAPE TRACTS PROVIDED ADJACENT TO ALL CORNER LOTS. MINIMUM OF 10' TRACTS AND MINIMUM OF 5' BUILDING SETBACK FROM TRACT.  
 \*\*\*A MINIMUM OF 15' SEPARATION SHALL BE PROVIDED BETWEEN A MULTI-STORY HOME AND ANY OTHER HOME.

TWO STORY HOMES ARE NOT ALLOWED ON LOTS LESS THAN 6,000 SQUARE FEET. A LOT MATRIX WILL BE PROVIDED WITH EACH PLAT WHICH DESCRIBES EXACT SQUARE FOOTAGE OF EACH LOT.

TRACT	AREA	PROPOSED USE
A-1	1.0 AC.	RETENTION/OPEN AT&T SPACE/ESMT
A-2	1.8 AC.	RETENTION/OPEN AT&T SPACE/ESMT
A-3	1.4 AC.	RETENTION/OPEN SPACE
A-4	1.2 AC.	RETENTION/OPEN SPACE
A-5	.02 AC.	10' SIDE YARD LANDSCAPE TRACT
A-6	.02 AC.	10' SIDE YARD LANDSCAPE TRACT
A-7	0.7 AC.	50' DRAINAGE WAY/O.S./RETENTION
A-8	1.0 AC.	10' SIDE YARD LANDSCAPE TRACT
A-9	.02 AC.	10' SIDE YARD LANDSCAPE TRACT
A-10	.02 AC.	10' SIDE YARD LANDSCAPE TRACT
A-11	0.1 AC.	GAS EASEMENT/OPEN SPACE
<b>PARCEL A TOTAL</b>		<b>7.28 ACRES</b>

SITE DATA	
EXISTING ZONING	UR
PROPOSED ZONING	PAD
PROPOSED USE	SINGLE FAMILY
GROSS AREA	32.6 AC.
NET AREA	31.1 AC.
YIELD	125 LOTS
LOT SIZE	50' X 110'
GROSS DENSITY	3.8 DU/AC
**NET DENSITY**	4.0 DU/AC
OPEN SPACE AREA	7.28 AC.
*OPEN SPACE AREA EQUATES TO 23.4% OF TOTAL SITE. OPEN SPACE AREA INCLUDES ALL LANDSCAPE TRACTS, WASHES & GAS EASEMENTS. **NET DENSITY EXCLUDES PROPOSED RIGHTS-OF-WAY ALONG PINAL AVENUE	

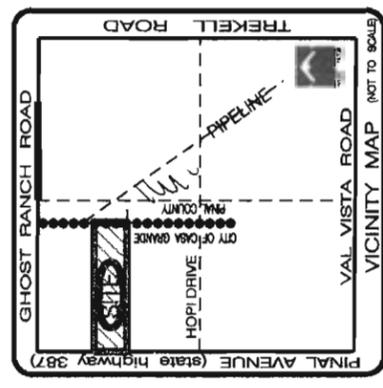
- LEGEND:**
- ENTRY MONUMENT
  - TOT LOT, BARBEQUE AND RAMADA
  - FAMADA & BARBEQUE
  - 10' CONCRETE MULTI-USE TRAIL
  - 5' CONCRETE WALKWAY

**FINAL DEVELOPMENT PLAN FOR GHOST RANCH**

**DEVELOPER / OWNER**  
 DIETZ-CRANE  
 3612 WEST DUNLAP AVENUE  
 PHOENIX, ARIZONA 85051  
 PHONE: 602.973.8632  
 FAX: 602.973.2258  
 CONTACT: CRAIG PROUTY

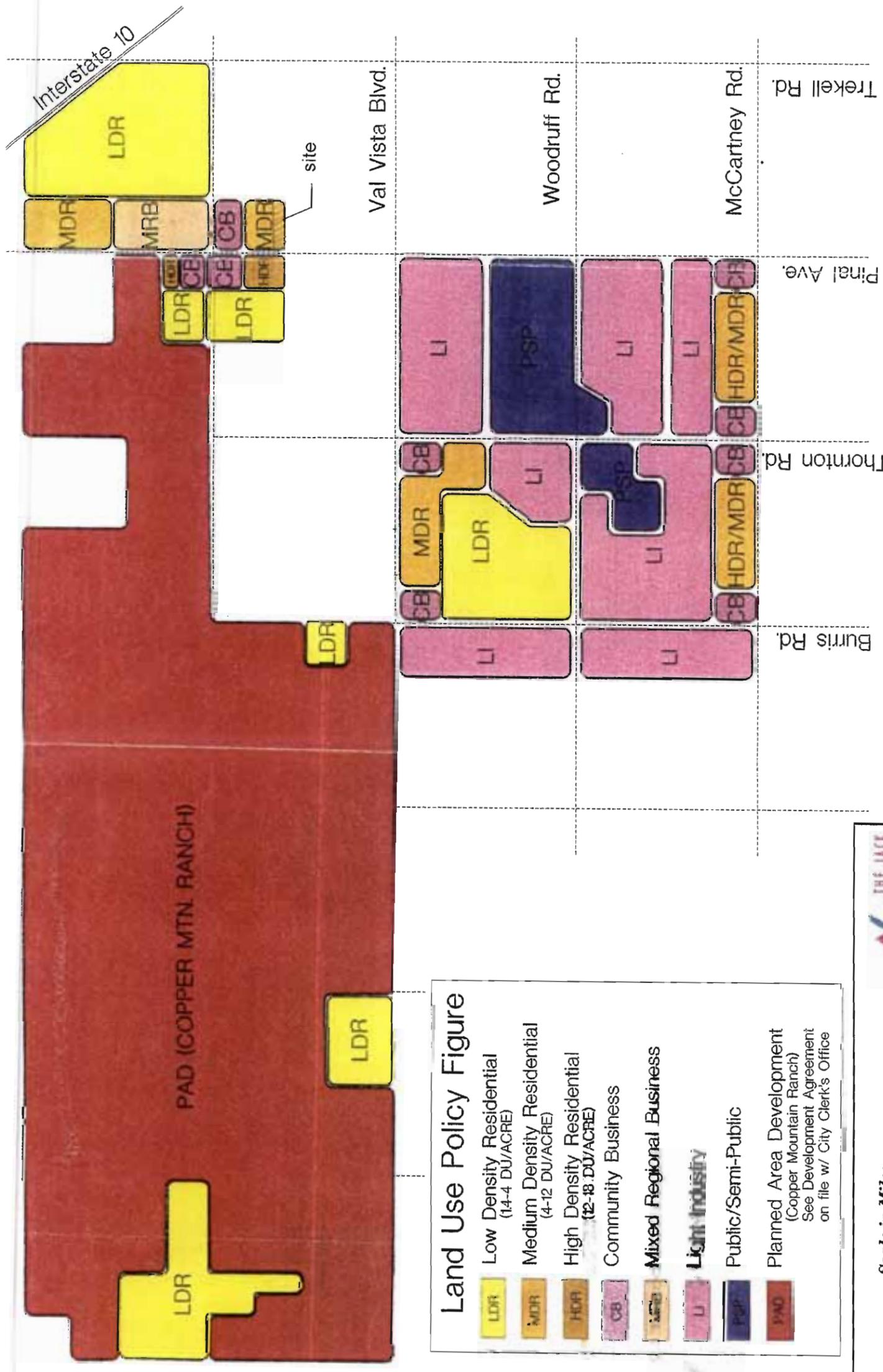
**LAND PLANNER**  
 ARIZONA LAND DESIGN  
 5202 E. OAKHURST WAY  
 SCOTTSDALE, AZ 85254  
 PHONE: 480.951.6410  
 FAX: 480.315.8698  
 CONTACT:

**ENGINEER**  
 CHRISTINE TARATSAS, R.L.A.  
 D.N.A. INCORPORATED  
 314 EAST 8TH STREET  
 CASA GRANDE, AZ 85222  
 PHONE: 520.836.5501  
 FAX: 602.271.9985  
 CONTACT: BILL COLLINGS, P.E.



A portion of the west half & northwest & northeast quarter of Section 21, T. 5 S., R. 6 E., G&SRM, Pinal County, Arizona

**ALD**  
 ENGINEERING & ARCHITECTURE  
 1101 N. 1ST ST.  
 PHOENIX, AZ 85006  
 PHONE: 602.252.1100  
 FAX: 602.252.1100  
 REV.: 06/18/00  
 REV.: 10/09/00  
 SHEET 1 OF 3



**Land Use Policy Figure**

	Low Density Residential (14-4 DU/ACRE)
	Medium Density Residential (4-12 DU/ACRE)
	High Density Residential (12-18 DU/ACRE)
	Community Business
	Mixed Regional Business
	Light Industry
	Public/Semi-Public
	Planned Area Development (Copper Mountain Ranch) See Development Agreement on file w/ City Clerk's Office

**THE JACK JOHNSON COMPANY**  
  
 1777 East Main Street  
 Suite 200  
 Flagstaff, AZ 86001  
 Phone: (908) 754-1111

**Scale in Miles**

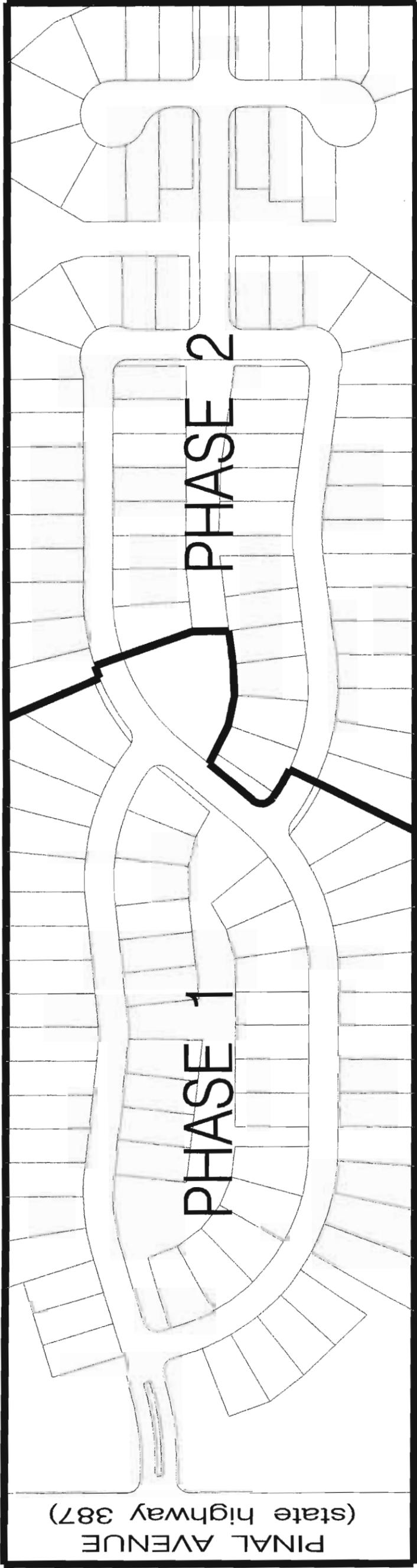
0 0.5 1.0 1.5 2.0

# CASA GRANDE

General Plan Update Page 2

# **Ghost Ranch**

## **Exhibit D Phasing Plan and Phasing Schedule**



PINAL AVENUE  
(state highway 387)

PHASE 1

PHASE 2

PHASING SCHEDULE	
PHASE	ANTICIPATED CONSTRUCTION DATES
1	2001 - 2003
2	2002 - 2004

**DEVELOPER / OWNER**  
DIETZ-CRANE  
3612 WEST DUNLAP AVENUE  
PHOENIX, ARIZONA 85061  
PHONE: 602.973.8632  
FAX: 602.973.2258  
CONTACT: CRAIG PROUTY

**LAND PLANNER**  
ARIZONA LAND DESIGN  
5202 E. OAKHURST WAY  
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CASA GRANDE, AZ 85222  
PHONE: 520.836.5901  
FAX: 602.271.9985  
CONTACT: BILL COLLINGS, P.E.



JOB# 99-027  
DATE 04/05  
SHEET 1 OF 1

# GHOST RANCH

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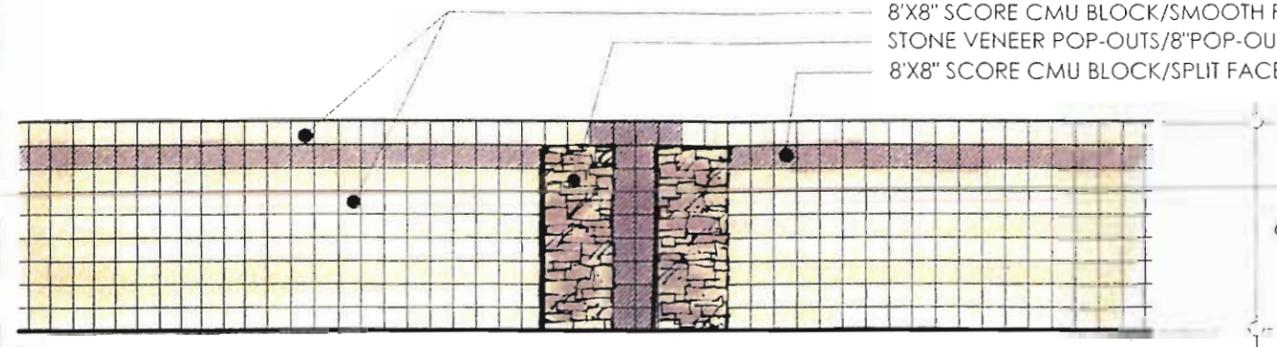
## PHASING PLAN

# **Ghost Ranch**

## **Exhibit E Landscape Master Plan**

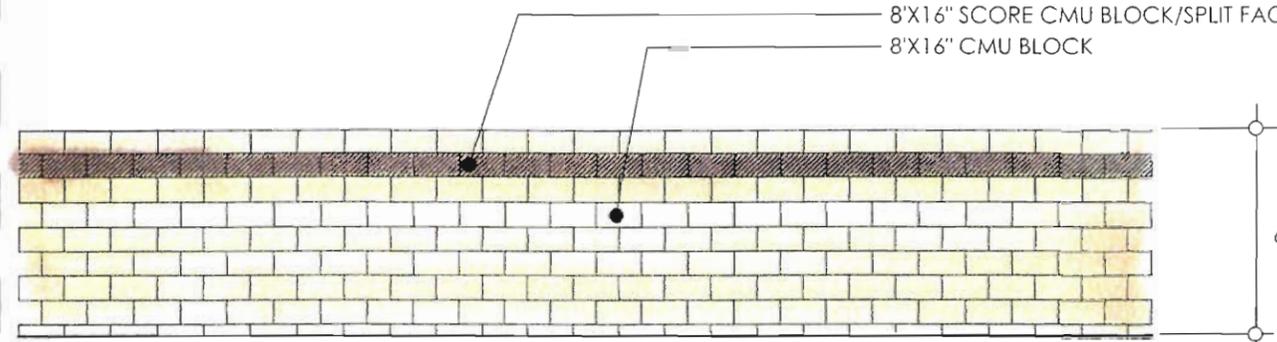
# GHOST RANCH WALLS/ENTRY FEATURE

8'X8" SCORE CMU BLOCK/SMOOTH FACE  
 STONE VENEER POP-OUTS/8" POP-OUT FROM WALL FACE/OCCURS EVERY 200'  
 8'X8" SCORE CMU BLOCK/SPLIT FACE



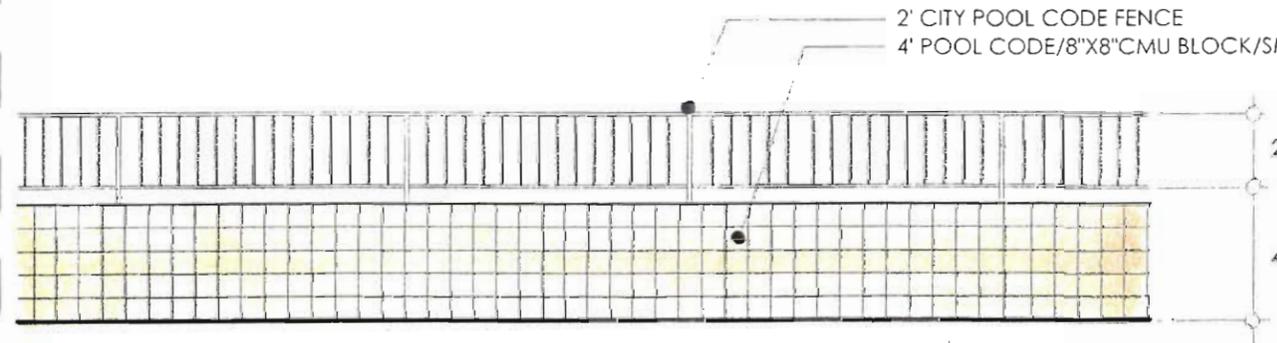
THEME WALL  
 3/16"=1'-0"

8'X16" SCORE CMU BLOCK/SPLIT FACE  
 8'X16" CMU BLOCK



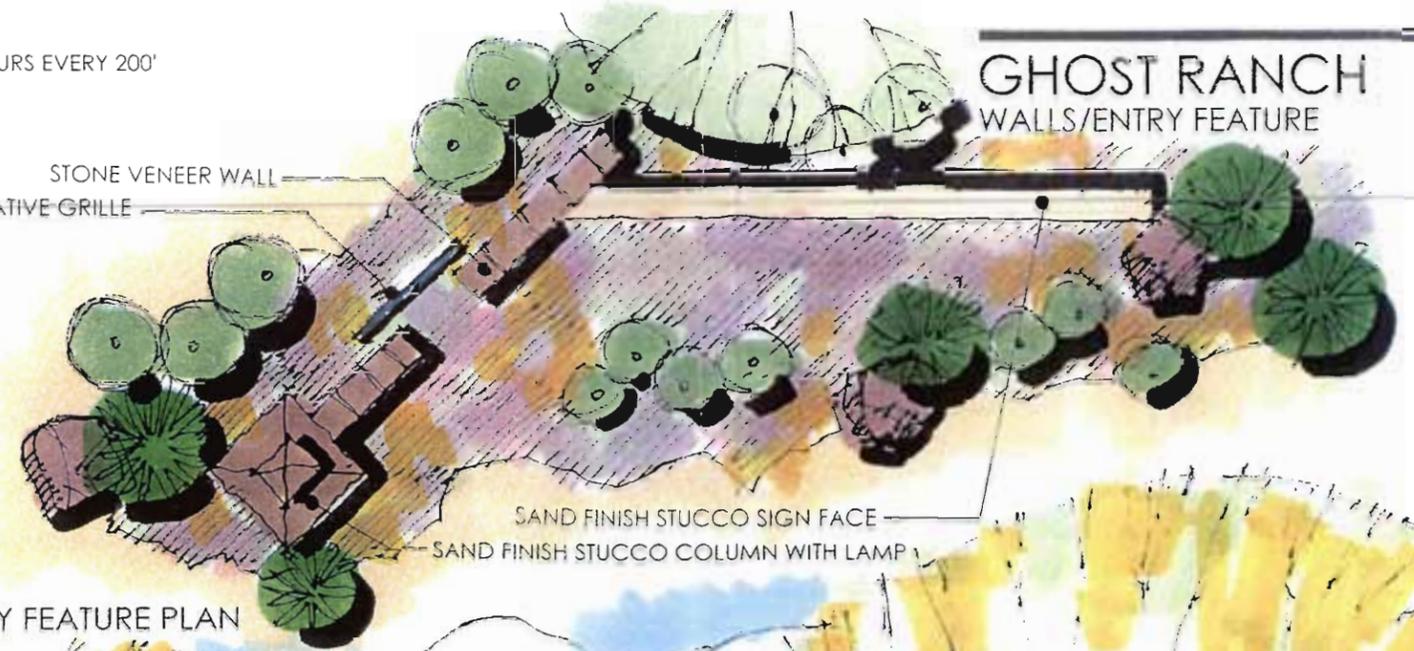
SUBDIVISION WALL  
 3/16"=1'-0"

2' CITY POOL CODE FENCE  
 4' POOL CODE/8'X8" CMU BLOCK/SMOOTH FACE

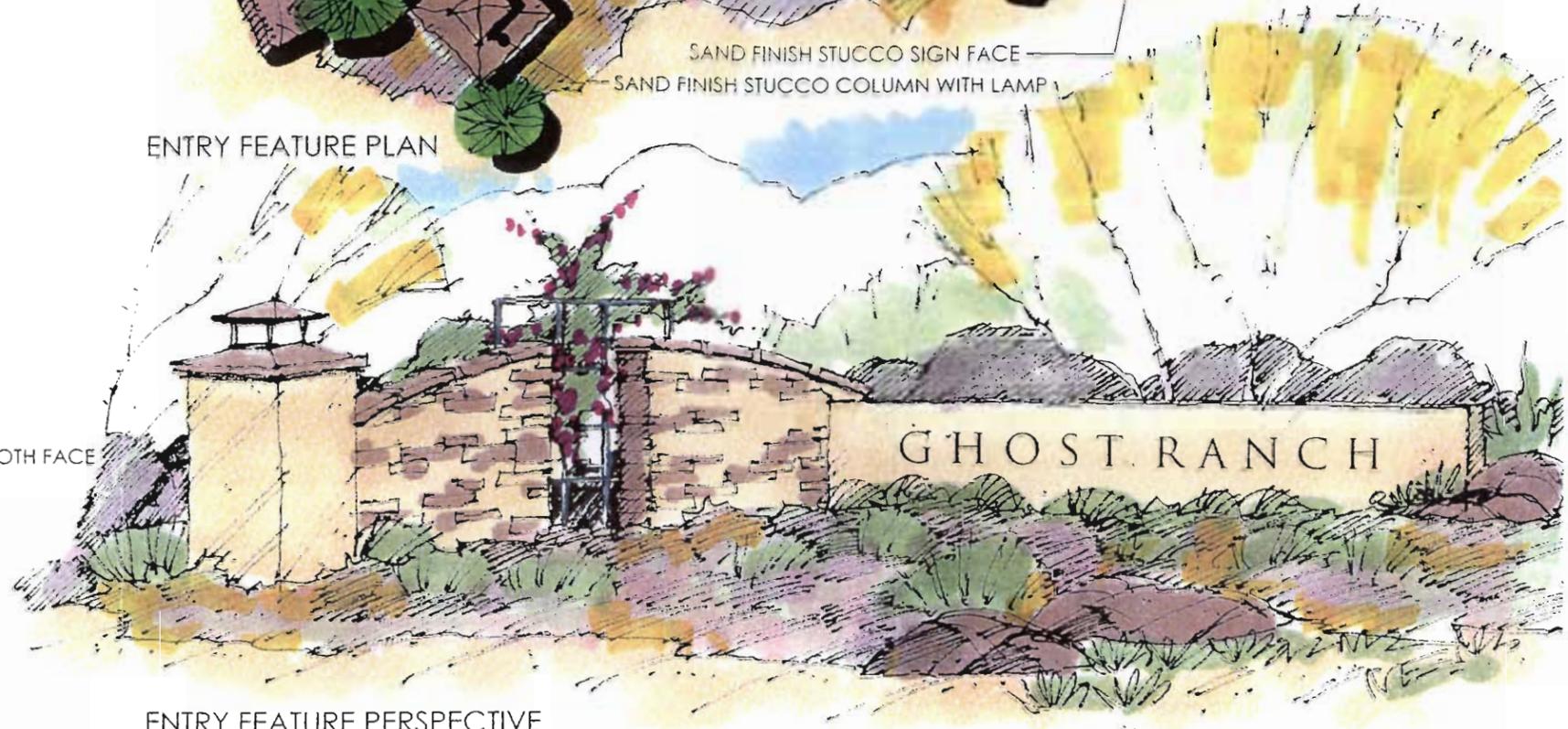


VIEW WALL  
 3/16"=1'-0"

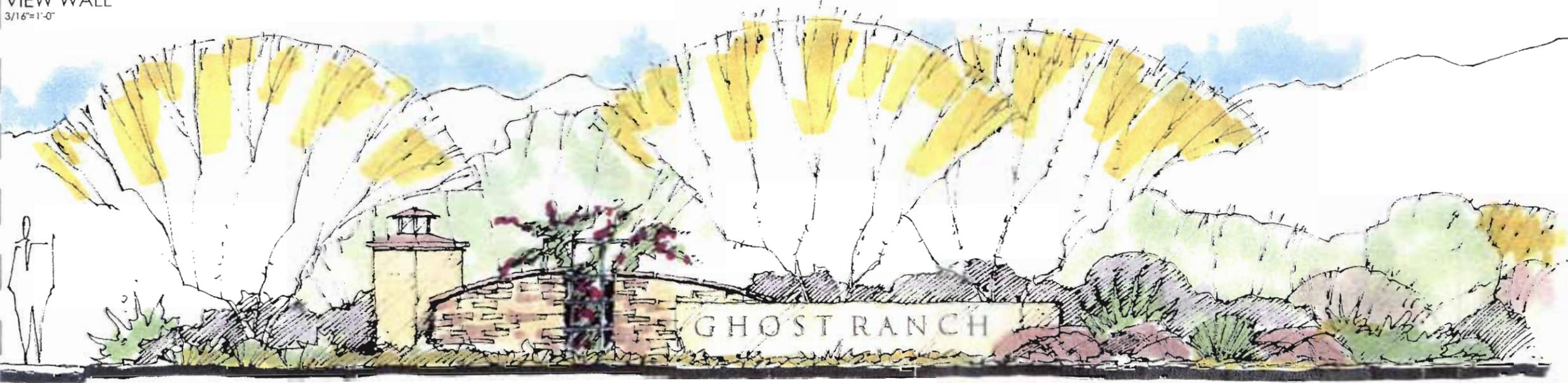
STONE VENEER WALL  
 DECORATIVE GRILLE



ENTRY FEATURE PLAN



ENTRY FEATURE PERSPECTIVE



ENTRY FEATURE ELEVATION

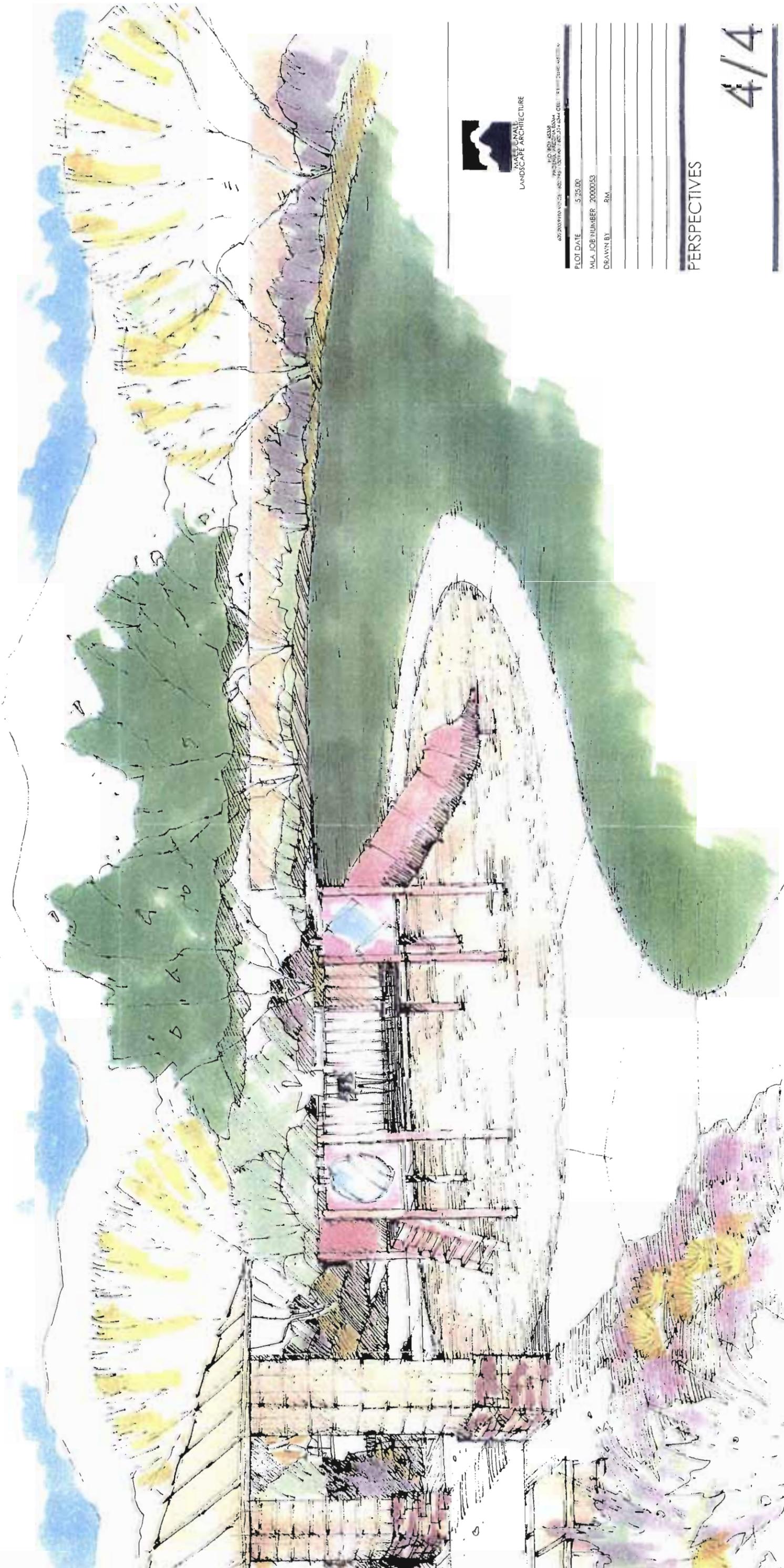


P.O. BOX 4038  
 PHOENIX, ARIZONA 85064  
 602.200.9190 VOICE / 602.792.1130 FAX / 602.524.8344 CELL / P1MAC@macdonald.com

PLOT DATE	5.25.00
MLA JOB NUMBER	2000053
DRAWN BY	RM

WALLS/ENTRY FEATURE

GHOST RANCH  
PERSPECTIVES



MACLENNAN  
LANDSCAPE ARCHITECTURE

1100 800 AVENUE  
SUITE 100  
DALLAS, TEXAS 75201  
TEL: 214.760.1100 FAX: 214.760.1101

PLOT DATE 5.25.00  
MLA JOB NUMBER 20000033  
DRAWN BY RJA

PERSPECTIVES



MACDONALD  
LANDSCAPE ARCHITECTURE

607.266.4140  
PLOT DATE 5.25.00  
M/LA JOB NUMBER 2000053  
DRAWN BY RM

SEATWALL

RAMADA

PICNIC TABLE

BBQ

COMMUNITY ELEMENTS

# **Ghost Ranch**

## **Exhibit F Community Elements**

# **Ghost Ranch**

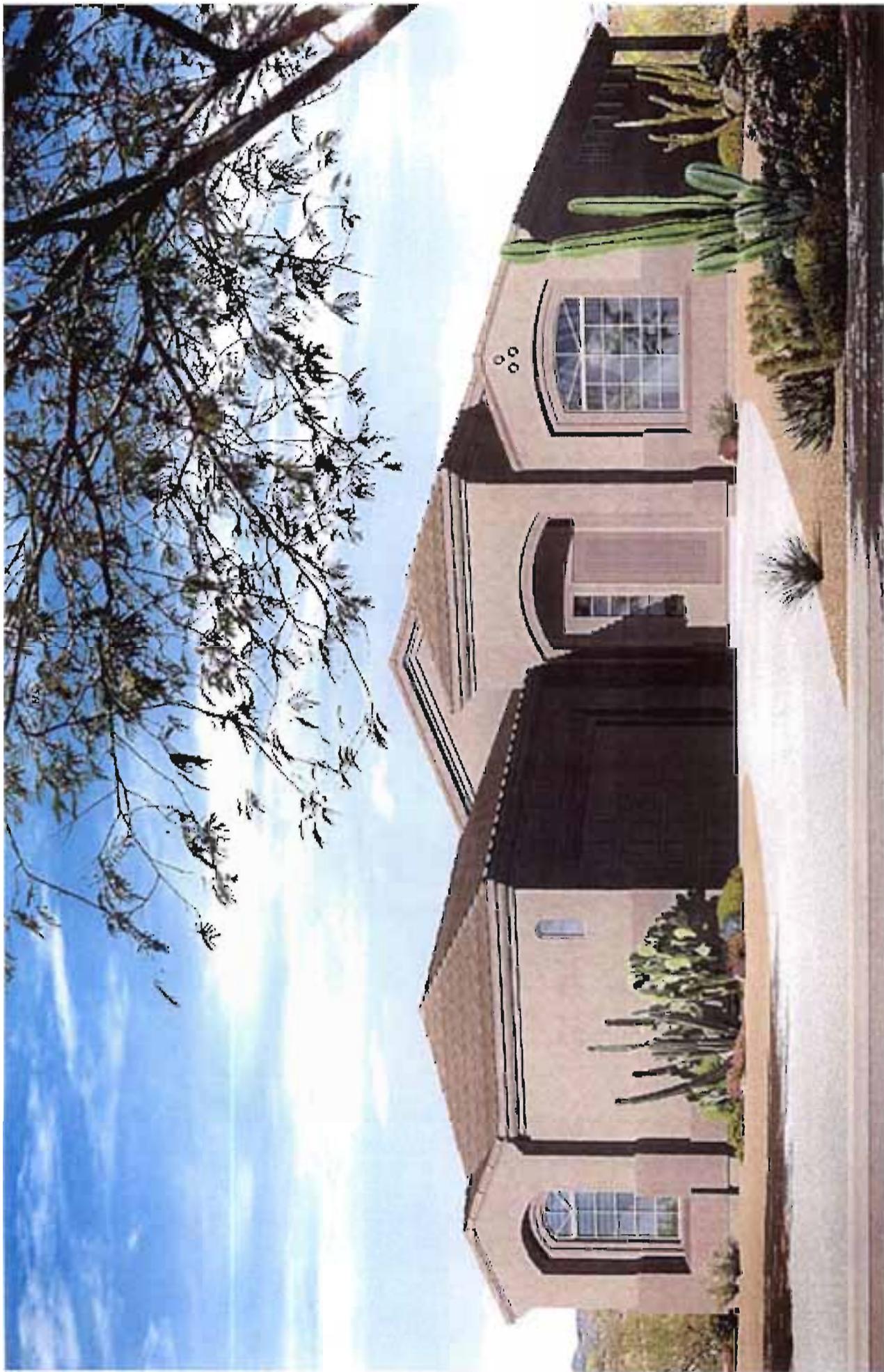
## **Exhibit G Walls/Entry Feature**

# **Ghost Ranch**

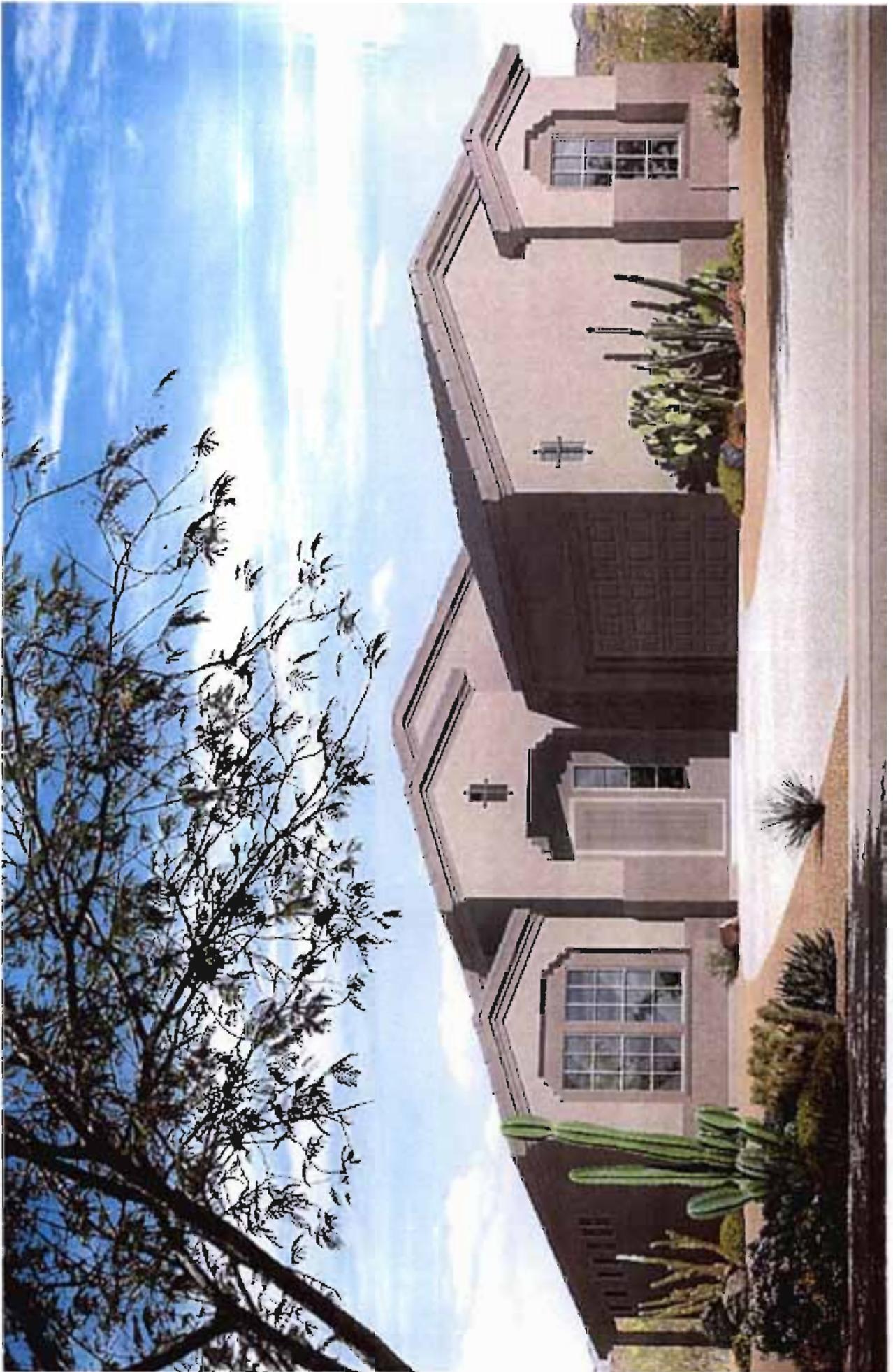
## **Exhibit H Perspectives**

# **Ghost Ranch**

## **Exhibit I Example Product Floor Plans and Elevations**



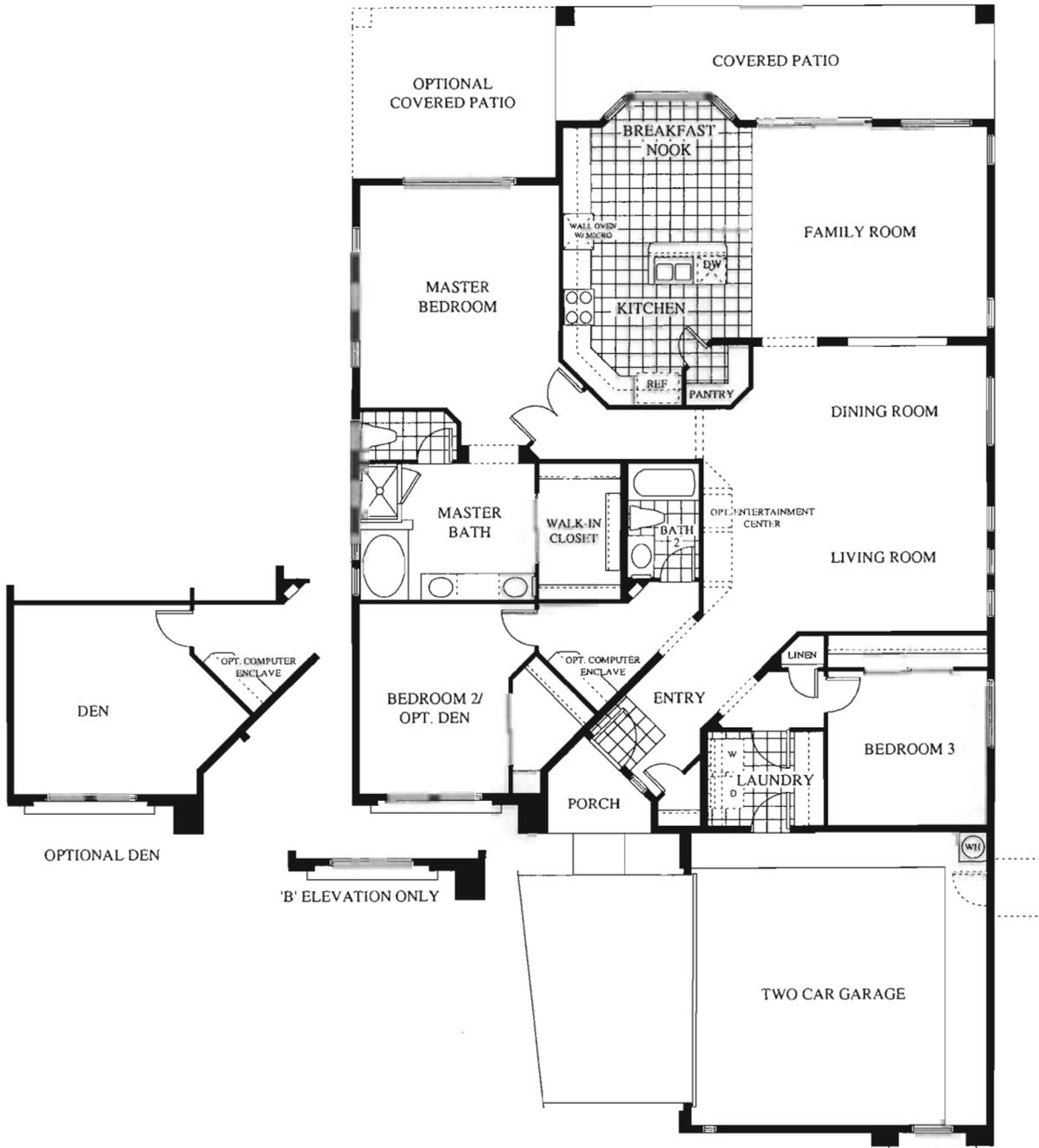




# Highland at Dove Valley Ranch

2136 SQUARE FEET  
3 BEDROOMS, DEN OPTION,  
FORMAL LIVING/DINING, 2 BATHS  
DEN OPTION, 2 BATHS

## Bay Hill Plan 2136

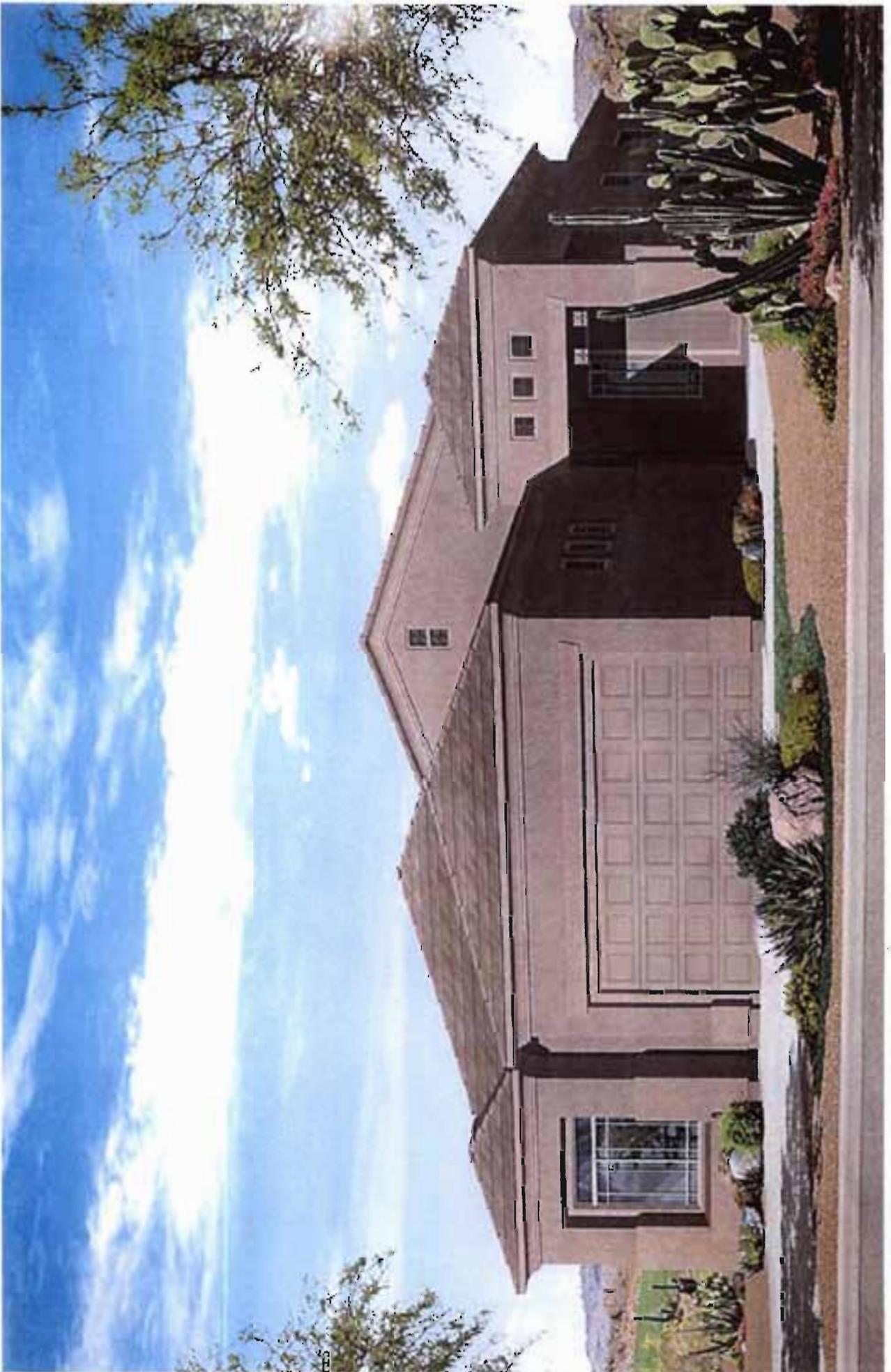


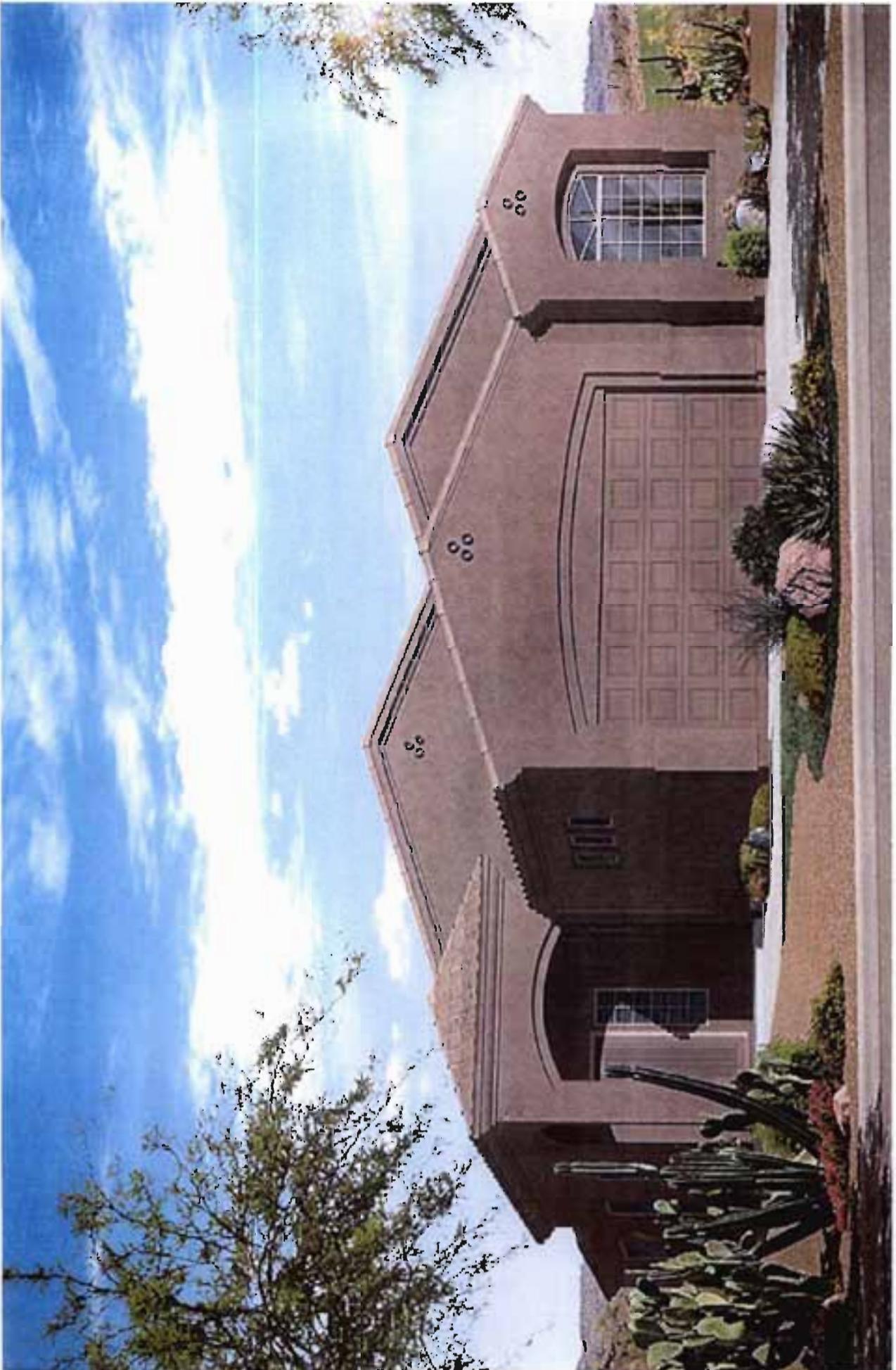
**PRELIMINARY**  
SUBJECT TO CHANGE

In the interest of continuous improvement, Dietz-Crane Homes reserves the right to change or modify floor plans, materials and features without prior notice or obligation. Consult a sales representative for additional information. Prices subject to change without notice. All dimensions and square footages are approximate. Ceiling heights and window sizes, styles and locations may vary with interior design. Floorplans and exterior elevations are artist renderings.

**DIETZ-CRANE**  
**HOMES**

Quality since 1954



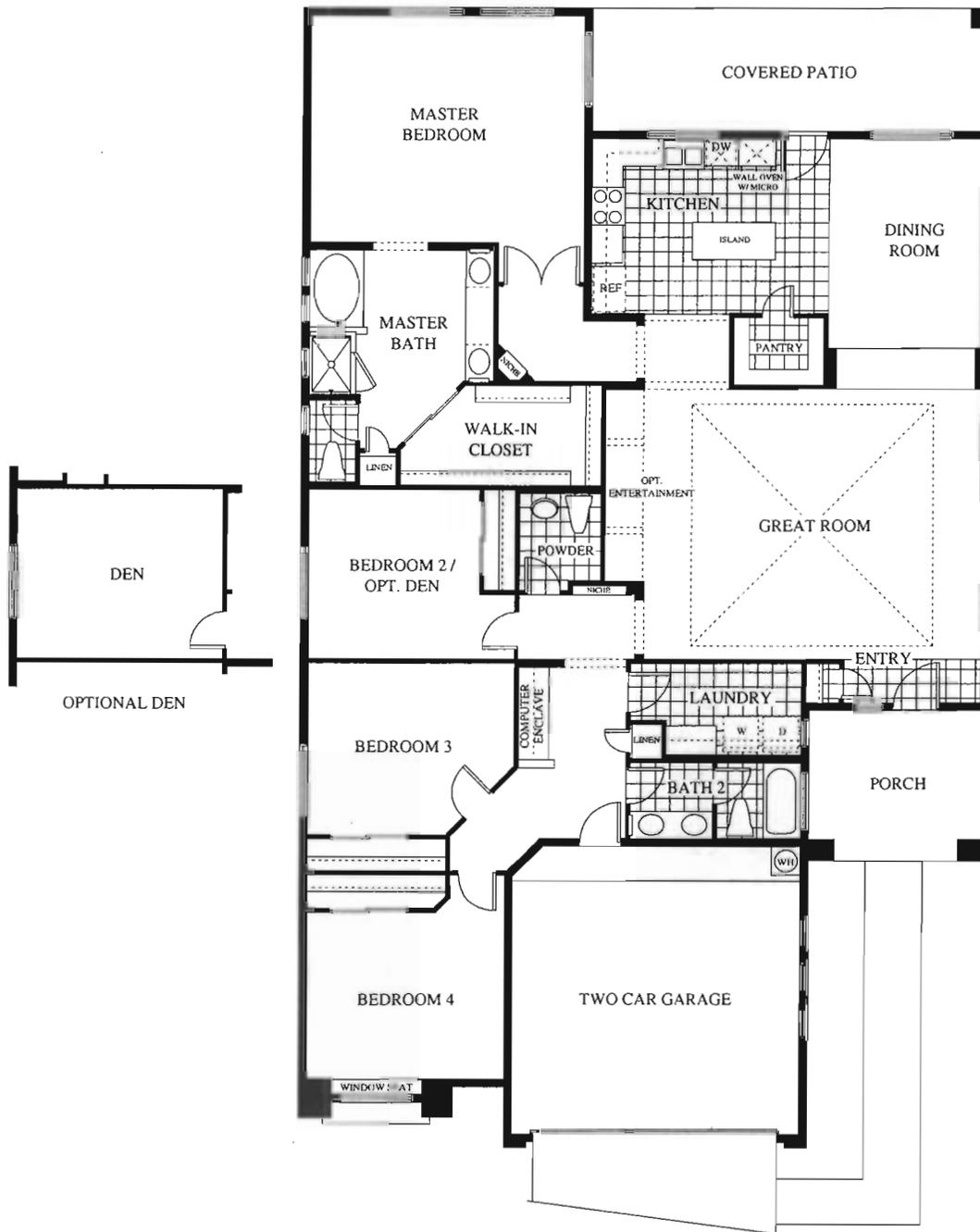




# Highland at Dove Valley Ranch

2395 SQUARE FEET  
4 BEDROOMS, GREAT ROOM,  
DEN OPTION, 2.5 BATHS

## Oakhurst Plan 2395



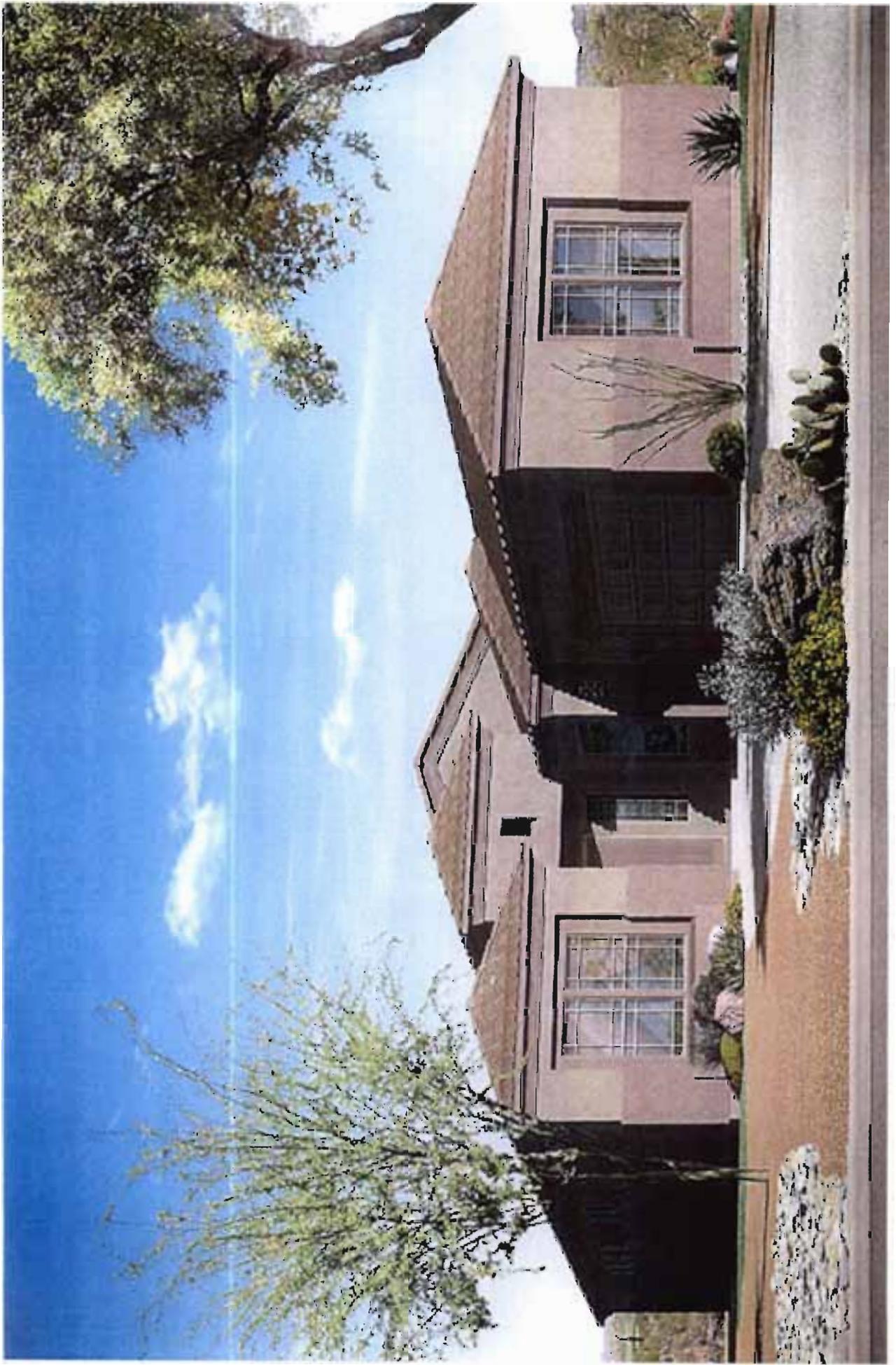
**PRELIMINARY**  
SUBJECT TO CHANGE

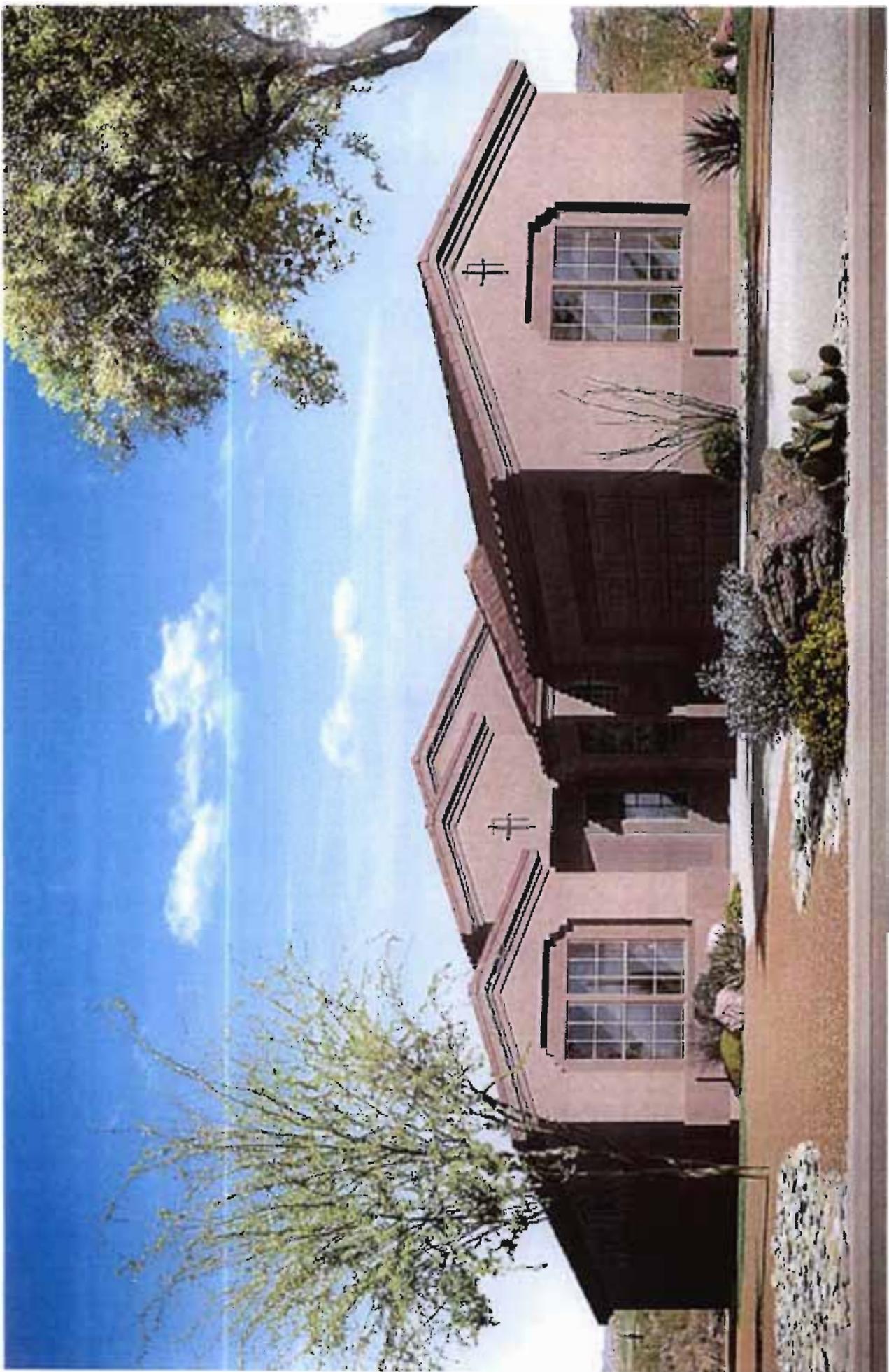
In the interest of continuous improvement, Dietz-Crane Homes reserves the right to change or modify floor plans, materials and features without prior notice or obligation. Consult a sales representative for additional information. Prices subject to change without notice. All dimensions and square footages are approximate. Ceiling heights and window sizes, styles and locations may vary with interior design. Floorplans and exterior elevations are artist renderings.

HIGHLAND.851590

**DIETZ-CRANE**  
**H O M E S**

Quality since 1954

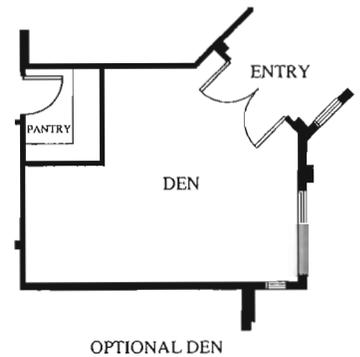
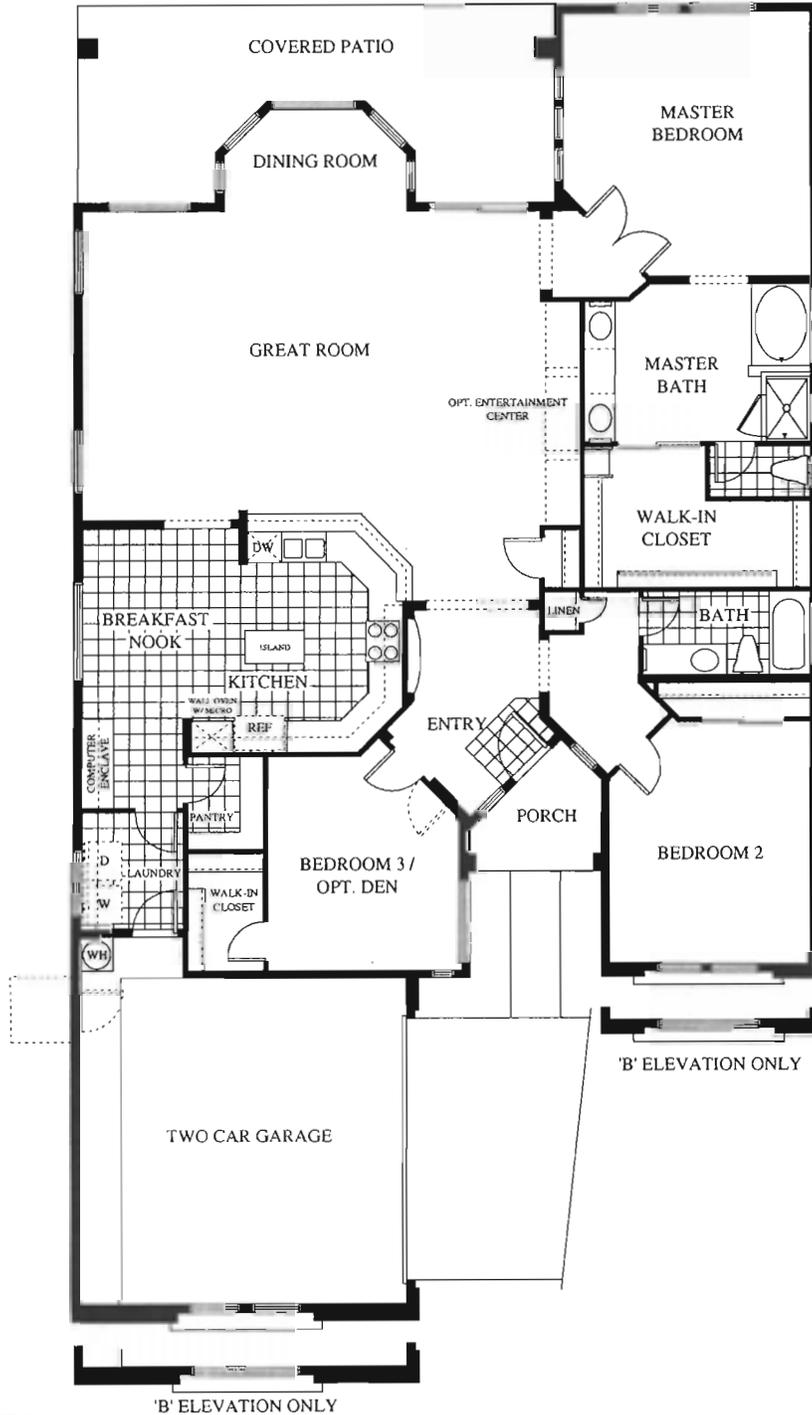




# Highland at Dove Valley Ranch

2255 SQUARE FEET  
3 BEDROOMS OR 2 BEDROOM  
WITH DEN OPTION, GREAT ROOM,  
2 BATHS

## Torrey Pines Plan 2255

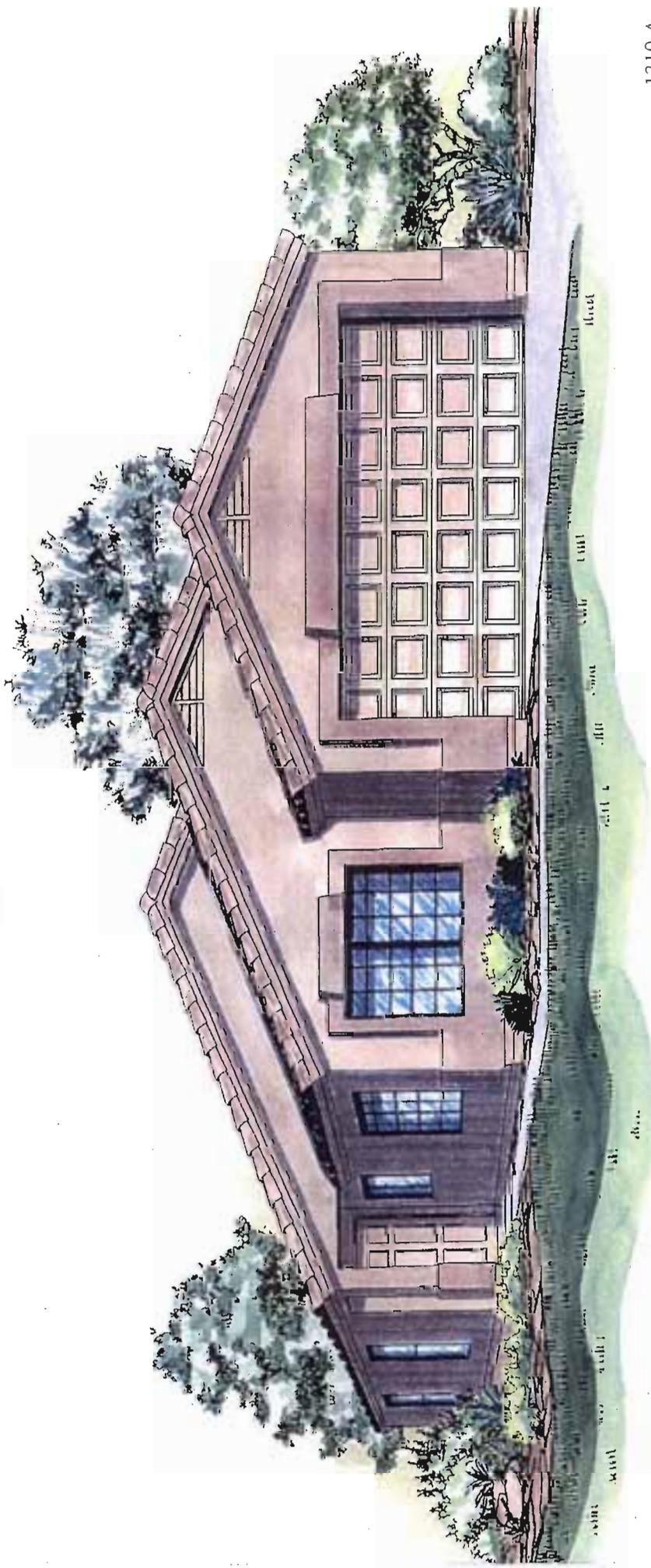


**PRELIMINARY**  
SUBJECT TO CHANGE

In the interest of continuous improvement, Dietz-Crane Homes reserves the right to change or modify floor plans, materials and features without prior notice or obligation. Consult a sales representative for additional information. Prices subject to change without notice. All dimensions and square footages are approximate. Ceiling heights and window sizes, styles and locations may vary with interior design. Floorplans and exterior elevations are artist renderings.

**DIETZ-CRANE**  
**HOMES**

Quality since 1954



1310 A



# The Payson

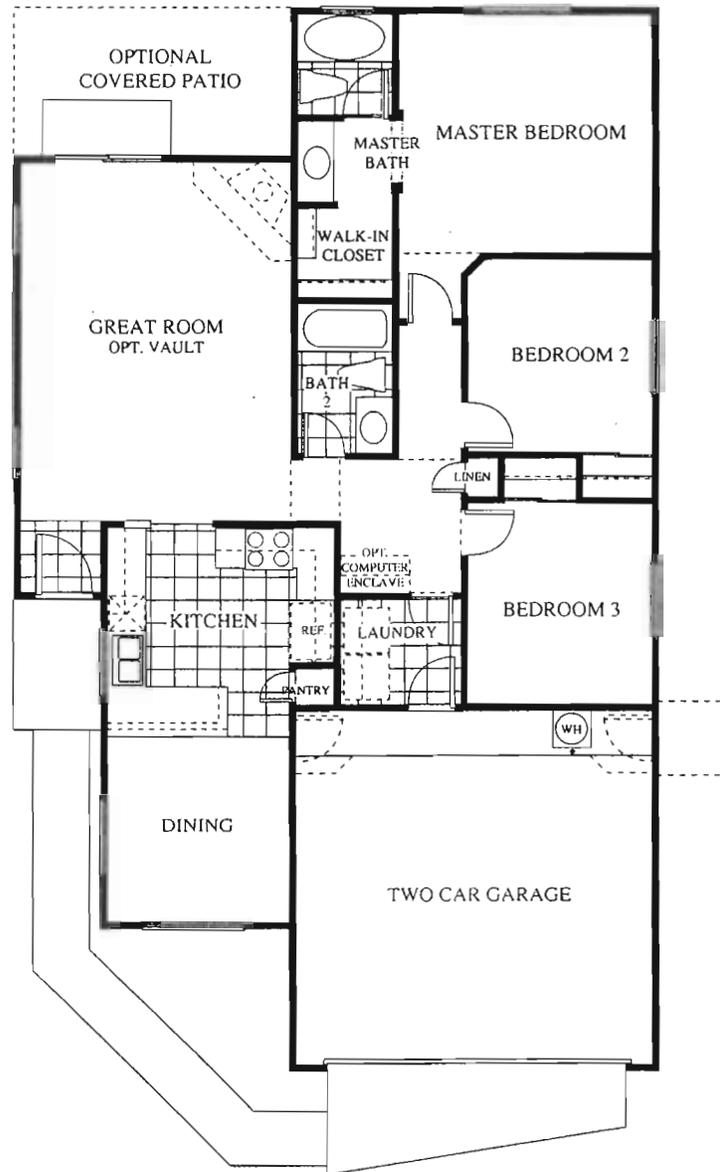
## Model 1310.4

# DIETZ-CRANE

## H O M E S

Quality since 1954

3 BEDROOMS, 2 BATHS, ONE STORY,  
1310 SQ. FT.



These renderings are artist conceptions, actual homes may have minor differences from these drawings and are subject to change without notice. All square footages are approximate.



3087 A

# The Acacia

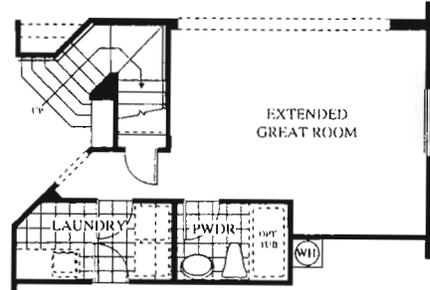
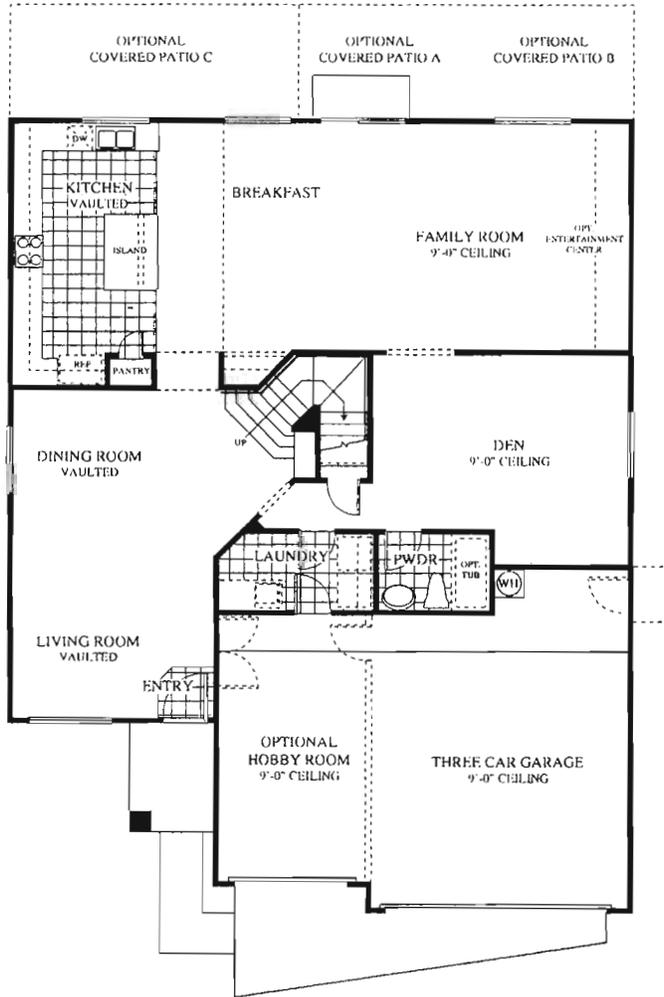
## Model 3087.4

# DIETZ-CRANE

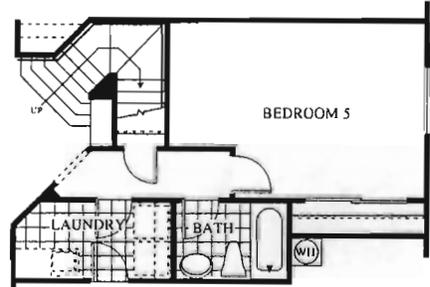
## HOMES

Quality since 1954

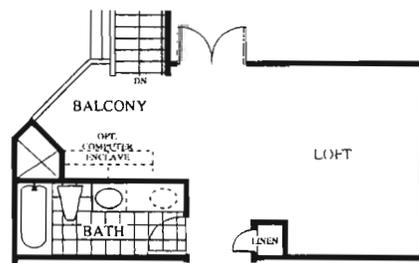
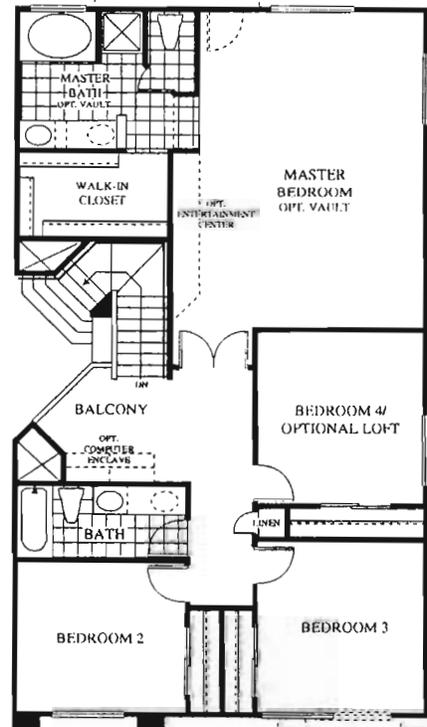
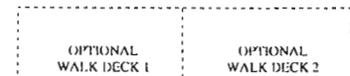
4 BEDROOMS AND A DEN, OR WITH A VARIETY OF OPTIONS, 5 BEDROOMS, 2 1/2 TO 3 BATHS, LOFT, EXTENDED GREAT ROOM, 3 CAR GARAGE, 3087 SQ. FT.



OPTIONAL EXTENDED GREAT ROOM



OPTIONAL BEDROOM 5



OPTIONAL LOFT

These renderings are artist conceptions, actual homes may have minor differences from these drawings and are subject to change without notice. All square footages are approximate.



2575 A

# The Lantana

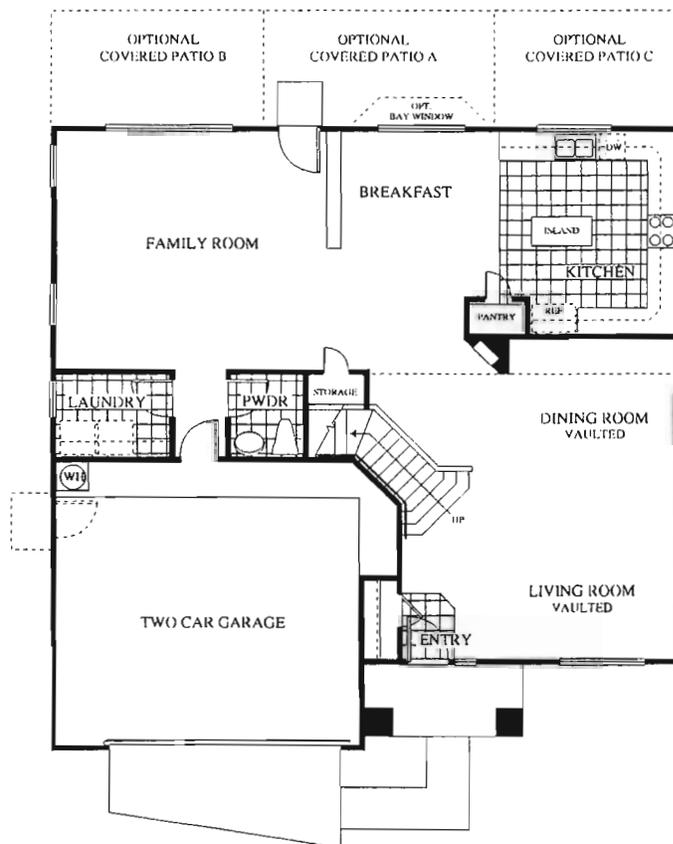
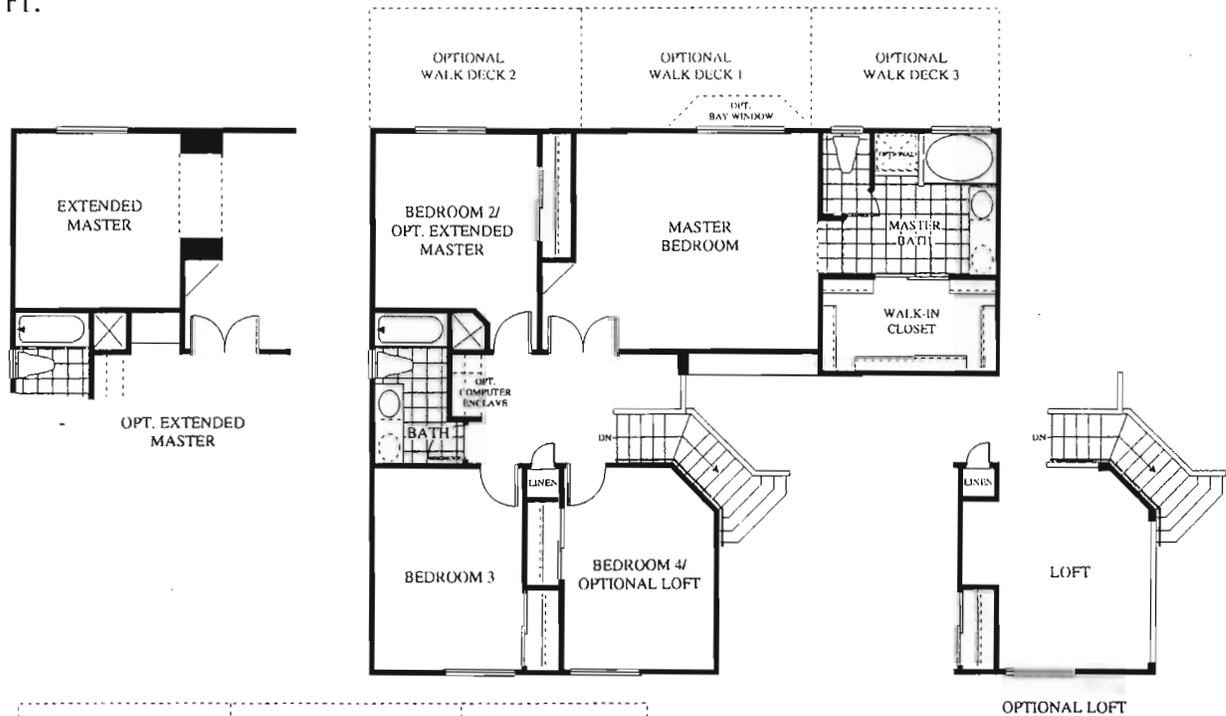
## Model 2575.4

# DIETZ-CRANE

## HOMES

Quality since 1954

4 BEDROOMS, OR WITH EXTENDED,  
 MASTER SUITE, OR LOFT OPTIONS,  
 2 1/2 BATHS, 2 CAR GARAGE,  
 2575 SQ. FT.



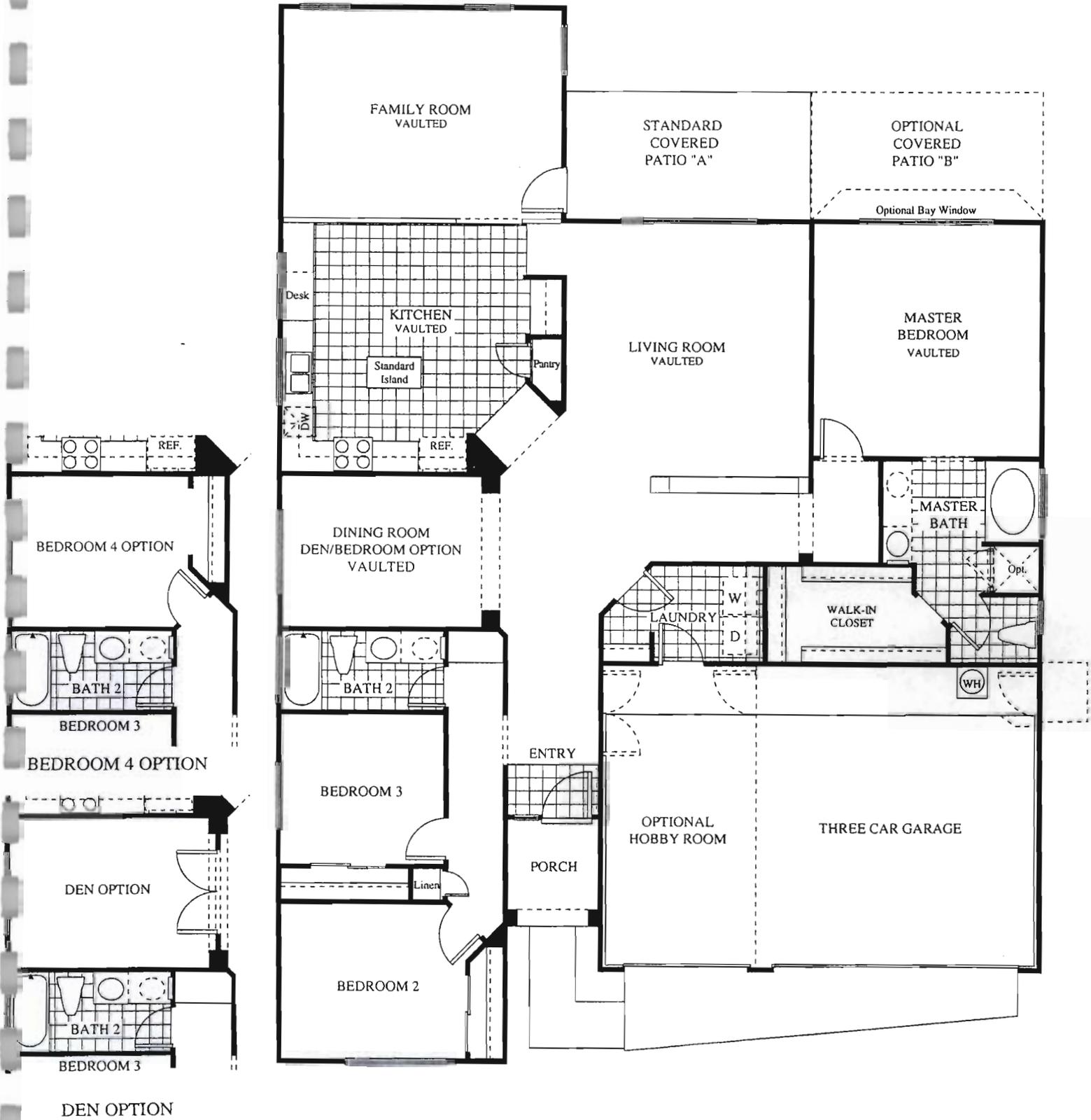
These renderings are artist conceptions, actual homes may have minor differences from these drawings and are subject to change without notice. All square footages are approximate.



2210 A

# The Jerome Model 2210.3

3 Bedrooms, 2 Baths, One Story,  
Optional 4th Bedroom,  
3 Car Garage, 2210 sq. ft.



These renderings are artist conceptions, actual homes may have minor differences from these drawings and are subject to change without notice.  
All square footages are approximate.



2187 A

# The Ocotillo

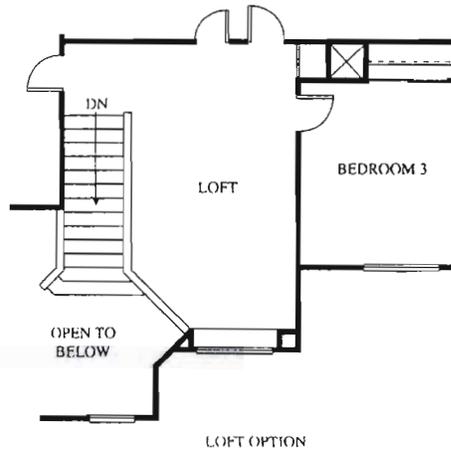
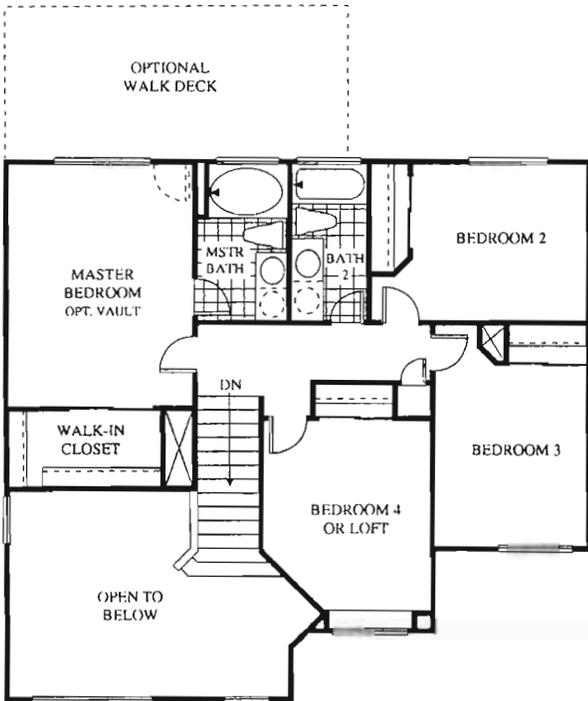
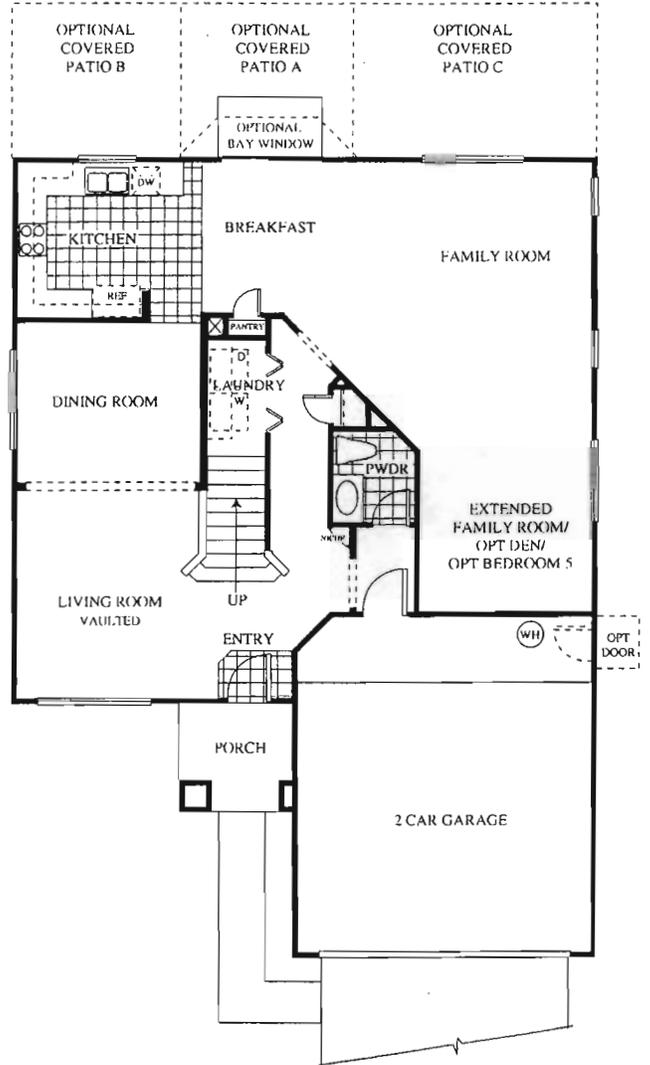
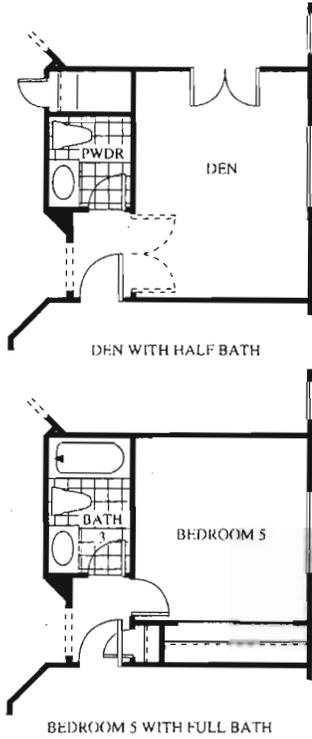
## Model 2187.4

# DIETZ-CRANE

## HOMES

Quality since 1954

4 BEDROOMS, OR WITH A VARIETY OF OPTIONS,  
DEN, 5 BEDROOMS, 2 1/2 TO 3 BATHS,  
2 CAR GARAGE, 2187 SQ. FT.





1934 A

# The Ironwood

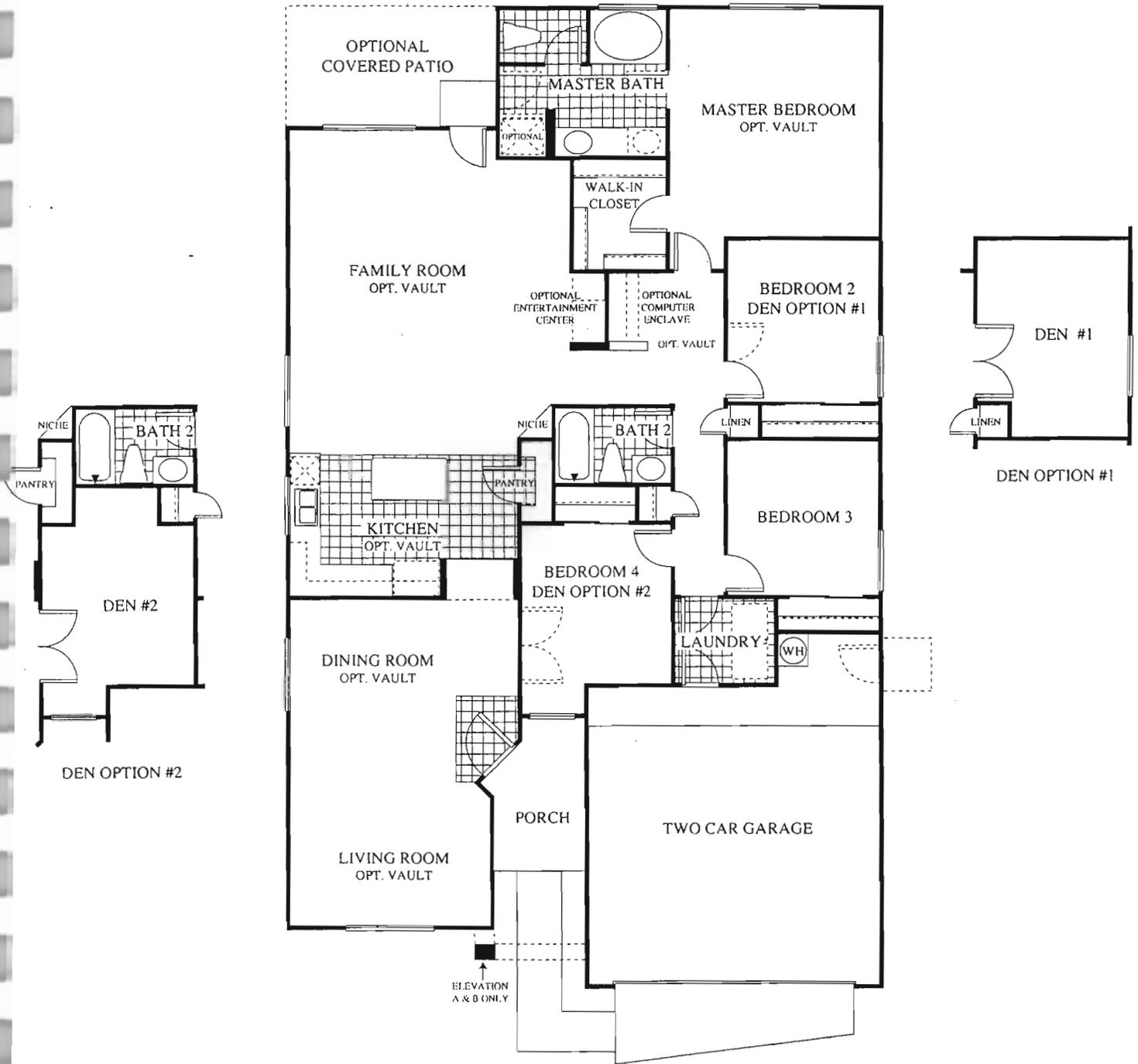
## Model 1934.4

# DIETZ-CRANE

## H O M E S

Quality since 1954

4 BEDROOMS, OR WITH DEN OPTION,  
2 BATHS, 2 CAR GARAGE, 1934 SQ. FT.





# GHOST RANCH LANDSCAPE MASTER PLAN



RAMADA  
TOT LOT  
BBQ

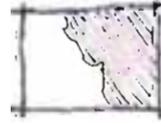
RAMADA  
BBQ

RAMADA  
BBQ



**TREES**

- CERCIDIUM SP.
- PROSOPIS SP.
- OLNEYA SP.
- ACACIA SP.



**SHRUBS**

- LEUCOPHYLLUM SP.
- CAESALPINIA SP.
- SALVIA SP.
- RUPELLIA SP.
- DALEA SP.
- TECOMA SP.
- CALLIANDRA SP.
- CASSIA SP.



**GROUNDCOVERS/ACCENTS**

- LANTANA SP.
- VERBENA SP.
- GAZANIA SP.
- YUCCA SP.
- BOUGAINVILLEA SP.
- AGAVE SP.



MACDONALD  
LANDSCAPE ARCHITECTURE

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WWW.MACDONALDLA.COM

PLOT DATE: 5.25.00  
MLA JOB NUMBER: 2000053  
DRAWN BY: RM

LANDSCAPE MASTER PLAN