

Development Guide
For a P.A.D. Rezoning
for
Ghost Hollow Estates
(NWC Pinal Avenue and Ghost Ranch Road)

[REDACTED]
Revised Date: March 30, 2006
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Application No: CG PZ-047-06

EPS Group, Inc.
2150-1 S. Country Club Drive
Suite 22
Mesa, AZ 85210
Tel 480-503-2250
Fax 480-503-2258

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CASE #

Ghost Hollow Estates

Preliminary Development Plan and Development Guide
for a Planned Area Development - P.A.D.
(NWC Pinal Avenue and Ghost Ranch Road)

Application No. CG PZ-047-06

Submitted to:
City of Casa Grande
Planning Department
510 East Florence Boulevard
Casa Grande, AZ 85222
(520) 421-8637

Prepared for:
MC Homes, LLC.
P.O. Box 20926
Mesa, AZ 85277-0926*
Tel: 480-786-1104
Fax: 480-786-1105

Prepared by:
EPS Group, Inc.
2150-1 South Country Club Drive
Suite 22
Mesa, AZ 85210
Tel 480-503-2250
Fax 480-503-2258

Legal Representative:
Kay Bigelow, Esq.
Gammage & Burnham, PLC
2 North Central Ave., Suite 1800
Phoenix, AZ 85004
Tel: 602-256-4437
Fax: 602-256-4475

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EXHIBITS

- Exhibit 1 Preliminary Site Plan
- Exhibit 2 Aerial Photo
- Exhibit 3 Copper Mountain Ranch
- Exhibit 4 Assessor Parcel Map
- Exhibit 5 Survey
- Exhibit 6 Typical Lot Sizes and Setbacks
- Exhibit 7 Typical Roadway Cross Sections
- Exhibit 8 Preliminary Landscape Plan with Theme Wall Exhibits

Part I - Project Overview

1.0 Introduction

Ghost Hollow Estates has been planned and engineered to be in compliance with the City of Casa Grande General Plan 2010. The development of 79.99 acres of land, referred to herein as "Ghost Hollow Estates", consists of 260 single-family residential lots. The current Land Use Plan designates the property for Low-Density Residential which allows for a residential density range of 1 to 4 dwellings units per acre (DU/AC).

The proposed residential development is at a density of 3.25 DU/AC, and is in compliance with the density for this urban growth area. By incorporating open space areas, landscaping and a pedestrian trail system, the proposed development contributes to the open community concept.

2.0 Planned Area Development Request

Containing approximately 79.99 acres, Ghost Hollow Estates is located in the south $\frac{1}{2}$ of the southeast quarter of Section 17, Township 5 South, Range 6 East of the Gila and Salt River Meridian, Pinal County, Arizona. The property is situated at the northwest corner of Pinal Avenue and Ghost Ranch Road (refer to Exhibit 2).

This is a formal request for a Rezoning from the existing Urban Ranch (UR) to a Planned Area Development (PAD). The PAD will consist of low-density, single family detached homes on 79.99 acres, totaling 260 lots. The low-density residential development has been planned to include open space areas that will contribute to the overall aesthetic quality of the community. Open space areas are located to provide buffer areas and to offer recreational opportunities.

3.0 Existing Site Conditions

The property is a basic rectangular shape with the Ghost Ranch Road alignment along the south property line and Pinal Avenue along the east boundary line. Exhibit 2 contains an aerial photograph of the site. No structures exist on the site. A natural wash traverses the site in a north-south direction along the east boundary line. A formal 404 Jurisdictional Delineation Application was submitted to the Army Corps of Engineers in August 2005, in which no 404 washes were delineated. A survey and legal description are included as Exhibit 5.

- Topography and Drainage

A Preliminary Drainage Report will be prepared and submitted with the Preliminary Plat application which will address off-site flows and cover drainage patterns, drainage areas, retention volumes required, retention volumes provided, estimated storm drain facilities and how offsite drainage flows might impact this site.

- **Relationship to Surrounding Properties**

Ghost Hollow Estates is located at the northwest corner of Pinal Avenue and Ghost Ranch Road. An existing single family development lies to the southeast across Pinal Avenue. Vacant land abuts the project site to the north, south, east and west. These conditions can be seen on Exhibits 2 and 3. Adjacent land to the south is zoned Urban Ranch (UR), while the adjacent land to the west and north are zoned PAD as part of the Copper Mountain Ranch project. The Casa Grande General Plan identifies Low Density Residential (1-4 DU/acre) for this property and for the surrounding undeveloped property.

- **Accessibility**

Primary access to the property is off Ghost Ranch Road, which has direct access to Pinal Avenue and then to Interstate 10 and to arterials leading directly into downtown Casa Grande. Access to the residential lots will be from two local entries that will connect to the Ghost Ranch Road alignment along the south boundary line. A traffic study will be submitted with the Preliminary Plat to address internal and external circulation issues.

- **Legal Description**

This property is one parcel of land located in Pinal County, parcel 509-85-003J0. It is the south $\frac{1}{2}$ of the southeast quarter of Section 17, Township 5 South, Range 6 East of the Gila and Salt River Meridian, Pinal County, Arizona. A survey and legal description are included as Exhibit 5.

4.0 Project Land Use

The proposed PAD will consist of single-family residential units. A Preliminary Site Plan is illustrated in Exhibit 1. Proposed lot sizes are discussed later in this section.

- **Site Description**

This property is within the City of Casa Grande and is shown on the General Plan as Low Density Residential (1-4 DU/acre).

Ghost Hollow Estates has been designed for site-built, single-family detached homes. The residential neighborhood will be buffered from Pinal Avenue by the existing natural wash area that crosses the site. Residential areas are buffered from the primary entry street by a landscaped open space tract and contain internal open space areas.

- **Lot Sizing and Placement**

Five varying lot sizes are proposed and are shown on the Preliminary Site Plan (Exhibit 1 and Exhibit 6). A total of 12 lots will be less than 7,000 square feet with the same number of lots exceeding 8,000 square feet. The typical largest lot will be 7,200 square feet (60'x120'). The second typical lot size will be a minimum of 7,150 square feet (65'x110'). The third typical lot size will be a minimum of 7,020 square feet (60'x117'). The smallest lot size will be 6,050 square feet (55'x110'). The proposed lot sizes comply with Casa Grande's minimum lot width requirements.

- **Community Open Space Areas**

Total acreage for the site is 79.99 acres, of which approximately 12 acres are identified for retention and open space. Active and passive open space areas are located throughout the development including a natural buffer adjacent to Pinal Avenue, and will make up 50% of the total open space. The 12 acres of open space equate to 15% of the residential area, which complies with the City's requirements.

- **Neighborhood Trail and Sidewalk System**

A designated trail and sidewalk system is proposed for Ghost Hollow Estates. A 10-foot wide meandering concrete multi-use trail will connect the central common areas. The trail will connect to sidewalks along rights-of-way to form a safe and accessible environment. In addition, the trail will also provide an important connection to the existing wash and to the two centralized tot lots. Exhibit 8 is the Ghost Hollow Preliminary Landscape Plan.

- **Internal Streets**

The subdivision has been designed to minimize impacts on adjacent properties and to efficiently convey traffic from the entries to the interior local streets. Several cul-de-sacs have been integrated into the project's design to vary the streetscape and provide openings into the open space. Street improvements will be outlined in Section 5.0.

- **Surface Water and Retention Areas**

All open space areas that serve as retention basins will be engineered to handle the surface water retention for the proposed development. In tracts that will also serve as recreational areas, at least 15% of the basin system will be elevated above a 25-year flood water surface elevation. A Preliminary Drainage Report will be submitted with the Preliminary Plat.

- **Conceptual Landscaping and Walls**

Ghost Hollow Estates will contain landscaping throughout the development. The enclosed Preliminary Landscape Plan with associated theme walls, Exhibit 8, outlines plant materials and amenities incorporated into the open space areas. This plan also indicates walls to be located throughout the development, including theme walls, entry monuments, and view walls. Final landscape plans will detail these elements and will be submitted to the City of Casa Grande Planning Department for review and approval with the improvement plans.

- **Maintenance of Landscape, Signs and Walls**

The Master Homeowners Association (HOA) will be responsible for the maintenance of all common areas, landscaping and entry signage within the development. Individual homeowners will be responsible for the maintenance of their internal property line walls.

5.0 Traffic Circulation and Street Improvements

Circulation patterns within Ghost Hollow Estates are designed to efficiently carry and distribute traffic and minimize impacts within the development and adjacent properties. The new Ghost Ranch Road will align across Pinal Avenue and will convey traffic from Pinal

Avenue into the development via two local access roads. These roads will extend northward and will serve the residences. A second collector road will traverse along the western boundary of the project and link to the future major arterial to the north that will be constructed by the developer of the Copper Mountain project. Since the main arterial to which the western mid-section collector is going to connect is completely within the boundaries of the Copper Mountain Ranch's project, this project will not dedicate right-of-way or construct roadway improvements for the future major arterial within the Copper Mountain Ranch project.

The proposed collector roads will consist of 80-foot wide rights-of-way which will require 40-foot wide half-street improvements along the south and west of Ghost Hollow Estates. The new collector roads will conform to the City of Casa Grande's requirements. Local streets will consist of a 44-foot wide right-of-way, with a minimum 8-foot public utility easement (P.U.E.) adjacent to both sides, which conforms to the City's requirements. The P.U.E. is required to be landscaped, resulting in an effective 60-foot wide local street corridor. For this project, a minimum 10-foot wide landscape tract is proposed adjacent to any residential lot that sides onto a street.

A Traffic Study will be submitted with the Preliminary Plat to address internal and external circulation issues. Final Traffic reports and plans, meeting the approval of the City Engineer, are required prior to the approval of the Final Subdivision Plat for this project. The Traffic Study will determine the traffic impact of this project and any need for additional traffic and roadway improvements that the developer will be required to provide and/or be partially financially responsible for based amount of traffic generation by Ghost Hollow Estates.

The developer will be responsible for the engineering and construction of local streets and cul-de-sacs with Ghost Hollow Estates. This includes dedication of local streets and improvements to include paving, curb, gutter and an attached 4-foot wide sidewalk on both sides of the right-of-way. Upon the completion of construction and City acceptance, maintenance of improvements within the right-of-ways will be the responsibility of the City of Casa Grande. The Master HOA will maintain all landscaping within the local street rights-of-way or 8-foot PUE.

6.0 Street Maintenance

Street cross-sections and the striping plans will be subject to the review and approval of the City prior to the approval of the Preliminary Plat. Upon acceptance of these improvements, the City will be responsible for the maintenance of the improvements within the public rights-of-way, with the exception of the landscaping which is the responsibility of the Master HOA.

7.0 Utility Service and Public Facilities

Private utility companies will provide water, gas and electric service for this development. The City of Casa Grande will provide the water, police, fire protection and refuse collection. All utilities will be placed underground. Streetlights and fire hydrants will be designed and

installed per the City of Casa Grande building codes and in accordance with the recommendations by the City Engineering and Fire Departments.

The following table summarizes the utility providers:

Utility	Company
Water	Arizona Water Company
Sewer, Refuse, Fire	City of Casa Grande
Gas	Southwest Gas Company
Electric Service	Arizona Public Service
Police	Casa Grande Police Department
Telephone	QWEST Communications

- **Sewer**

The sewer service will be provided by the City of Casa Grande. A Preliminary Sewer Report will be submitted to and approved by the City Engineer prior to the approval of the Preliminary Plat for this site. Final sewer reports and plans, meeting the approval of the City Engineer, are required prior to the approval of the Final Subdivision Plat for this project. The official policy for reserving capacity coincides with approval of the Final Plat by the City Council, or upon approval of a Development Agreement by the City Council.

- **Potable Water**

The domestic water supply for this subdivision will be provided by the Arizona Water Company, which does not currently have a "Certificate of Assured Water Supply" covering their service area in Casa Grande. Each project is required to file individual applications with the Arizona Department of Water Resources for Assured Water Supply.

The layout of the water system for this site will be "looped" to provide adequate pressures throughout the system. A Preliminary Water Report will be submitted to and approved by the Arizona Water Company and the City Engineer prior to the approval of the Preliminary Plat for this site. Final Water reports and plans, meeting the approval of the City Engineer and Arizona Water Company, are required prior to the approval of the Final Subdivision Plat for this project. The developer will provide a 100-year Assured Water Supply Certificate prior to Final Plat approval.

- **School Districts/Community Facilities**

Ghost Hollow Estates is located within the Casa Grande School District. We have been in contact with Frank Davidson, Superintendent of the School District, and provided him a copy of the proposed development to discuss with the School Board. We are in receipt of a standard Development Agreement with the District, and are waiting to hear back from them following their discussion of this development proposal. We have also contacted Nancy Pifer, superintendent of the High School District, to discuss the impacts of this project on their facilities and are waiting to hear back from them.

8.0 Grading and Drainage Concept

The grading and drainage concept for this development consists of retention basins within the proposed open space areas along with drainage easements along the north, south and western site boundaries. The streets will be designed according to the City's standards to convey all of the on-site storm water runoff to the retention basins. All drainage facilities will be designed in accordance with accepted engineering standards and in compliance with the City's code requirements. All off-site storm drainage will be accommodated through adequately designed water conveyance systems.

Final drainage reports and improvement plans will meet the City Engineer's approval prior to the approval of any plats. A Conceptual Grading and Drainage Design report will be submitted to and approved by the City Engineer prior to the approval of the Preliminary Plat. If recommended by the City Engineer, drywells will be included.

9.0 Phasing Plan

This project will be developed in one phase.

Part II - P.A.D. Design Standards

1.0 Introduction

This project has been designed to incorporate and meet the City of Casa Grande's Residential Design Standards for a Planned Area Development (PAD). The following sections outline how Ghost Hollow Estates will meet or exceed the PAD residential design standards.

2.0 Open Space

Approximately 12 acres of landscaping and open space areas have been incorporated into the subdivision's design. A significant landscape buffer is proposed along Pinal Avenue. Internal open space areas allow for retention, along with and passive and centralized active recreational amenities. A pedestrian trail is proposed through the development and is proposed to connect to the existing natural wash. The 15% open space complies with the City's open space requirement. The HOA will be responsible for the maintenance of all residential landscape tracts and amenities.

Many of the proposed open space areas will be designed to retain storm water in combination with forming landscaped recreation areas. These retention basins will be engineered to utilize a variety of side slopes, plants and meandering pathways that provide aesthetically pleasing recreational areas. In retention areas where tot lots or other amenities will be installed, 15% of the basins will be elevated above the 25-year flood water surface elevation. Drywells will be utilized where necessary if recommended by the City Engineer.

The attached Preliminary Landscape Plan (Exhibit 8) indicates plant materials and amenities that will be incorporated into the open space areas. A final landscape plan will be submitted with the Final Plat.

3.0 Setbacks

The front yard setbacks are proposed to stagger from 20 to 23 feet to a front-loaded garage. Front yard setbacks to any living space, front porch area, or side-entry garage will be a minimum of 15 feet. Interior side yard setbacks will be 5 feet on one side and 10 feet on the other side. Street side yard setbacks will be no less than 15 feet, however, if a lot is adjacent to a 10-foot landscape tract, the side yard will be allowed to remain at 5 feet to meet the required separation. Rear yard setbacks are proposed at a minimum of 20 feet. Proposed development standards are shown in Table 1. A comparison of the City of Casa Grande and the Ghost Hollow Estates development standards is contained in Table 2.

SETBACK AND RESIDENTIAL DEVELOPMENT GUIDELINES							
Proposed Zoning	Minimum Lot Areas	Minimum Yard Setbacks				Max. Bldg. Height	Min. Distance Between Buildings
		Front	Rear	Interior Side	Corner Side		
P.A.D.	6,050 sq. ft. 7,020 sq. ft. 7,150 sq. ft. 7,200 sq. ft. 8,000 sq. ft.	15'/20'	20'	5'/10'	15'	28' 2 story	10'

In Summary:

- The minimum lot width is 55 feet and the minimum lot area is 6,050 square feet.
- The front yard setback for elevations with a House Forward (Livable Area) or a Side Entry Garage is a minimum of 15 feet. A minimum front yard setback of 20 to 23 feet is required for a Garage Forward (Front Loaded) elevation.
- A 3-foot deep staggered front setback will be placed on every 3RD or 4th home in the proposed development.
- Street side yard setbacks shall include the adjacent landscape tracts. In addition to any landscape tract, a minimum 5-foot wide street side yard will still be required.
- Non-foundation home features will be allowed to encroach up to 2 feet into a setback on all sides of a lot. An encroachment of 3 feet into the 10-foot side yard setback, front yard setback and rear yard setback is allowed for bay windows, media niches, fireplaces and other similar home features.
- No walls will be allowed to be built within the Public Utility Easements adjacent to corner lots.
- A Lot Matrix will be provided with the Final Plat describing the exact dimensions and areas of each lot.

4.0 Streetscapes and Entrances

A decorative CMU masonry theme wall will be designed and is included with the attached Preliminary Landscape Plan (Exhibit 8). Distinctive lighted entry monuments will be designed and installed at the two southern entries into the community. Entry monuments will be installed by the developer and maintained by the HOA. Both of the project entries will offer significant formal landscaped medians. A minimum 10-foot wide landscape buffer will be provided adjacent to the local streets.

5.0 Landscaping

The enclosed Conceptual Landscape Plan meets the requirements identified in the City of Casa Grande Design Guidelines for a Planned Area Development. A final landscape plan showing open space tracts and amenities will be submitted with the Final Plat.

Front Yard Landscaping

The homebuilder will be providing the homebuyers with a selection of front yard landscape packages for their homes. The front yard landscaping for each lot shall be installed as part of the home construction package, but maintained by the individual homeowner. The front yard landscaping will comply with the City's PAD standards.

6.0 Street Design

Several cul-de-sacs have been integrated into the design. Curvilinear streets have been introduced where possible and through streets have been minimized to discourage cut-through traffic. No cul-de-sac will be deeper than 600 feet.

7.0 Multi-Story Homes

No multi-story homes shall be built on corner or end lots, including lots at each side of an entrance into the development.

8.0 Side Yard Fence Returns

Side yard fence returns for all interior lot walls shall extend to within 10 feet (10') of the front corner of the homes. All walls exposed to the public shall be painted the color of the primary decorative theme or perimeter walls, except walls for each individual home/lot may be the color of the residence.

9.0 Additional Requirements for Residential PAD Layout Designs

The following additional development standards will be implemented into this subdivision design to satisfy the requirements of the City of Casa Grande General Plan 2010.

- **Cul-de-Sac Designs**
A mix of cul-de-sac designs has been incorporated into the overall development that open into passive and active open space areas.
- **Wrought Iron fencing**
Tubular steel fencing that appears as wrought iron will be used as partial view fencing along the sides and rear of lots abutting the natural wash area and along open space areas.
- **Staggered Setbacks**
The front yard setbacks for this subdivision will be designed to allow for a stagger of at least 3 feet. Stagers will occur on every third or fourth home and will be determined by the Homebuilder.
- **Sidewalks and Pathways**
A trail system will be constructed throughout the project. The system will consist of six-foot wide concrete sidewalks along arterial rights-of-way and four-foot wide concrete sidewalks along local rights-of-way. The open-ended cul-de-sacs will be used as links to the open space areas. A lighted ten-foot multi-use path will be built adjacent to the natural wash along the east side of the proposed development to

allow for future connection to neighborhoods to the north and south.

A neighborhood park system will be established. Recreational features identified on the Conceptual Landscape Plan will include open play areas, tot lots, and ramadas. In addition, active amenities will be added adjacent to the passive areas. The open space areas will be accessible from each neighborhood. Internal walkways shall be designed to provide safe and convenient connections to all of the open space amenities. All sidewalks, walkways and multi-use paths will be constructed of concrete and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director.

- **Landscape Buffer**

A significant landscape buffer will exist between the proposed residences and Pinal Avenue due to the natural wash. The minimum width is expected to be approximately 100 feet.

Additionally, a minimum 10-foot wide landscape tract has been provided along all local streets where lots side onto those streets. These landscape tracts will be maintained by the Ghost Hollow Estates HOA. Landscape tracts along all roadways are depicted in the Preliminary Site Plan.

- **Enhanced Subdivision Entries**

Free-standing entry monuments shall be placed at the primary and secondary project entrances to create a sense of home and community. Construction materials shall include integral colored CMU, colored sign lettering, and decorative ground-mounted lighting. The entry monuments shall use colors that will complement the theme wall. Locations of monuments, details, colors and materials are indicated in the attached Preliminary Landscape Plan. Stamped concrete will be used as an additional accent at the project entries.

- **Enhanced Perimeter Wall Design**

The perimeter theme walls will be designed to use a variety of materials, colors and textures such as smooth face CMU, Fluted CMU, and decorative stone veneer columns. Wall details, materials, colors and textures will be included in the Preliminary Landscape Plan. The walls will also stagger horizontally and break where possible and appropriate.

- **Enhanced Mail Box Design**

Gang mail boxes will be screened with a three-foot tall decorative wall to better integrate these facilities with landscaped areas.

Part III - P.A.D. Architectural Standards

1.0 Introduction

The residential product has not been determined at this time. However, in order to provide the architectural diversity recommended by the City of Casa Grande, the following PAD architectural standards will be included as a part of the project.

2.0 Residential Architectural Standards

The following sections provide information on how Ghost Hollow Estates will comply with the mandatory architectural standards.

Floor Plans and Elevations:

- A minimum of five (5) home floor plans, each with three (3) distinct elevations, will be offered within each definitive housing price range or product type.
- A minimum of five (5) distinct home color schemes will be offered within each definitive housing price range or product type.
- The Homebuilder for Ghost Hollow Estates will strive to offer diversity and uniqueness in the elevations and the color schemes.
- The Homebuilder will not allow two (2) homes with the same front elevation or color scheme to be located on adjacent lots or across from each other. A variety of architectural design features will be incorporated into each elevation to promote diversity.
- There will not be any more than three (3) consecutive similar rear elevations for homes backing onto collector or arterial streets.
- The Homebuilder will place emphasis on designing significant covered front porches, bay windows, etc., into the front elevations of homes. Front entries will be visible from the street.
- Window pop-outs, windowsills, recessed window and/or similar architectural embellishments will be provided on windows.

Roofing:

- A variety of roofing colors, shapes, and/or textures will be offered. Concrete tile roofs will be required for all sloped roofs; however, the City may give consideration to alternative durable roofing materials that are consistent with the proposed housing theme.
- A variation of roof designs will be provided.
- Unique roof colors will be matched to each home color scheme.
- Residential dwelling units and accessory buildings/structures will have no roof-mounted or wall-mounted mechanical equipment, including HVAC or evaporative coolers. This type of mechanical equipment will be ground-mounted.

Garages:

- On lots where side-entry garages can be accommodated, at least one elevation per floor plan per parcel or product type will be designed with a standard side-entry garage.
- At least one elevation per floor plan per parcel or product type will have the livable area of the home forward of the garage.
- Front-loaded garages will not extend further than ten feet past the front plane of the livable portion of the home. In a home where more than a standard two-car front-entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

Patio Covers:

- Rear or side yard covered patios or covered courtyards will be standard on every home.
- Covered patio areas will be incorporated into the architecture of the home.
- The patio cover columns and roofs shall be constructed of the same materials as the home. Alternative complementary materials and designs for patio covers and columns will be subject to review and approval of the Planning and Zoning Commission.

Additions and Modifications:

- All additions to homes will be constructed of the same building materials as the principal residence and painted to complement the home.
- Garages will not be converted for other uses.
- Accessory structures will be located within walled rear yard areas. Accessory structures over 200 square feet in area will be constructed to match or complement the building materials and colors used on the principal residence.

Additional Requirements for PAD Residential Architecture

(Homes to comply with at least four (4) of the following selections)

- The Homebuilder will incorporate a variety of Durable Exterior Materials and Finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
- The Homebuilder will provide significant architectural features, such as dramatic covered front entries, tower elements, large covered front porches, bay windows and/or dormers as standard features on all homes.
- The Homebuilder will reduce the number of standard front-loaded garages (Garage Forward) in a proposed subdivision. At least one floor plan per project or product type will have the garage oriented toward the rear of the home (House Forward) as a standard feature. In addition, the number of floor plans using side-loaded garages (Side-Entry Garage) as standard features will be greater than the required minimum.
- The Homebuilder will reduce the impact of two-story homes by limiting the

second story portion of the home, providing second story plane changes, multiple roof changes, and/or equally effective measures.

- The Homebuilder will place additional emphasis on all windows by providing a variety of window shapes sizes, and arrangements and/or using bay windows on elevations facing streets or open space areas. Pop-outs shall be used for all windows visible to the public.
- Homebuilder's Choice: the Homebuilder may select an architectural requirement beyond the listed standards to increase the diversity of the housing product.

3.0 Approvals

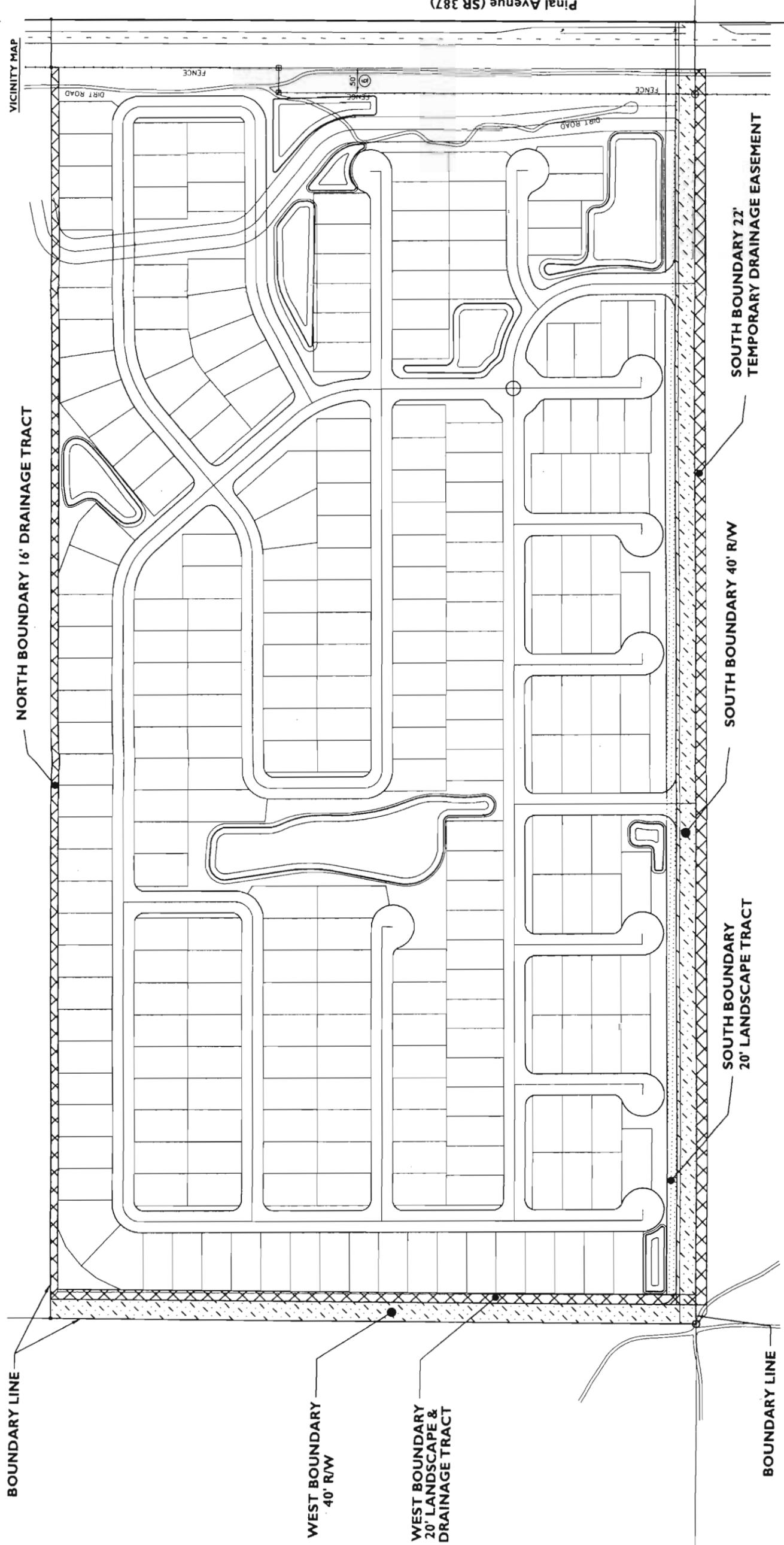
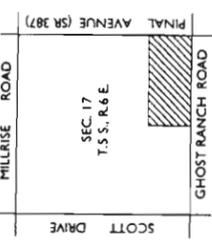
The Developer is proposing to create platted and engineered lots or finished lots for the homebuilding community. Therefore, it will not be possible to present floor plans and elevations as part of the PAD zoning process. At the time of the selection of the Homebuilder(s) by the Developer, the floor plans and elevations will be presented to the Planning and Zoning Commission for their review and approval prior to obtaining permits.

REFERENCES

1. City of Casa Grande General Plan 2010
2. Residential Design Standards for Planned Area Developments
3. City of Casa Grande Title 17 Zoning Ordinance
4. City of Casa Grande Title 16 Subdivision Ordinance
5. City of Casa Grande Web Page (www.ci.casa-grande.az.us.com)

DEVELOPER / OWNER
 PIC HOMES
 P.O. BOX 20926
 MESA, AZ 85277-0926
 TEL (480)-786-1104
 FAX (480)-786-1105

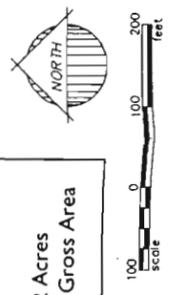
PLANNER / ENGINEER
 EPS GROUP INC.
 2150-1 S. COUNTRY CLUB DR. STE 22
 MESA, AZ 85210
 TEL (480)-501-2250
 FAX (480)-501-2258



LAND DEVELOPMENT DATA

Proposed Land Use	Site Area		Zoning Districts		Minimum Lot Size /Area	No. of Lots	% of Lots	Density		Setbacks			Landscape Area
	Gross	Net	Current	Proposed				Gross	Net	Front	Side	Rear	
Residential	80 Acres	76 Acres	Urban Ranch (UR)	PAD	Lots Over 8,000 S.F.	12	4.6%	3.25 du/ac	3.42 du/ac	20' / 15**	5' / 10'	20'	12 Acres 15% of Gross Area
					60X120 / 7,200 S.F.	34	13%						
					65X110 / 7,150 S.F.	130	50%						
					60X117 / 7,020 S.F.	72	27.8%						
					Total	260	100%						

* DESIGNATES FRONT SETBACK TO SIDE-ENTRY GARAGE OR LIVING AREA.



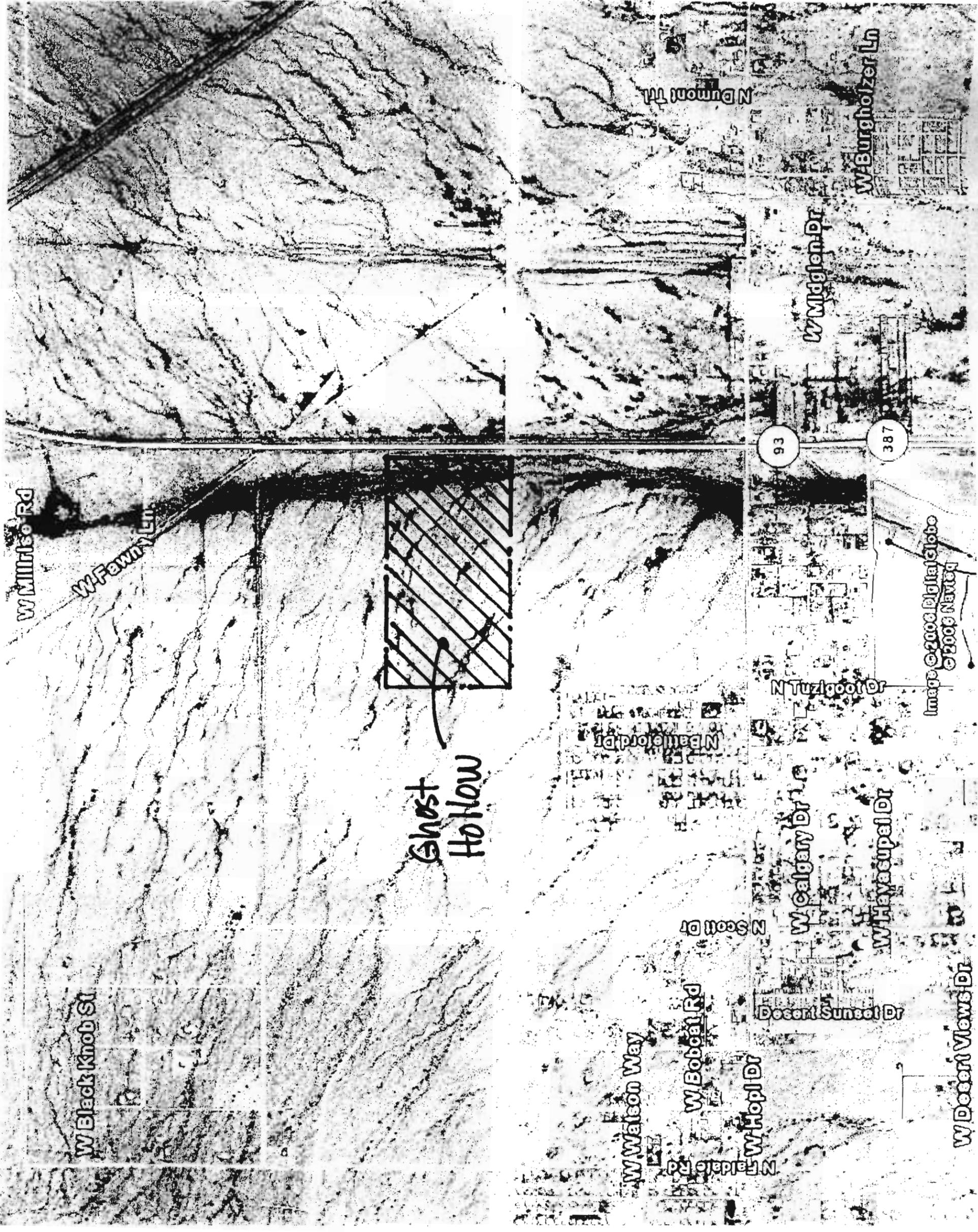
Ghost Hollow Estates
 Exhibit 1
 Preliminary Site Plan

Job No. **05-091**
 Sheet No. **1** of **1**

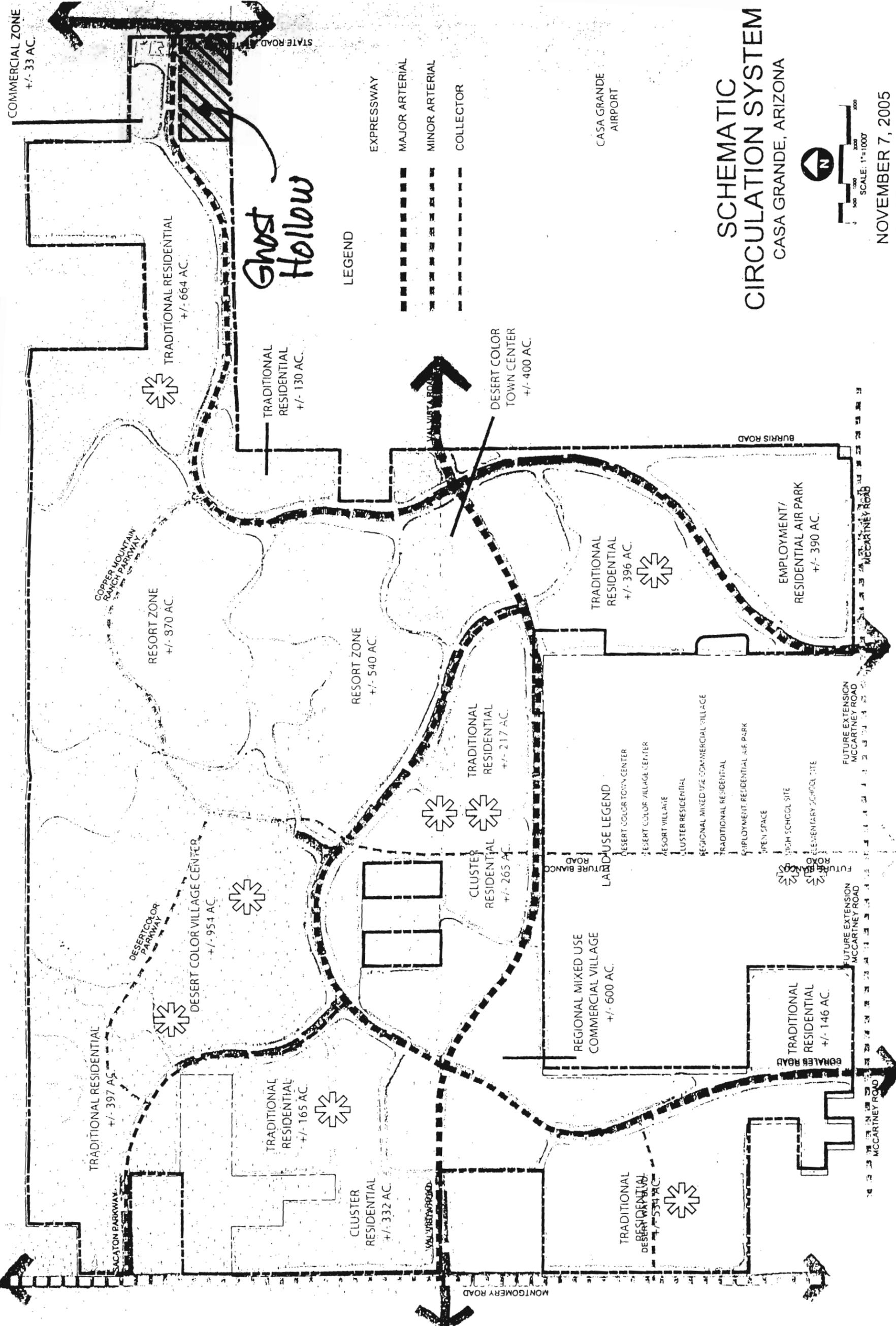
eps group, inc.
 Engineers, Planners & Surveyors
 2150-1 S. Country Club Dr., Ste. 22, Mesa, Arizona 85210
 Phone (480) 501-2250 Fax (480) 501-2258

GHOST HOLLOW ESTATES
 Casa Grande, Arizona
 Preliminary Site Plan

Revisions:
 Date: December 21, 2005
 Drawn by: ME
 Checked by: ME



COPPER MOUNTAIN RANCH



SCHEMATIC CIRCULATION SYSTEM CASA GRANDE, ARIZONA

NOVEMBER 7, 2005
EXHIBIT II-3 PAGE 28

ACK JOHNSON COMPANY
Designing World Destinations
2708 N. 16th Ave., Suite 100 Phoenix, AZ 85016
Phone: 480.714.0200 Fax: 480.714.0208
www.ackjohnson.com

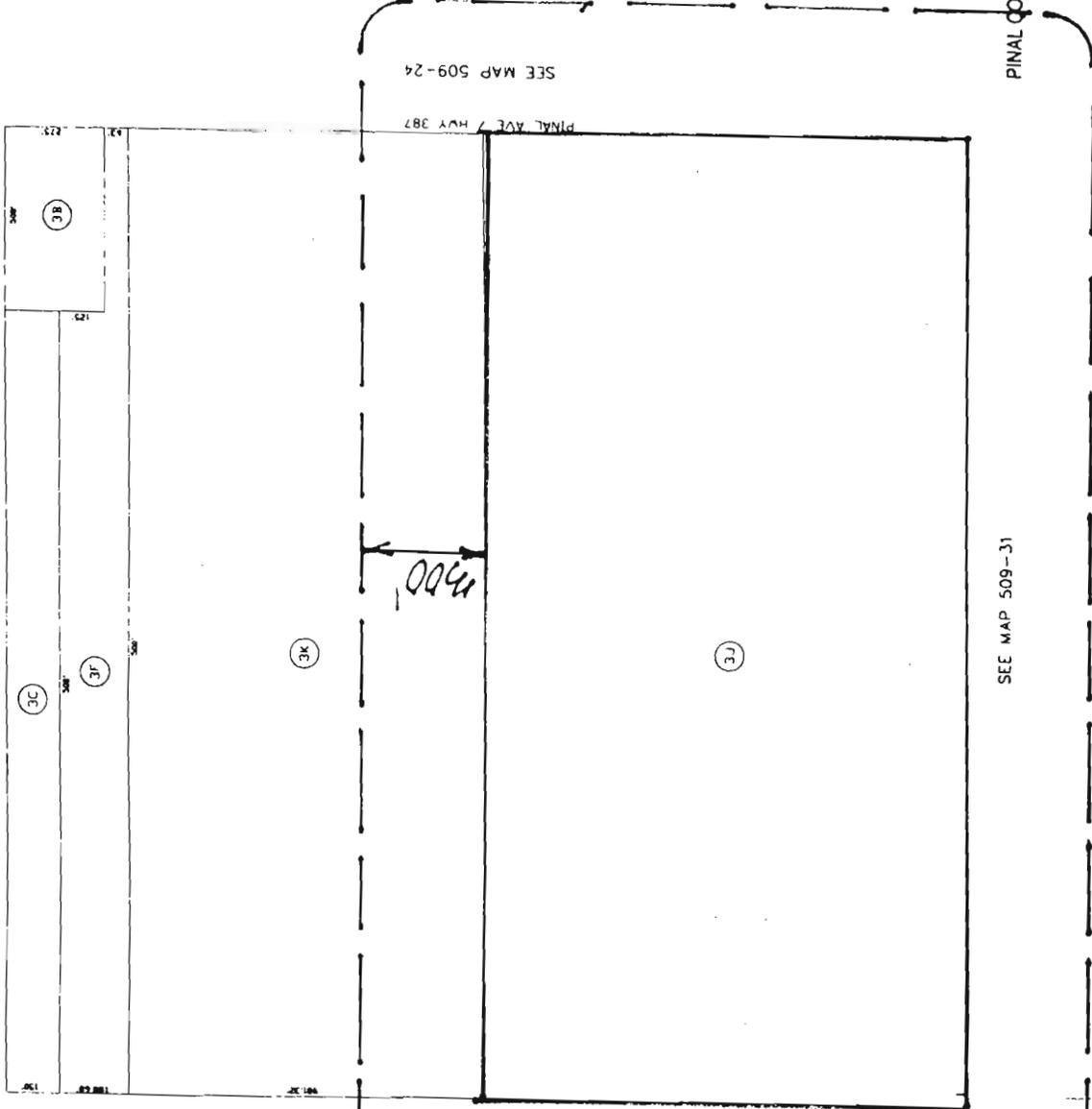
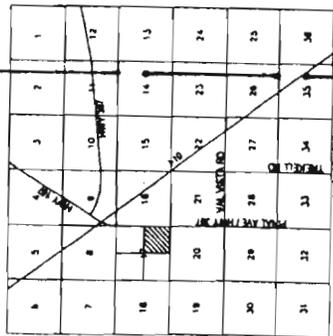
AREA CODE
0400

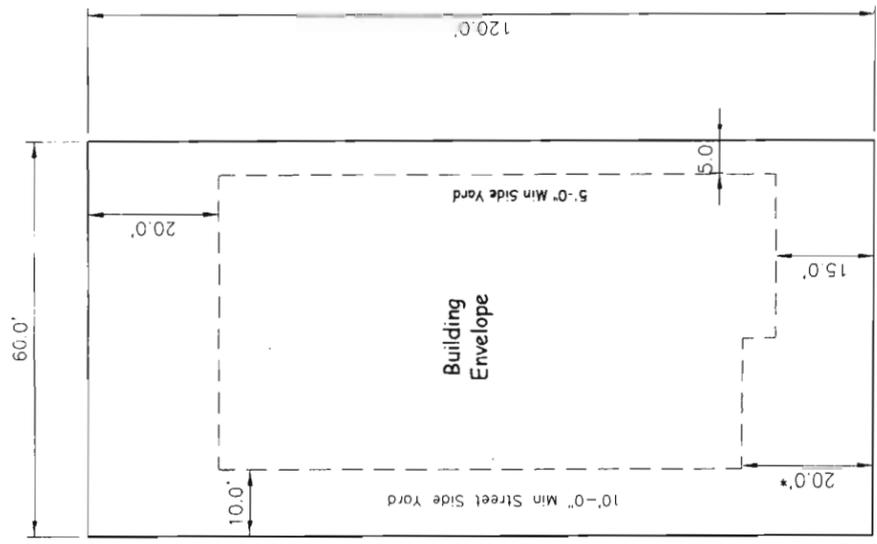
SPECIAL DISTRICTS
00000
00000

THIS MAP IS FOR TAX PURPOSES ONLY.
THIS OFFICE WILL NOT ASSUME LIABILITY FOR
REPRESENTATION MEASUREMENTS OR ACRAGE.

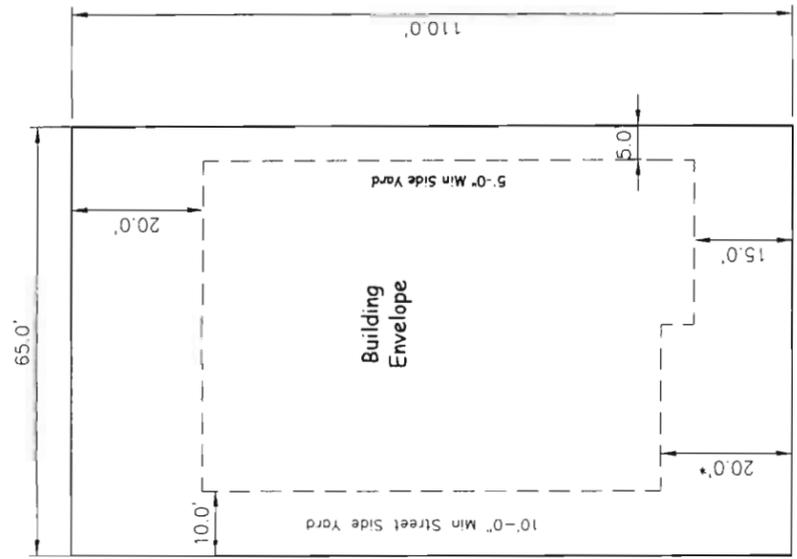
THE ORIGINAL PLAT OF THIS SUBDIVISION IS
ON FILE IN THE COUNTY RECORDERS
OFFICE FOR COMPLETE INFORMATION OF PLAT
AND CARRY CALL (SEE 8887182)

VICINITY MAP

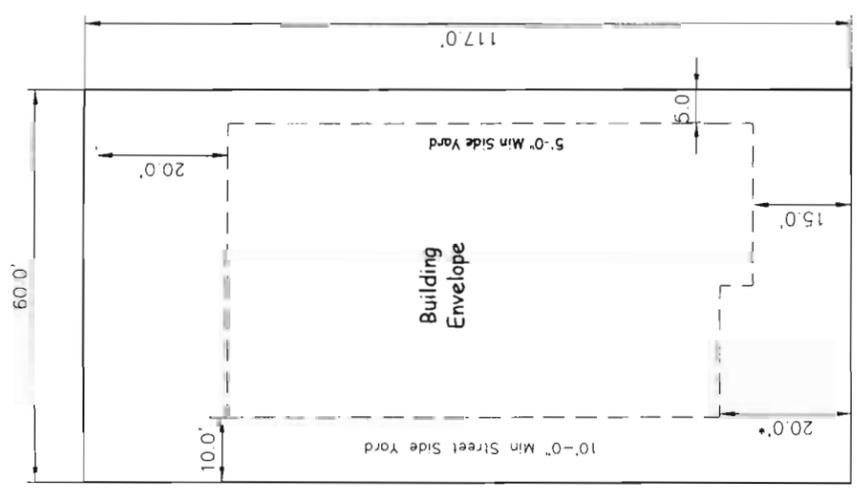




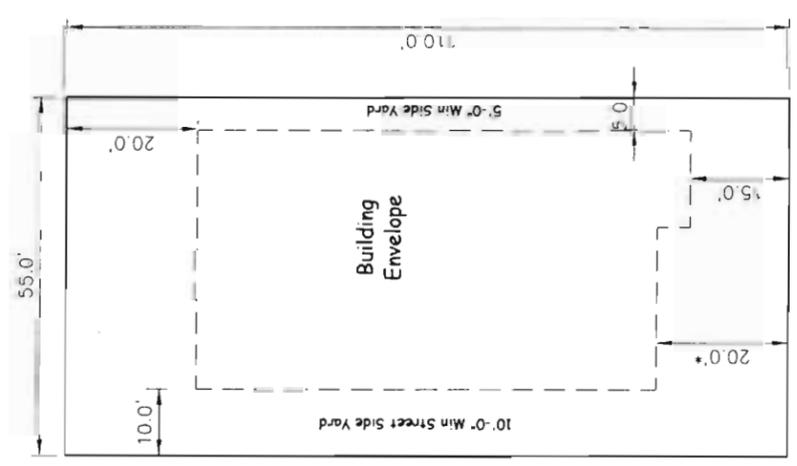
Typical Lot Setbacks
 (7,200 SF Lots)



Typical Lot Setbacks
 (7,150 SF Lots)



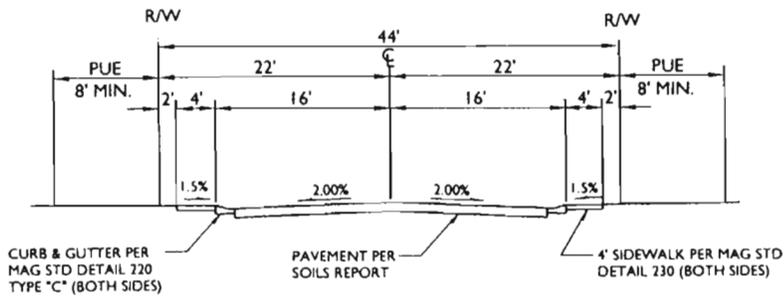
Typical Lot Setbacks
 (7,020 SF Lots)



Typical Lot Setbacks
 (6,050 SF Lots)

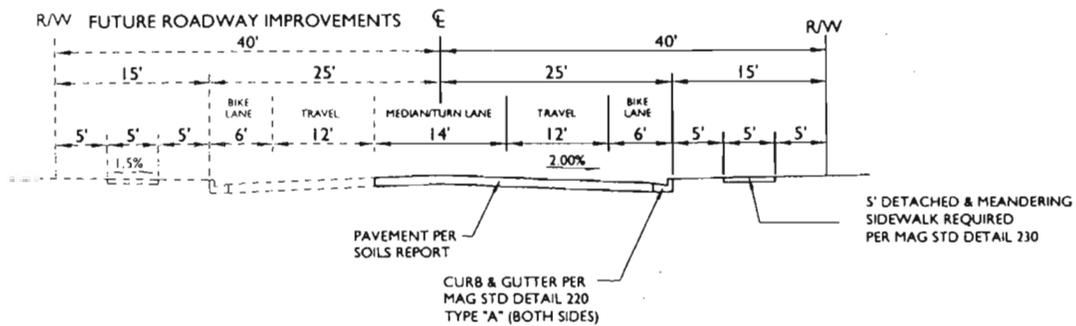
*20' min front setback to street-facing garage
 15' min front setback to living area or side-entry garage

S:\Projects\2005\05-09\1\Planning\Zoning Package\012506 Street Cross Sections.dwg



TYPICAL 44' (URBAN - I) RESIDENTIAL STREET

N.T.S.



80' MAJOR COLLECTOR

(GHOST RANCH ROAD LOOKING WEST)

N.T.S.

CLS3

DEVELOPER / OWNER
 MC HOMES, LLC
 P.O. BOX 20926
 MESA, AZ 85211-0926
 TEL: (480) 786-1104
 FAX: (480) 786-1105

DATE	1/16/23
NO.	23-20-005
PROJECT	TRIPLEX
OWNER	MC HOMES
DESIGNER	NEILL/VECHIA & ASSOCIATES, INC.
SCALE	1" = 100'
DATE	1/16/23

MC HOMES
GHOST HOLLOW
 PRELIMINARY WALL PLAN

PRELIMINARY
 NOT FOR CONSTRUCTION
 CASA GRANDE, ARIZONA

Neill/Vechia & Associates, Inc.
 Landscape Architecture
 Irrigation Systems
 Native Plant Analysis
 and Planning
 Urban Design

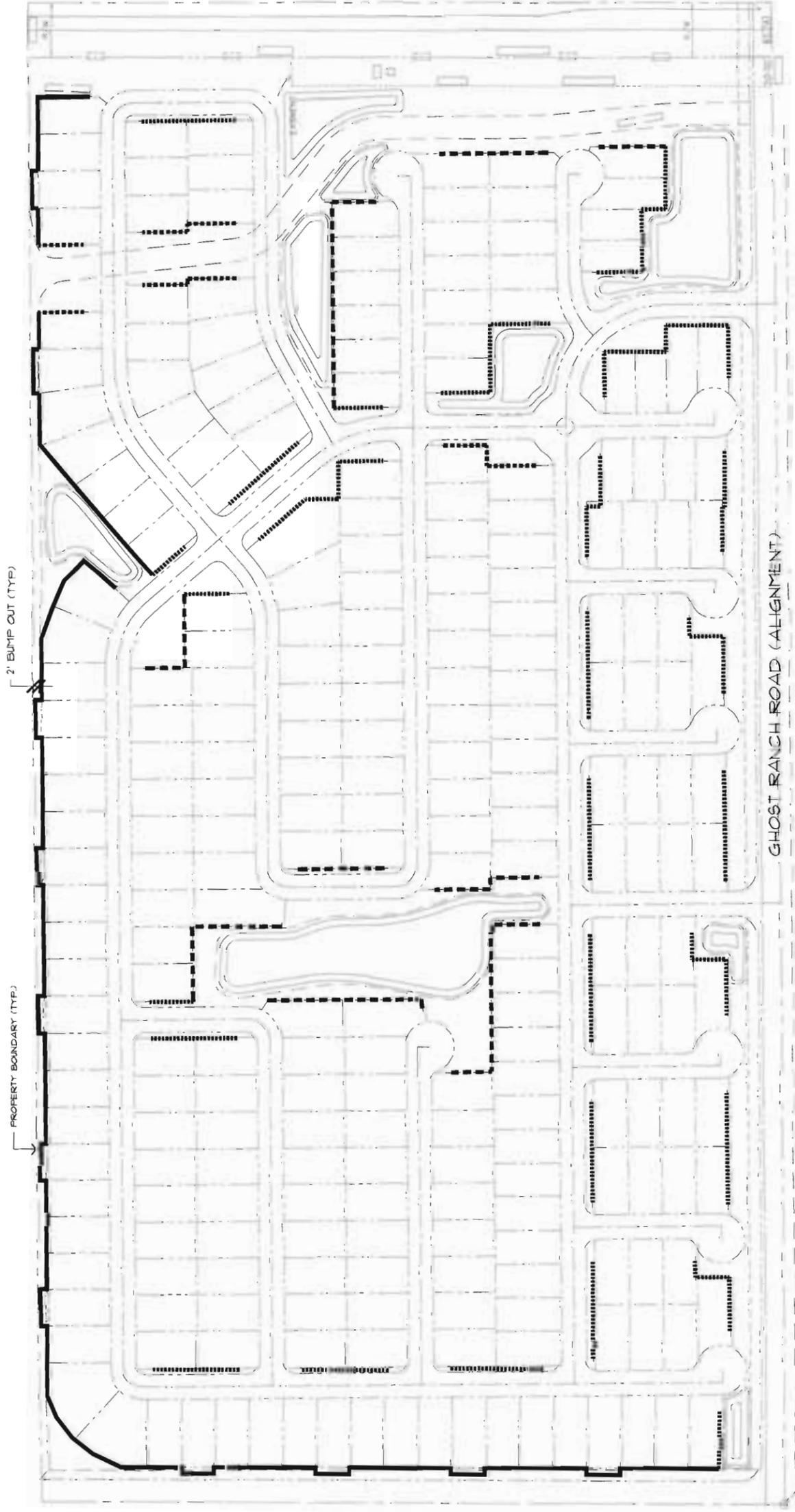
3202 N. CIVIC CENTER BLVD., 11 - SCOTTSDALE, AZ 85251
 PH: (480) 949-7127 - FX: (480) 949-8200

WALL LEGEND:

SYMBOL	DESCRIPTION
.....	6" HT. CHU BLOCK WITH FLUDED ACCENT (TWO TONE PAINT)
-----	PARTIAL VIEW WALL - 4" HT. CHU BLOCK WITH 2" HT. VIEW FENCE (TWO TONE PAINT)
————	TERTIARY WALL - 4" HT. CHU BLOCK WALL WITH CENTER SCORE

NOTES:

- SIDEYARD WALLS TO TERMINATE 30'-0" FROM THE BACK OF ADJACENT SIDEWALK UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY WALLS ARE NOT LOCATED WITHIN DRIVE EASEMENTS AND VEHICULAR SIGHT LINES.
- ALL REAR AND SIDE YARD WALLS SHALL SATISFY FINAL COUNTY POOL BARRIER REQUIREMENTS.
- ALL WALLS SHALL TERMINATE WITH AN END COLUMN.
- ALL SIDEYARD WALLS SHALL BE SOLID BLOCK UNLESS OTHERWISE NOTED.
- CONCEPTUAL WALL PLAN IS SCHEMATIC IN NATURE. CONTRACTOR TO VERIFY ACTUAL CONSTRUCTION DRAWINGS, ACTUAL LOCATIONS, QUANTITIES, SIZES, AND MATERIALS SHALL BE DETERMINED AND WILL BE PER CITY CODES.
- FINAL LOT CONFIGURATION MAY VARY AT THE TIME OF FINAL PLAT APPROVAL.



Mc Homes (Conceptual) - Wall Sizing
 1/16/23 11:00 AM
 1/16/23 11:00 AM
 1/16/23 11:00 AM

