

Gadsden Greens

**A Residential Master Planned Community
in
Casa Grande, Arizona**

**Preliminary Development (Site) Plan
Development Guide**

August, 1999

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MICHAEL L. IVES & ASSOCIATES, INC.



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Gadsden Greens
A Residential Master Planned Community
in
Casa Grande, Arizona

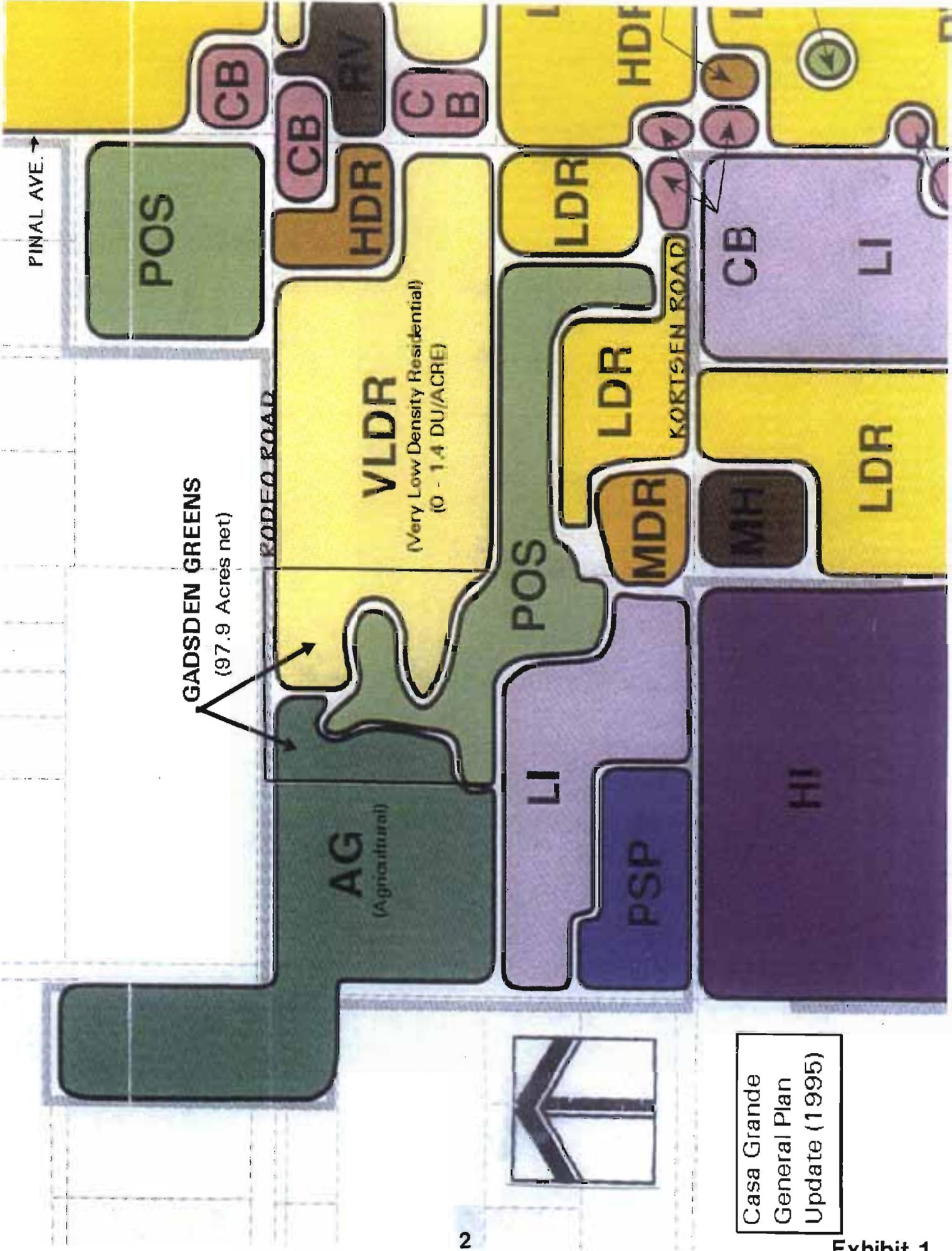
Preliminary Development (Site) Plan
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I. INTRODUCTION

- A. Purpose.** The purpose of this application is to obtain a General Plan Amendment from AG Agriculture and VLDR Very Low Density Residential to LDR Low Density Residential and a subsequent rezoning from UR Urban Ranch to Planned Area Development (PAD) to allow for the development of a 391-lot single-family residential community entailing three (3) single-family detached residential product-types, dedicated residential streets with a commingled network of passive and active open space surrounding a portion of an existing municipal golf course.
- B. Regional Context.** The proposed Gadsden Greens Residential Master Planned Community is located in the northwest corporate limits of the City of Casa Grande in a portion of the northeast quarter of Section 12, T6S, R5E of the Gila and Salt River Base and Meridian, Pinal County, Arizona. The developer is NKS Group VIII Limited Partnership.

The Gadsden Greens PAD site is located on the south side of Rodeo Road approximately one mile west of Pinal Avenue. The site is within the Casa Grande General Plan Update (1995) of which approximately 40% of the site is designated as AG Agricultural and the balance of the site is designated as VLDR Very Low Density Residential (0 - 1.4 dwelling units per acre). (See Exhibit 1). The site consists of 101.22 gross acres and 97.9 net acres, exclusive of the proposed half right-of-way of Rodeo Road.

We believe, considering the marketing dictates of the Casa Grande marketplace, together with the availability of existing infrastructure and the current growth ongoing within the golf course area, that the ultimate development of the subject property would be more appropriate as the requested LDR classification than the current, and perhaps outdated classification, of VLDR.



Casa Grande
General Plan
Update (1995)

- C. **Community Context.** The Gadsden Greens site is currently zoned UR Urban Ranch Residential (32,000 square foot minimum lot size). The Casa Grande Zoning Ordinance (Chapter 17.20.010 Purpose of Provisions) states: "This zone shall be applied to those city areas which are not only generally rural in character, but also those areas which may undergo more intensive development. In which case, the same zoning district shall be considered as a "holding" classification."

A portion of the northwest area of the Casa Grande Zoning District Map is shown on the following page together with a recent (1996) aerial photograph of the same geographic area. (See Exhibit 2). It is interesting to note that this northwest area is realizing considerable residential growth within the last three (3) years since the aerial has been taken. Within this short time period, residential expansion of Casa Grande has accelerated to the northwest as well as to the northeast and east portions of the City. Within less than a mile from the Gadsden Greens development are new residential developments such as Casa Mirage, The Fairways, Desert Sky Ranch and Casa Grande Links to further compliment existing residential developments such as Casa Grande Lakes.

The Gadsden Greens site enjoys a superb setting in its relationship to the existing Dave White Regional Park Municipal Golf Course. The golf course, located all along the southern boundary and virtually the "central core" of the Gadsden Greens site, provides a very desirable amenity to the proposed residential development. The utilization of the Casa Grande Water Treatment Plant, providing requisite utility service to the existing and new residential developments in the immediate area, further accounts for this growth expansion of the northwest area.

- D. **Development Zoning History.** The development potential of the subject property, as well as the 60-acre parcel which is currently the back nine holes of the Dave White Regional Park Municipal Golf Course, has been active for the past 13 plus years. The previous owner of the 160-acre composite parcel, together with the City of Casa Grande, was successful in the actual co-development of the existing back nine holes through the implementation of a Development Agreement in 1987 which allowed for the construction of the golf course on 60 acres and established several planning and engineering parameters for the development of the residual 100 plus acres land circumventing the golf course. The Development Agreement addressed various issues regarding the ultimate development of the residential project including grading and modification of floodplain limits to facilitate a residential development, provision of detention facilities on the golf course property to facilitate the residential development (a development concept plan showing

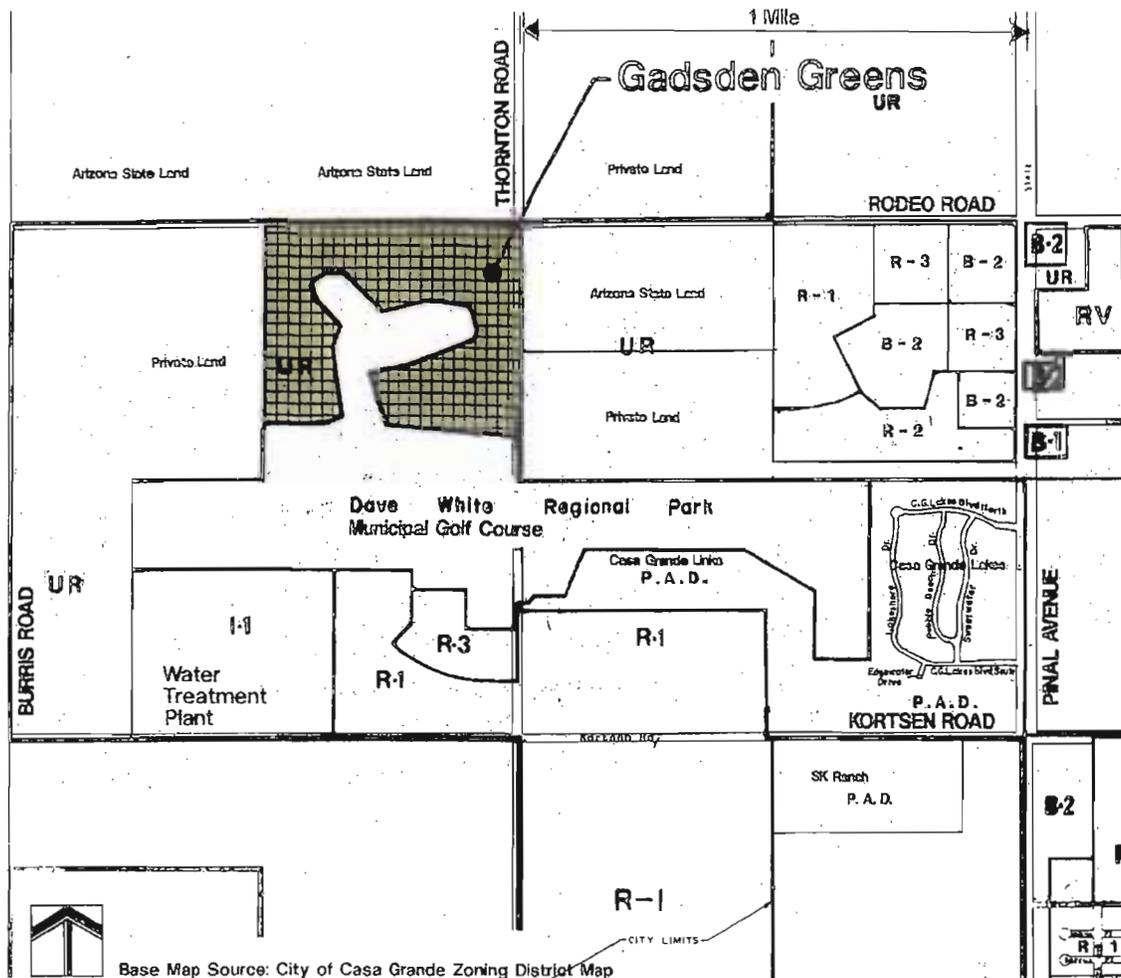
544 residential units and a small commercial facility was used as a basis for determining the requisite detention requirements for the development to be provided in dry-storage basins within the golf course), etc.

- E. Development School Education Needs. The developer of Gadsden Greens has met with both Steve Demuzio, Supt. Of the Casa Grande High School District, and Frank Davidson, Supt. of the Casa Grande Elementary Schools, recently to discuss the proposed Gadsden Greens residential development. Both school officials stated that there currently was no need to incorporate land for school use nor was there a current requirement for either school district to receive financial contributions from the Gadsden Greens development resulting from the development impact on the respective school district.

The Gadsden Greens development site is within the current Cholla Elementary School attendance area. At the present time, Cholla School is expected to have capacity for student residents of this development. Grades K-6 children from the development would attend Cholla Elementary and, commencing in 2001, grades K-5 students would attend Cholla Elementary and grades 6-8 students would attend the middle school to be built on the same campus setting as Cholla Elementary located at Kortsen Road and Trezell Road. According to school district generation of student population ratios, there would be approximately 196 elementary (grades K-8) students and approximately 78 high school (grades 9-12) students generated from the Gadsden Greens development at full build-out, anticipated being within three to four years of the current date.

As cited above, there is currently no need to incorporate a school site or a portion of a school site in the proposed development plan for Gadsden Greens at this time. ~~However, the developer and his agents have met recently on several occasions with Dr. Frank Davidson of the Casa Grande Elementary School District regarding a voluntary reservation of approximately four acres of land within the eastern portion of the Gadsden Greens development for a possible elementary school site (See Appendix for October 7, 1999 letter from David Udall, agent for developer, to Dr. Frank Davidson for particulars).~~

Based upon the developer's agents personal presentation and review of the Gadsden Greens development plan with Dr. Davidson, it was our understanding that the network of collector and local streets designed for the project would easily facilitate bus pick-up and drop-off of the students. In all likelihood, a bus would enter either the western or eastern modified collector street and make a pick-up/drop-off at the confluence of the collector with the local street and then proceed on the local street to the confluence intersection of the remaining interior modified collector street and then exit the development. If it is necessary, the buses could further increase their collection to the southwest and the southeast of the development through the planned looped local streets.



Base Map Source: City of Casa Grande Zoning District Map



Aerial Photograph Source: USGS Color Infrared Photo 1996

II. SITE CONTEXT

- A. **Site Analysis.** Currently, the site is undeveloped and in a natural state. The site is bounded by undeveloped desert on the north, east and west, and the North Branch of the Santa Cruz Wash on the south. The vegetative communities found on the site are typical of the lower Sonoran desert scrub at elevations between 500 feet and 3,500 feet above sea level. Specifically, this site is characterized by sparse mesquite to moderately dense mesquite interspersed with a few acacias along the wash areas. The vast majority of the site is characterized with low scrub growth.

Rodeo Road, an existing 66' dedicated right-of-way, abuts the entire northern boundary of the site with a total length of approximately 2,630 feet. Rodeo Road west of Pinal Avenue, approximately one mile to the east of the site, is an unpaved roadway. The roadway width varies from 20 feet to 40 feet and is stabilized with decomposed granite. Rodeo Road west of Thornton Road, located at the northeast corner of the site, consists of compacted dirt, which appeared to be regularly maintained. The only access to the proposed development at this time is through the intersection of Rodeo Road and Pinal Avenue. This intersection is signalized with pedestrian heads, but no protected left-turn phasing. With the exception of the curb returns for the intersection, there is no curb, gutter or sidewalk.

Thornton Road (northeast corner of the site) improvements do not exist directly south of Rodeo Road. The Thornton Road existing half right-of-way of 33' is along the eastern boundary of the site for a distance of approximately 2,660 feet. North of Kortsen Road (one mile south of Rodeo Road), Thornton Road serves as the sole entrance to the existing Dave White Regional Park Municipal Golf Course as well as existing and under development residential areas. Extending Thornton Road from Kortsen Road north to Rodeo Road is physically impossible due to the existing golf course improvements.

Within the existing 33' dedicated right-of-way for Thornton Road along the entire eastern boundary of the site, there are overhead electric lines (along the western edge of the 33' right-of-way) and a 30-inch municipal sanitary sewer line (located 3' west of easternmost property line). Four sewer manholes exist along this 30" sewer line from the centerline of Rodeo Road right-of-way to the existing fenced-in pump station located at the extreme southeast corner of the site.

A wire fence exists along the property's western boundary to confine cattle on the property to the west. It will be the responsibility of the developer/builder/HOA to maintain this wire fence to confine the cattle on the western adjacent property.



Gadsden Greens

SITE ANALYSIS
Exhibit 3

The highest elevation of the site is located at the northeast corner at the right-of-way intersection of Rodeo Road and Thornton Road where the elevation is 1,378.4'. The lowest elevation on the site is at the southwest corner with an elevation of 1,360.7'. The site maintains a total elevation fluctuation of approximately 17 feet. The site's watershed flows from north to south and southwest in a basic sheet runoff pattern of approximately 0.5 percent. Two soil stockpiles exist on the site located to the west and eastern extremities of the northern portions of the golf course. Each soil stockpile has a base elevation of four to 5 feet. The stockpiles were created as a result of the golf course construction several years ago in compliance with the Development Agreement for this property between the City of Casa Grande and the property owner.

As previously mentioned, the inner core of the site circumvents the northern portions of the Dave White Golf Course resulting from previous planning concepts discussed in detail by the previous project owner with the City of Casa Grande and the implementation of ancillary planning and engineering considerations for the development of the residential portion of the project commensurate to the provisions of the 1989 Development Agreement. Negotiations were made between the land owner and the City of Casa Grande to incorporate a 60-acre portion of the overall original Gadsden site to allow the development of the back nine holes of the golf course. The routing plan developed originally by Michael L. Ives & Associates, Inc. on behalf of the land owner and the commensurate golf course improvement plan, prepared by Jack Snyder, Golf Course Architect, culminated in the construction and development of the golf course back nine holes as they exist today ... an integral part of the overall 161-acre parcel allowing an adaptable and cohesive future development potential for a mixed-use residential development on the remaining 101-acre parcel. As a result, the Dave White Golf Course affords more than 7,700 lineal feet (close to 1 ½ miles) of a golf course frontage for the development of the Gadsden Green residential PAD, thus facilitating an opportunity for a unique, innovative and superlative development plan as exemplified by the proposal currently under consideration by the City of Casa Grande in this GPA and rezoning application to allow a residential Planned Area Development of 391 detached single-family homes with ancillary amenities.

B. **Field Photographs.** The Site Analysis (Exhibit 3) illustrates the field location of eight photographs taken of the site to illustrate existing site characteristics:

- Photo 1 was taken at the extreme northwest corner of the site looking in an easterly direction along the existing southern right-of-way of Rodeo Road. The existing bladed dirt roadway of Rodeo Road can be seen to the north (left side of the photo) and a portion of the site's frontage along Rodeo Road can be seen to the south (right side of the photo). Sparse growth of lower Sonoran scrub growth is visible.
- Photo 2 is taken within the site a few feet north of the 14th green of the Dave White Golf Course. Scrub desert vegetation is visible with a very sparse scattering of Mesquite trees to the right (east). A mountain range is visible to the north-northwest in the far distance.
- Photo 3 is taken at the same location as Photo 2 but looking in a southern direction at the 14th green and 15th tee of the Dave White Golf Course. This photo was strategically taken to illustrate the view which would be realized subsequent to the development of the Gadsden Greens development plan since it is approximately at the terminus of the collector (modified) street which "T's" into the east-west local street within the development plan. The intent of the plan is to maximize on the aesthetics and openness afforded the development by the existing golf course.
- Photo 4 is taken along the golf course boundary midway down the 13th fairway looking in a west-southwestern direction at the existing Mesquite Bosque. The densest growth of the Mesquite trees (approximately 60% of the Mesquite cluster) will be retained with minor grubbing made so as to make the Mesquite Bosque usable to the residents of Gadsden Greens as a passive recreation area. The total area of Mesquite Bosque conservation is approximately 3.3 acres at the southwest corner of the Gadsden Greens residential PAD.



PHOTO 1: View looking east along Rodeo Road at NWC of Property.

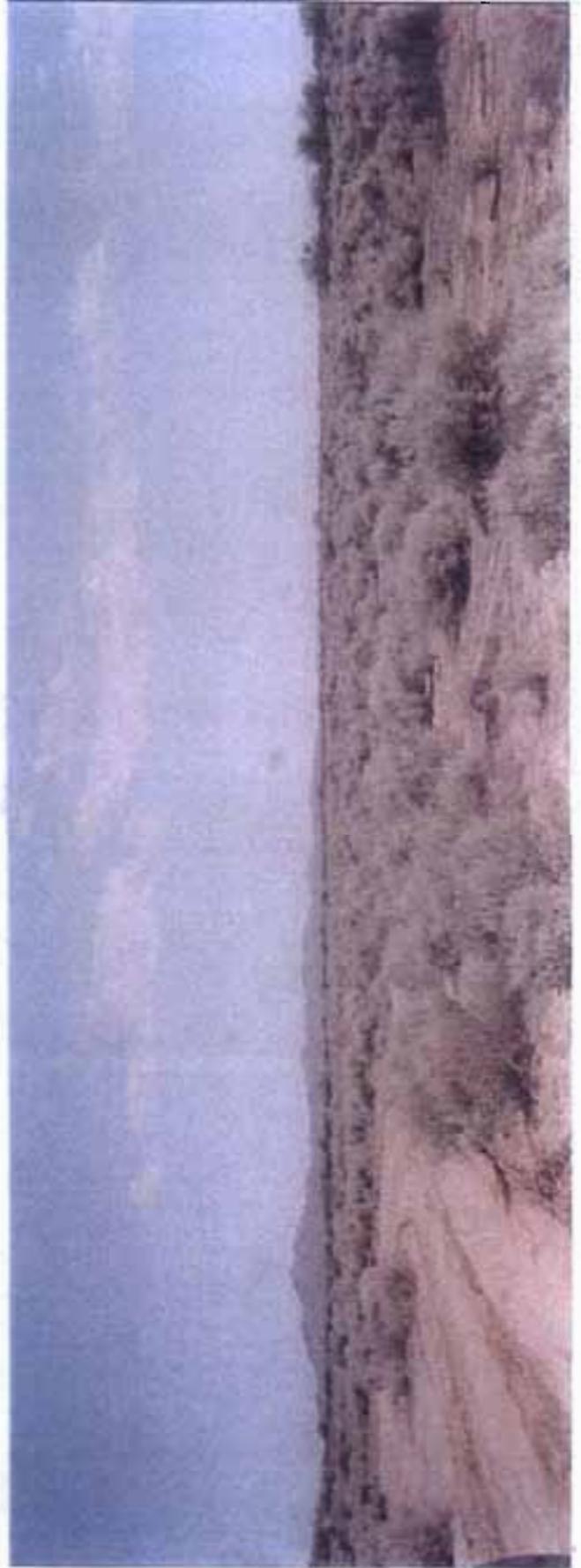


PHOTO 2: View looking north at Property just north of the 14th green.



PHOTO 3: View of green 14 & tee 15 as seen from terminus of modified collector street within Gadoden Greens.

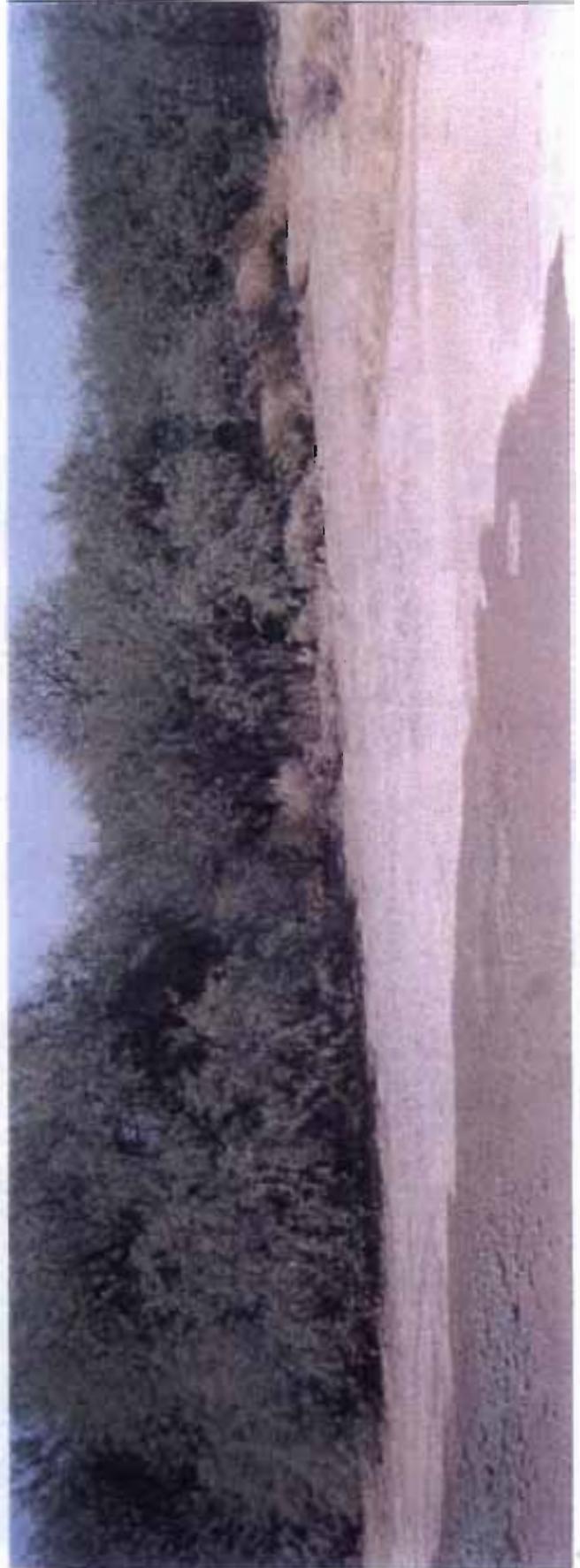


PHOTO 4: View of native Mesquite bosque at SWC of Property (future Common Area for use by residents).

- Photo 5 is taken at the extreme southeast corner of the site taken from slightly off-site looking in a south-southwesterly direction. The sewer substation is centrally located over the existing 30-inch sewer line running the length of the site's eastern boundary. To the right (west) of the substation, one can see the overhead electric service poles and lines within the existing 33' Thornton Road street right-of-way and utility easement.
- Photo 6 is taken from a point on the site immediately west of the pump substation looking in a southerly direction at a sparse growth of native Mesquite trees which will be preserved on-site within the common area owned and maintained by the Gadsden Greens Home Owners Association.
- Photo 7 was taken from a point northeast of the 15th green and 16th tee within the Dave White Golf Course looking in a southwesterly direction of the 15th green and 16th tee. The context of this photo is similar to Photo 3 in that it represents a comparable view that residents and visitors of Gadsden Greens would realize at the terminus of the modified collector street as it merges into the internal local street network servicing the residential development.
- Photo 8 was taken along the northern portion of the eastern property line looking in a southwesterly direction toward the golf course. This photo was also strategically taken at a specific point since it is close to the centerline of the eastern modified collector street which will service the site at the point where the entire modified collector street right-of-way is within the subject property. At this point along the future modified collector street right-of-way, vehicular and pedestrian notice will be made of the golf course seen in the background.



PHOTO 5: View to south (from off-site) at Sewer Substation (vehicular maintenance access by Common Area).



PHOTO 6: View of sparse Mesquite area at SEC of Property (future Common Area for use by residents).



PHOTO 7: View of green 15 & tee 16 as seen from terminus of modified collector street within Gadsden Greens.



PHOTO 8: View at NEC of Property from throat of future modified collector street entering the development.

III. PRELIMINARY DEVELOPMENT (SITE) PLAN

- A. **Residential neighborhoods.** The Gadsden Greens residential PAD is a harmonious mix of five neighborhoods commingled with passive and active recreational open space within a dedicated curvilinear and cul-de-sac street network circumventing a portion of the Dave White Municipal Golf Course. Sole access to the residential development is from two modified collector streets spaced approximately one-half mile apart along the Rodeo Road right-of-way. Rodeo Road, currently at a 33' half right-of-way, will be widened to a 55' half right-of-way to allow for construction of a minor arterial roadway cross-section on the south right-of-way fronting the parcel.

The five neighborhoods of Gadsden Greens allow for three distinct single-family detached product types of one and two story construction. Typical lots sizes include 50'x110', 55'x110', and 65'x110'. No multi-story home will be built on lots less than 6,000 square feet in area. Roof-mounted mechanical equipment (e.g., HVAC, swamp coolers) will not be allowed on residential dwelling units and accessory buildings/structures.

In accordance with the "Residential Design Standards for Planned Area Developments", no more than 25% of the total single-family lots shall be less than 7,000 square feet in area. The Preliminary Plat of Gadsden Greens will have an individual lot-by-lot matrix of lot areas illustrating that there is a maximum of 25% of the total lots within the development that are less than 7,000 square feet in lot area. The Preliminary Plat will conform to all standards of design of the City of Casa Grande PAD ordinance and respective residential design standards.

- B. **Building Setbacks.** In accordance with the Casa Grande PAD district and the "Residential Design Standards for Planned Area Development", building setbacks for Gadsden Greens are:

- **Front setbacks:** 15' min. to livable, 20' min. to garage face.
- **Rear setbacks:** 25' min. backing arterial and collector roads without an 18' landscape buffer from back of curb to property line, 20' min. backing arterial and collector roads with an 18' landscape buffer from back of curb to property line, and 15' min. all other lots.
- **Side setbacks:** 5' min., providing there is a 10 foot min. separation between one-story homes and a 15' min. separation between two-story homes and any other home.
- **Corner setbacks:** 15' min. which may include an adjacent landscape tract as long as 5' of the 15' is on the lot itself.
- **PAD perimeter setbacks:** 25' min.

- Adjacent 1-story single-family units shall have no less than a combined 10' side yard separation distance; no less than a combined 15' side yard separation distance shall be provided between a multi-story home and any other home.

C. **Land Utilization.** There are five land utilization categories of residential lots: area of residential lots, area of perimeter arterial roadway (Rodeo Road), area of (modified) collector roadway, area of interior dedicated streets (local and culs-de-sac) and area of active and passive open space. As shown on the following Table 1, a minimum of 10.1 percent of the project has been allocated for passive and/or active recreational open space in accordance with the PAD Standards of Design (minimum open space requirement of 10 percent of the total PAD area).

Table 1

Plan Data / Total Land Utilization

Land Use	Square Feet (SF)	Acres (Ac+/-)	Percent (%)
Area of Lots	2,877,118	66.05	65.2
Area of Rodeo Road	144,582	3.32	3.3
Area of Collector Streets	127,720	2.93	2.9
Area of Interior Streets	815,411	18.72	18.5
Total of Open Space	445,183	10.22	10.1
Total Gross Site	444,410,014	101.24	100.0
Total Net Site for Density (gross project area less Rodeo Road @ 55')	4,265,432	97.92	

D. **Land Utilization by Neighborhood.** The following table illustrates land utilization areas and percentages by neighborhood.

Table 2

Plan Data / Land Utilization by Neighborhood

Neighborhood	Area of Lots (Ac+/-)	Percent (%)	Area of Rodeo Road (Ac+/-)	Percent (%)	Area of Collector Roads (Ac+/-)	Percent (%)	Area of Interior Streets (Ac+/-)	Percent (%)	Area of Open Space (Ac+/-)	Percent (%)	Total (Ac+/-)	Percent (%)
A	10.83	16.4	—	—	—	—	2.76	14.8	0.16	1.6	13.75	13.6
B	12.57	19.0	—	—	0.65	22.2	3.17	16.9	2.45	23.9	18.84	18.6
C	8.44	12.8	1.02	30.7	1.11	37.9	2.68	14.3	0.60	5.9	13.85	13.7
D	16.84	25.5	1.81	54.5	0.58	19.8	5.28	28.2	1.98	19.4	26.49	26.2
E	17.37	26.3	0.49	14.8	0.59	20.1	4.83	25.8	5.03	49.2	28.31	27.9
Totals	66.05	100.0	3.32	100.0	2.93	100.0	18.72	100.0	10.22	100.0	101.24	100.0

The densities of the different neighborhoods are very compatible with each other (Table 3). The overall density for Gadsden Greens will not exceed the allowable 4.0 dwelling units per acre allowed by the requested Low density Residential General Plan designation.

Table 3

Neighborhood Area	Density
41.50 acres	3.6 DU/AC
43.59 acres	4.2 DU/AC
12.81 acres	4.6 DU/AC

- E. Marketing Factors of design.** As part of any well-conceived land plan, marketing factors of design should have a high influence in the site plan concept. Today's home buyers are searching for communities that are more livable and friendly. Builders and developers who respond to this will be more successful. Neighborhoods are being redefined as more meaningful and integrated places within the overall community. Reducing the scale of the neighborhood and providing small passive and active parks and open spaces, linked with walkways and meandering trails, promotes social interaction and enhances the enjoyment of living in a planned community. Greater attention is placed relative to the interplay of homes and the street. Creative site planning is the key to enhancing street scenes. For instance, long strings of homes without a break result in a monotonous and undesirable regimentation to the street scene. Providing an intersection, a significant road curve where possible, the use of a cul-de-sac road design, or providing a wider or irregular landscape area alongside the streetscape enhances a development's appearance and marketability. The City of Casa Grande has carefully analyzed innovative site planning design criteria and has implemented many of the innovative planning design elements with the adoption of the PAD Ordinance and, in particular, the "Residential Design Standards for Planned Area Development (July 21, 1999)." The Preliminary Development (Site) Plan for Gadsden Greens incorporates many of these design standards as will be discussed further in this report.

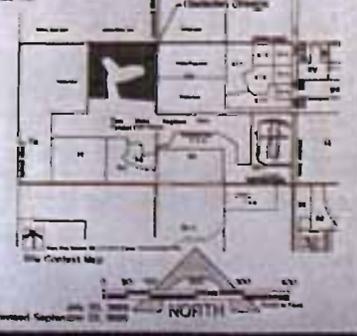
Resulting from the incorporation of innovative design concepts in the site planning process for the Gadsden Greens development, the following increased marketing factors for the development are achieved.

Table 4

Plan Data / Marketing Factors

Neighborhood Area	Golf Course / Open Space Orientation	Percent (%)	Cul-de-sac / Bulb Orientation	Percent (%)	North / South Orientation	Percent (%)
A	32 of 58	55.2	11 of 58	19.0	44 of 58	75.9
B	31 of 79	39.2	21 of 79	26.6	47 of 79	59.5
C	11 of 59	18.6	16 of 59	27.1	30 of 59	50.8
D	51 of 105	48.6	46 of 105	43.8	33 of 105	31.4
E	52 of 90	57.8	44 of 90	48.9	46 of 90	51.1
Totals	177 of 391	45.3	138 of 391	35.3	200 of 391	51.2

- 45.3 percent of the residential lots within the development are oriented toward the golf course or recreational open space (passive or active).
- 35.3 percent of the residential lots within the development have orientation on a cul-de-sac street or are recessed from the street scene by a knuckle (bulb).
- 51.2 percent of the lots within the development are oriented in a north-south direction to take advantage of solar orientation and reduction of evening glare.



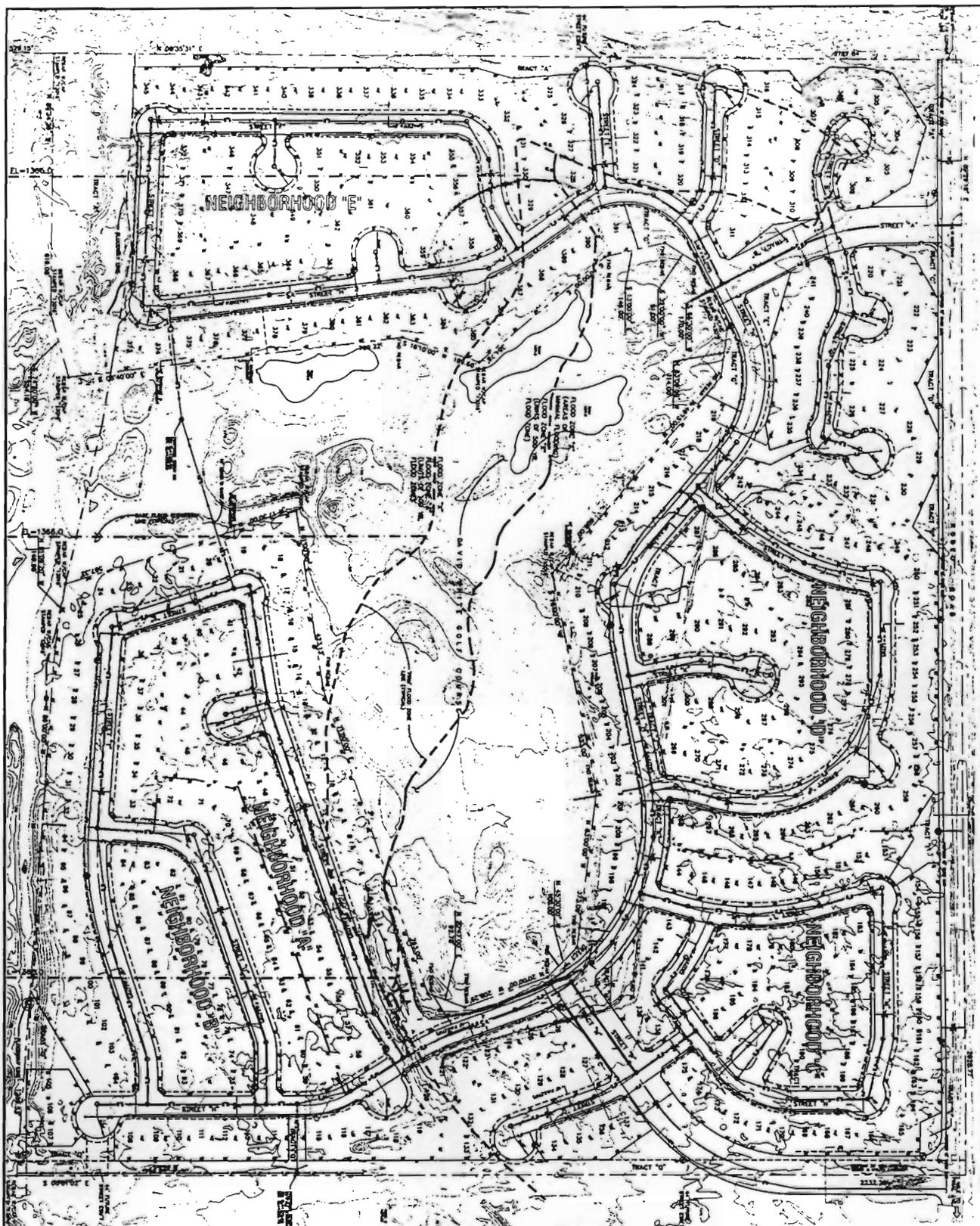
Preliminary Development (Site) Plan
 A portion of the Northeast Quarter
 of Section 10, Township 21 North, Range 3 East
 of the 11th and 12th Meridian, DeWitt
 County, Florida, Florida County, Florida

Map is portion of the project file in the Planning and Zoning Office of the
 County (not filed, recorded as Date 1/27/10, by the Planning and
 Zoning Office File No. 2009007 2010, 1, 10000, 000000

Exhibit 8

Gadsden Greens

A Residential Master Planned Community in Gadsden County, Florida



PRELIMINARY PLAT OF "GADSDEN GREENS"

A PORTION OF THE NORTHEAST QUARTER OF
SECTION 12, TOWNSHIP 6 SOUTH, RANGE 5 EAST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
PINAL COUNTY, ARIZONA



- SYMBOLS**
- Proposed Lot
 - Proposed Street
 - Proposed Right-of-Way
 - Proposed Easement
 - Proposed Utility Line
 - Proposed Boundary
 - Proposed Survey
 - Proposed Plat
- LEGEND**
- Easement Line
 - Boundary Line
 - Right-of-Way Line
 - Utility Line
 - Survey Line
 - Plat Line
- UTILITY LINES**
- Water
 - Sewer
 - Gas
 - Electric
 - Telephone

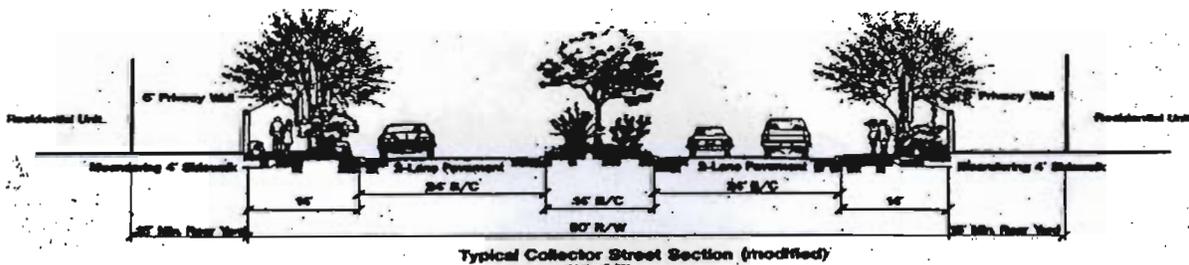
PRELIMINARY PLAT OF "GADSDEN GREENS" PINAL COUNTY CASA GRANDE, ARIZONA	1" = 100' SECTION 12 RANGE 5E TOWNSHIP 6S PINAL COUNTY ARIZONA 2 OF 2 HW50001	DAVID EVANS AND ASSOCIATES, 1818 N. 10TH STREET, STE. #840 PHOENIX, AZ 85006-4448 (602) 979-4111	DESIGN BY: DXR	
			CHECKED BY:	
			DATE: 7/99	REVISED 8/14/99 PER CITY REVIEW CDC

- F. **Vehicular Circulation.** Gadsden Greens will have minimal external impact to the surrounding roadway system. The intersection of Rodeo Road and Pinal Avenue will operate at a level of service "B" in the horizon year (2002) with or without the project-generated traffic. A 24-foot wide permanent paved roadway on Rodeo Road from Pinal Avenue to the development's northeast corner (Thornton Road intersection) will be constructed by the developer/builder of Gadsden Greens. A half-street minor arterial roadway improvement along the project's frontage on Rodeo Road (south right-of-way of 55') will also be constructed by the project's developer/builder. A left-turn lane, designed in conformance with Casa Grande engineering standards, will be constructed on Rodeo Road at each of the two project access roads (modified collectors), subject to the City Engineer's review/approval. This can be done by striping a left turn lane from the required half-street improvements.

The development plan for Gadsden Greens incorporates a hierarchy of four street categories (refer to title sheet of Preliminary Plat of Gadsden Greens located in the appendix):

- A 55' half right-of-way Minor Arterial roadway improvement for the frontage of the development along Rodeo Road.
- A Modified Collector Street with a 90' right-of-way to allow for a break in the 48' 4-lane roadway cross-section vis-a-vis the introduction of a 14'-wide median separating the two 2-lane roadways. The increase in right-of-way allows for a more aesthetic streetscape as well as provide for better traffic control. Additionally, the 4' concrete sidewalk on each side of the pavement will offset from the typical curbside orientation and will meander in the 14' shoulder (parkway) buffer area on each side of the pavement allowing for a safe and enhanced aesthetic environment for the residents and the visitors of Gadsden Greens.

It should be noted that the current right-of-way for Thornton Road is 66' which does not allow for the entire cross section improvement proposed for the modified collector street which encompasses a 90' right-of-way. It is noted that there is adequate right-of-way for the entire roadway improvement on the east side but there is currently inadequate right-of-way for the sidewalk and parkway on the east side. Please refer to the Appendix regarding current pursuit of the additional right-of-way for the east side of Thornton Road.



- 44' right-of-way local roadways internal within the development. using the two modified collector roadways as their tributary access. The 44'-wide local street which connects the terminus of the two modified collector streets maintains a linear open space corridor on the north side to expand the streetscape environment. Direct driveway access to this streetscape is restricted on the north side to allow for continuity of pedestrian movement within the linear park. The conventional 4' curbside sidewalk on the north side of this section of the local road connecting the two modified collector streets will be meandering within the open space area to allow for a safer environment and provide for a more pleasing experience for the users of the meandering sidewalk. The linear park connects with several "Pocket Parks" as can be seen on the development plan.
- 40' right-of-way cul-de-sac roadways and bulbs conforming to Casa Grande design and construction standards. The island medians within the cul-de-sac bulbs will be maintained by the development's homeowners association. Landscaping will be xeriscape concept to reduce watering and maintenance costs accordingly.

G. Recreational Open Space. In accordance with the "Residential Design Standards for Planned Area Developments," a total of 10.1 acres of active and passive open space is provided within the Gadsden Greens plan. Open space improvements within each Neighborhood will be constructed and completed prior to issuance of occupancy permits. The respective Home Owner's Association will maintain these open space areas in accordance with their Covenants, Conditions and Restrictions (CC&R's) for each neighborhood area.

The development's western, northern and eastern property boundaries are "internally buffered" by the provision of a lineal open space trail system adjoining contiguous properties to the west, north and east. Within this perimeter open space system on the eastern and western boundaries will be a 5'-wide crushed aggregate base Trail system meandering within the open space corridors within a DG-based landscaped environment (See Exhibit 9). The 5'-wide concrete sidewalk along the south side of the Rodeo Road improvement will be installed within the street shoulder right-of-way as well as periodic nodes (alcoves) provided along the roadway to allow for passive and active recreational activities while providing an enhanced streetscape aesthetics (See Exhibit 10). It should be noted that the privacy wall offsets along the south right-of-way of Rodeo Road are very frequent in that there is a maximum length of 550 feet for the privacy walls running parallel and contiguous to the street right-of-way of Rodeo Road. The use of native plants in an informal design with a meandering trail system, combined with gentle undulations of earth mounding (berming) will enhance the visual streetscape and aid in the reduction of street noise of the adjoining residential units.

PROPERTY LINE

SHADE TREE

ACCENT

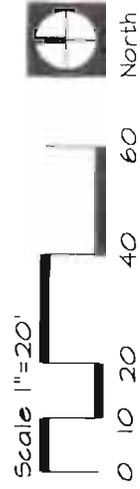
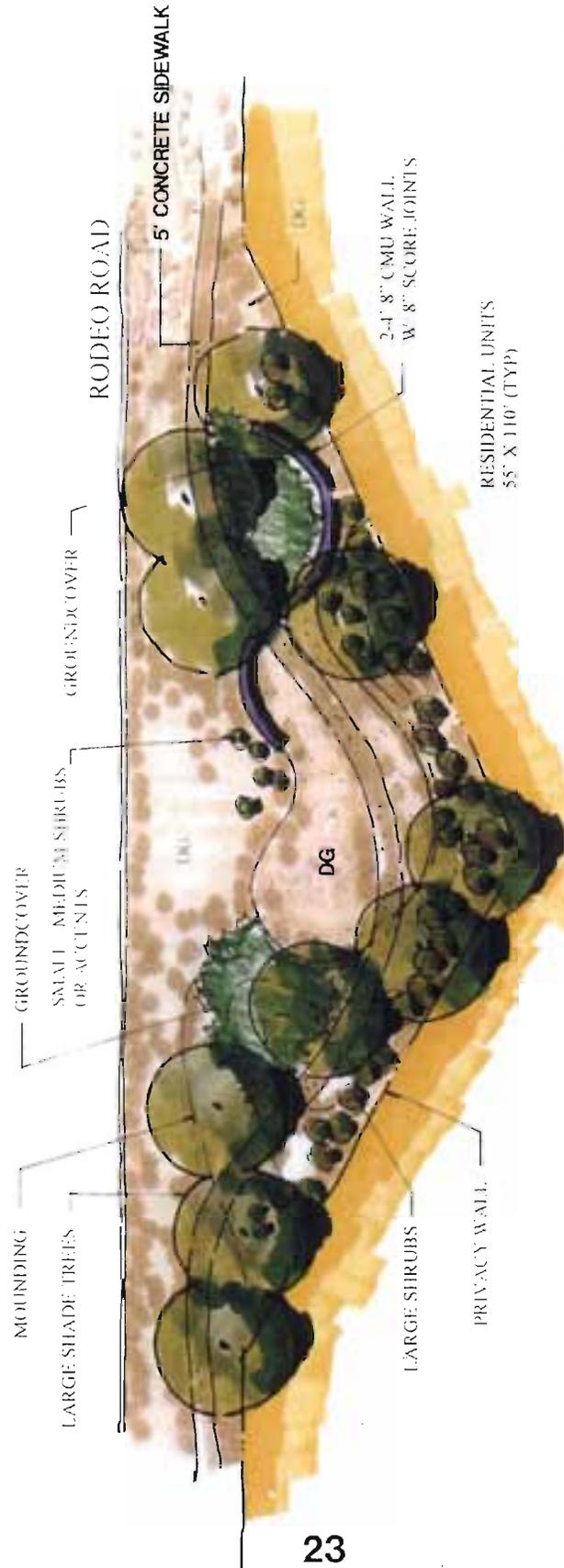
LARGE SHRUB

PRIVACY WALL

5" CRUSHED AGGREGATE BASE TRAIL

TYPICAL WEST PERIMETER TRAIL SECTION

9 NTS



GOLF COURSE MOTIF

As mentioned previously, the development plan incorporates a lineal open space network internally between the two terminating modified collector streets on the north side of the connecting local street. Access to this lineal park from residents north of the local street is obtained by sidewalks within the connecting local streets as well as through mid-block access points. Two larger "Pocket Parks" are located in this lineal corridor to provide for active recreational needs of the neighborhood. The "Pocket Park" within Neighborhood D is shown on the following page (See Exhibit 11). The "Pocket Park" provides for a shade ramada, tot lot area, benches and a bermed turf area fronting the local street. Landscaping along the perimeter of the park provides screening and some "sound calming" for the adjacent residences. The park is open to view from the local street to allow for visual reconnaissance (safety); the tot lot is set back from the street to also allow a safety factor.

Shade ramadas will be provided within three of the "Pocket Parks." At this time, it is anticipated that ramadas will be placed at the "Pocket Park" at the extreme southeast corner of the site within Neighborhood B; at the "Pocket Park" centrally located between the two collector streets on the north side of the local street within Neighborhood D (See Exhibit 11); and within the "Pocket Park" located within Neighborhood C at the northeast area of the development.

Tot Lots will be installed in three "Pocket Parks" within the development; at the "Pocket Park" centrally located between the two collector streets on the north side of the local street within Neighborhood D (See Exhibit 11), at the "Pocket Park" at the southeast corner of the development within Neighborhood B; and, within Neighborhood C immediately north of the large cul-de-sac.

Recreational facilities, such as exercise stations, TotLot apparatus, etc. will be provided within the development at the landscape design stage by the individual builder of each neighborhood area. The "Preliminary Development (Site) Plan" illustrates suggested locations of seven exercise stations within the development. Various types of exercise station apparatus is available for use within the development. A representative example of one manufacturer's apparatus facilities is shown in the Appendix.



STREET

BERMING

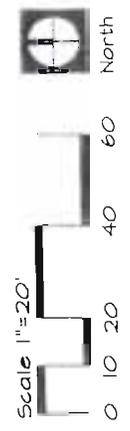
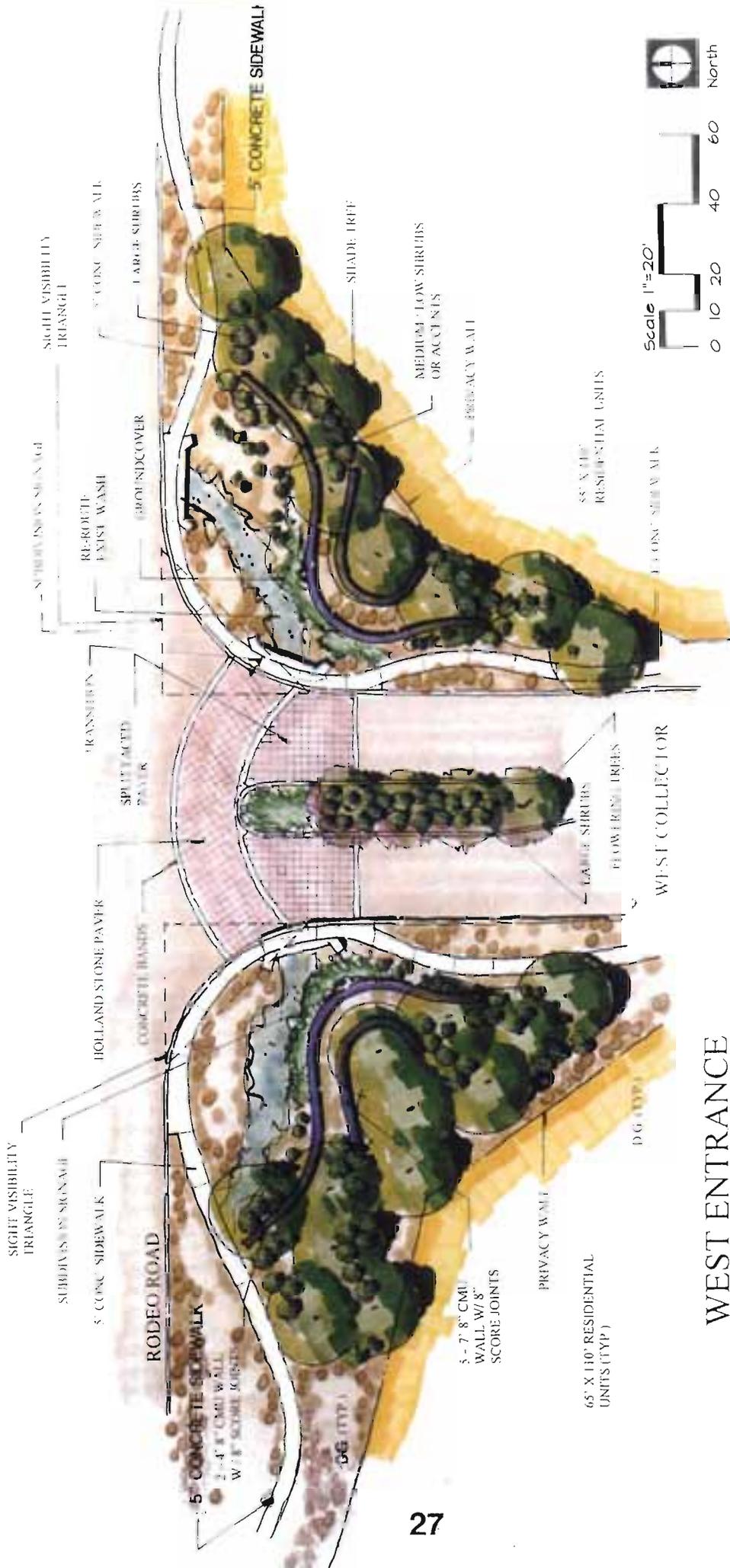
CONCRETE SIDEWALK

SHADE TREE
PRIVACY WALL

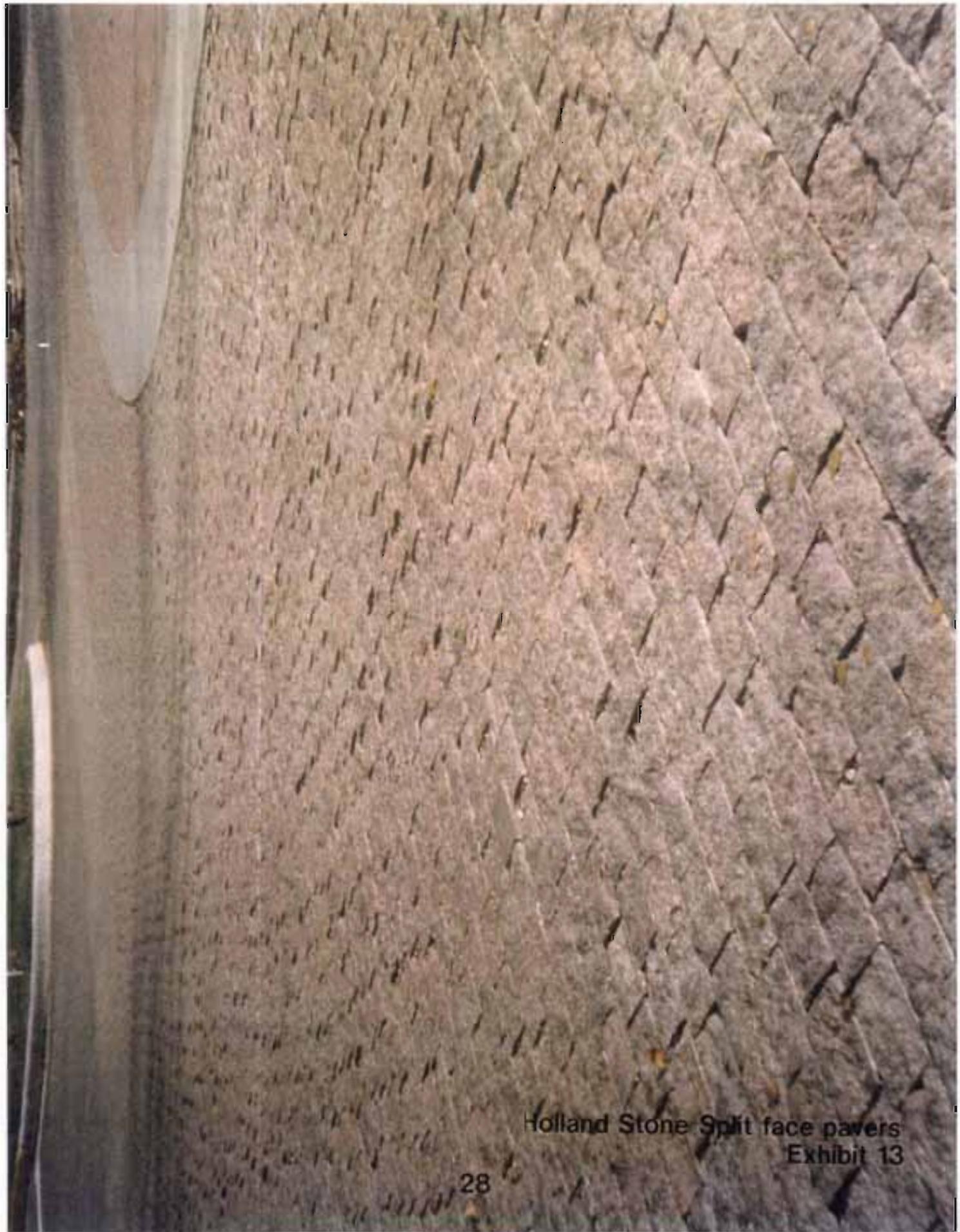
MEDIUM TREE
LARGE SHRUB
MEDIUM LOW SHRUB

PRIVACY WALL
(GROUND COVER)

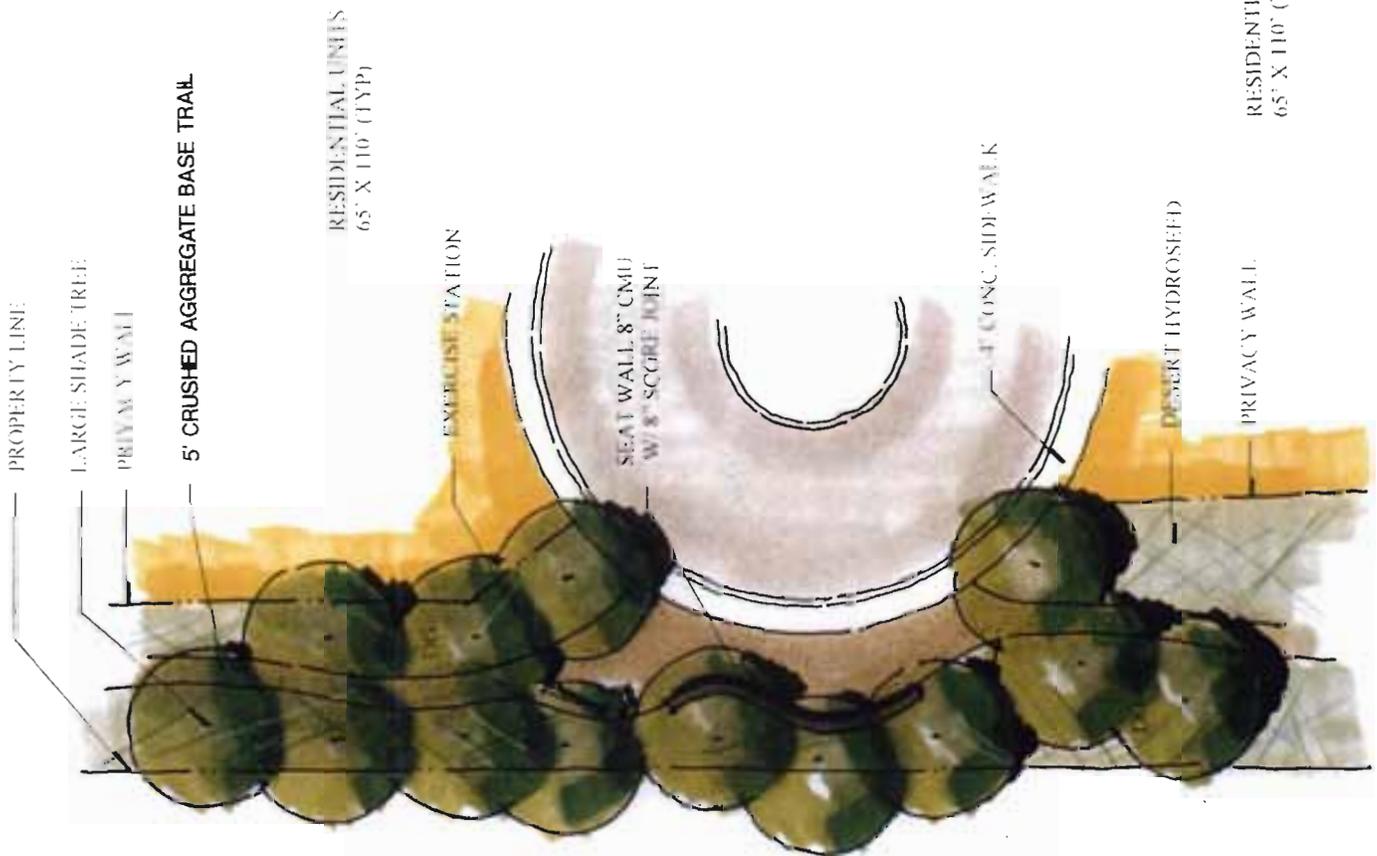
- H. **Mandatory PAD Layout and Design Standards.** The Gadsden Greens master planned community has been designed and conforms with the Casa Grande "Residential Design Standards for Planned Area Developments" dated July 21, 1999.
- I. **Additional Requirements for PAD Layout and Design.** In accordance with the PAD guidelines, a minimum seven of the fourteen standards (Section I.B. of the "Residential Design Standards for Planned Area Development") will be incorporated in the design and development of the Gadsden Greens project. They are:
- **Enhance subdivision entryway features.** The two modified collector entrances to the development off of Rodeo Road will define a sense of arrival through the use of desert landscaping, monumentation graphics, paving treatments, earth sculpturing (mounding), flowering trees and shrubs as well as a landscaped median within the street. (See Exhibit 12 on the following page). Subdivision signage will be incorporated on freestanding walls which are complimentary to the residential privacy walls. Raised letters will be mounted on these freestanding walls and will be indirectly lit for proper viewing. Entry landscaping will include flowering trees, shrubs and groundcover to make an elegant entryway statement to the development. Holland stone pavers and split face pavers will supplement the entry monumentation (See Exhibit 13).
 - **Provide a mix of cul-de-sac designs.** The development plan illustrates various cul-de-sac design concepts ranging from short to long culs-de-sac, eyebrows, short courts (Neighborhoods A, C and E), open space ends (Neighborhoods B and E) and landscaped circles (all Neighborhoods). Exhibit 14 illustrates the planning concept and landscape treatment of an open cul-de-sac within Neighborhood E at the northwest area of the development.
 - **Provide a curvilinear street system.** One of the basic goals in the initial planning process for the development plan of Gadsden Greens was to avoid the all-to-often concept of a "grid-iron" street pattern which, often, is used to maximize density and reduce development costs. Rather, the developer requested the plan to maintain a pleasing and unique streetscape network allowing for scenic views, where appropriate, and the "breaking-up" of potentially sterile street-scenes. Additionally, curvilinear and cul-de-sac street networks allow for appropriate traffic calming applications.



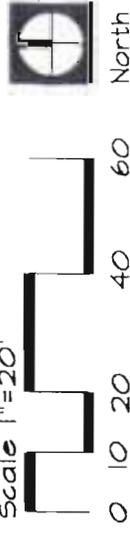
WEST ENTRANCE



Holland Stone Split face pavers
Exhibit 13



OPEN CUL-DE-SAC ALONG
WESTERN PROPERTY LINE

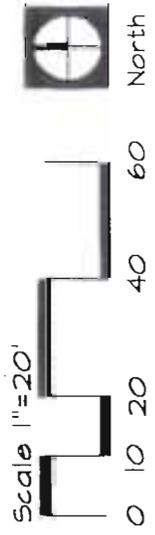
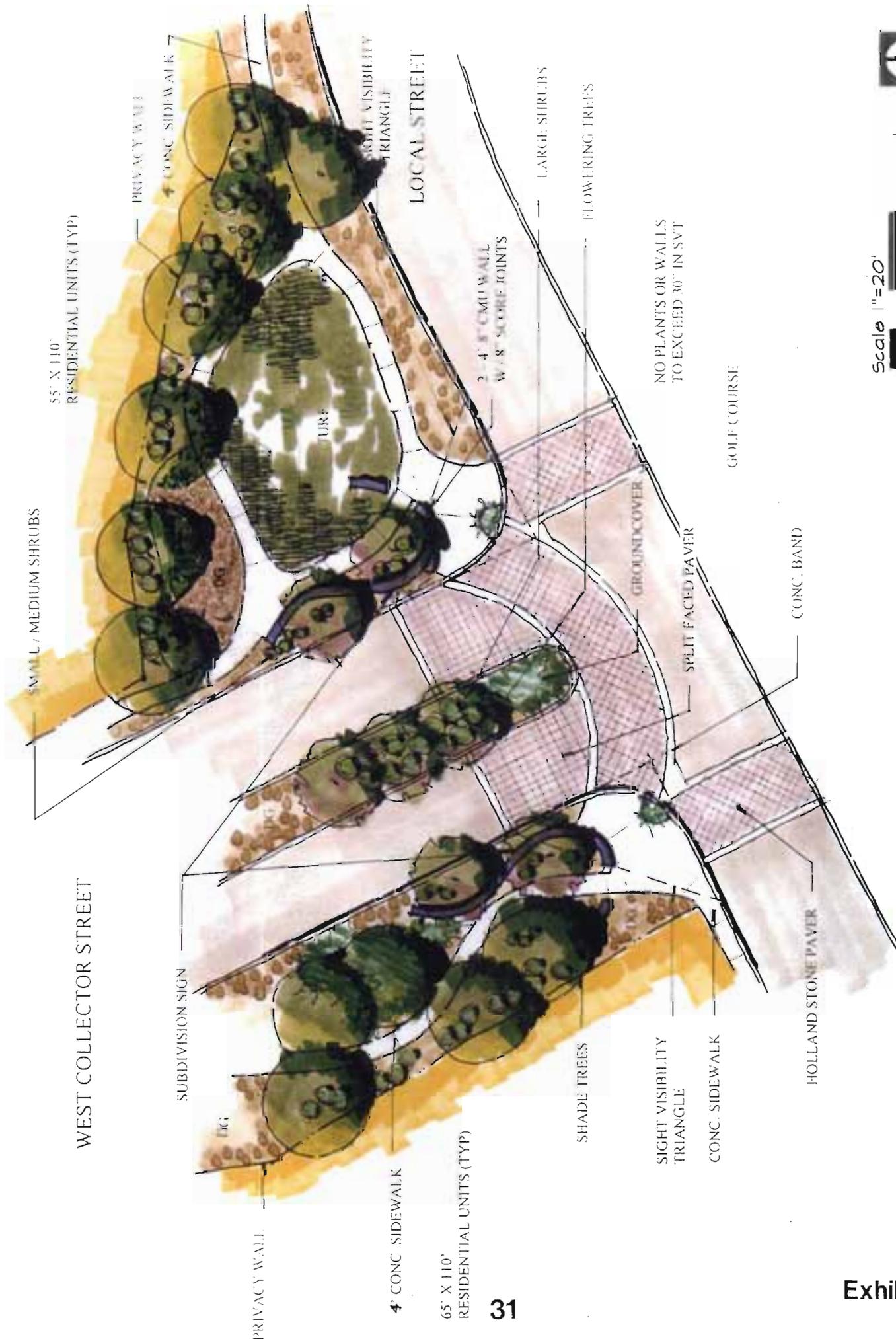


- **Provide pavers, stamped asphalt, accent paving or similar treatments.** Street crossings at each of the two entrances off of Rodeo Road and at the two collector street/local street confluences (view orientation of collector street traffic toward the golf course) have been designed and are reflected on the next two pages as Exhibits 15 and 16... also see Exhibit 12). Holland Stone pavers and split-face pavers (See Exhibit 13) will be utilized to augment the aesthetic features of the four key intersections of the development plan. The paving treatment will also aid in the safety features of these four key intersections of the development.

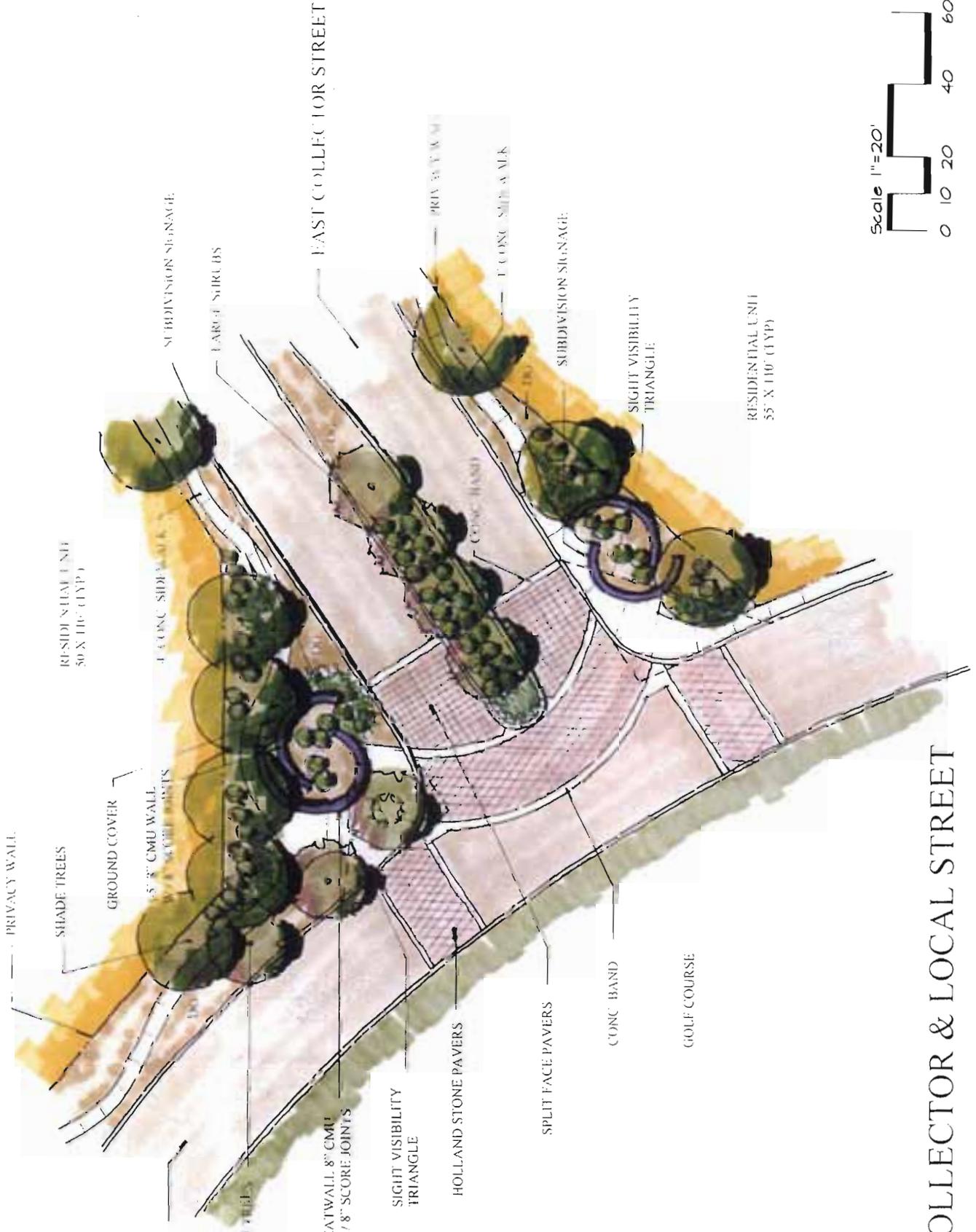
- **Design perimeter walls and walls adjacent to roadways to include staggers, breaks and/or include varied materials.** The perimeter wall on the south side of Rodeo Road, as previously cited, maintains a series of insets (alcoves) allowing for staggering of the privacy wall (See Exhibit 10). The maximum length of any straight wall along Rodeo Road is approximately 550 feet. The 6' wall along Rodeo Road will be 8x8x16" painted CMU block with 8" joint scoring. An 8x8x16" split face cap will be provided along the privacy wall with a series of 8x8x16" split face columns provided every 50' on center (See Exhibit 17). This design treatment will also be applied to walls adjacent to the internal roadways such as the two modified collector streets and along the eastern and western property boundaries (See Exhibit 18). Landscaping and earth berming will further enhance the aesthetics along the perimeter privacy walls as shown on various exhibits. On those lots backing the golf course, the builder will offer the individual home owners a view wall option (See Exhibit 19 for various alternative view wall options).

- **Orient lots for terminating vistas of focal points.** Nearly 45 percent of the development lots are oriented to open space and/or the golf course. Additionally, scenic vistas for vehicular residents and guests was a major consideration in the planning process of the development plan. Examples of vehicular vistas are the terminus points of the two modified collector streets which focus on the beautiful Dave White Golf Course (See Exhibits 15 and 16). Additionally, vistas are developed at the terminus of several open-ended culs-de-sac streets (See Exhibit 14).

- **Provide street trees.** Street trees will be provided along all streets and will be planted every twenty-five feet in accordance with City requirements (See Exhibit 20). It is envisioned that each neighborhood would have a different street tree species to further define each neighborhood area (See Section J. Landscape Theme for recommendations for Neighborhood street tree combinations). The planting of street trees will be the responsibility of the builder/HOA. Maintenance responsibility will be by the individual property owner.



WEST LOCAL / COLLECTOR STREET



PRIVACY WALL

RESIDENTIAL UNIT
50' X 110' (CYP)

SHADE TREES
GROUND COVER
5" CMU WALL
W/ 8" SCORE JOINTS

LOCAL STREET

CONC SIDEWALK

FLOWERING TREES

SEATWALL 8" CMU
W/ 8" SCORE JOINTS

SIGHT VISIBILITY
TRIANGLE

HOLLAND STONE PAVERS

EAST COLLECTOR STREET

PRIVACY WALL

SPLIT FACE PAVERS

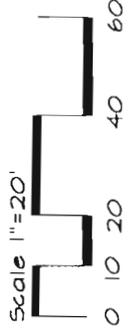
CONC BAND

GOLF COURSE

SUBDIVISION SIGNAGE

SIGHT VISIBILITY
TRIANGLE

RESIDENTIAL UNIT
55' X 110' (CYP)



33

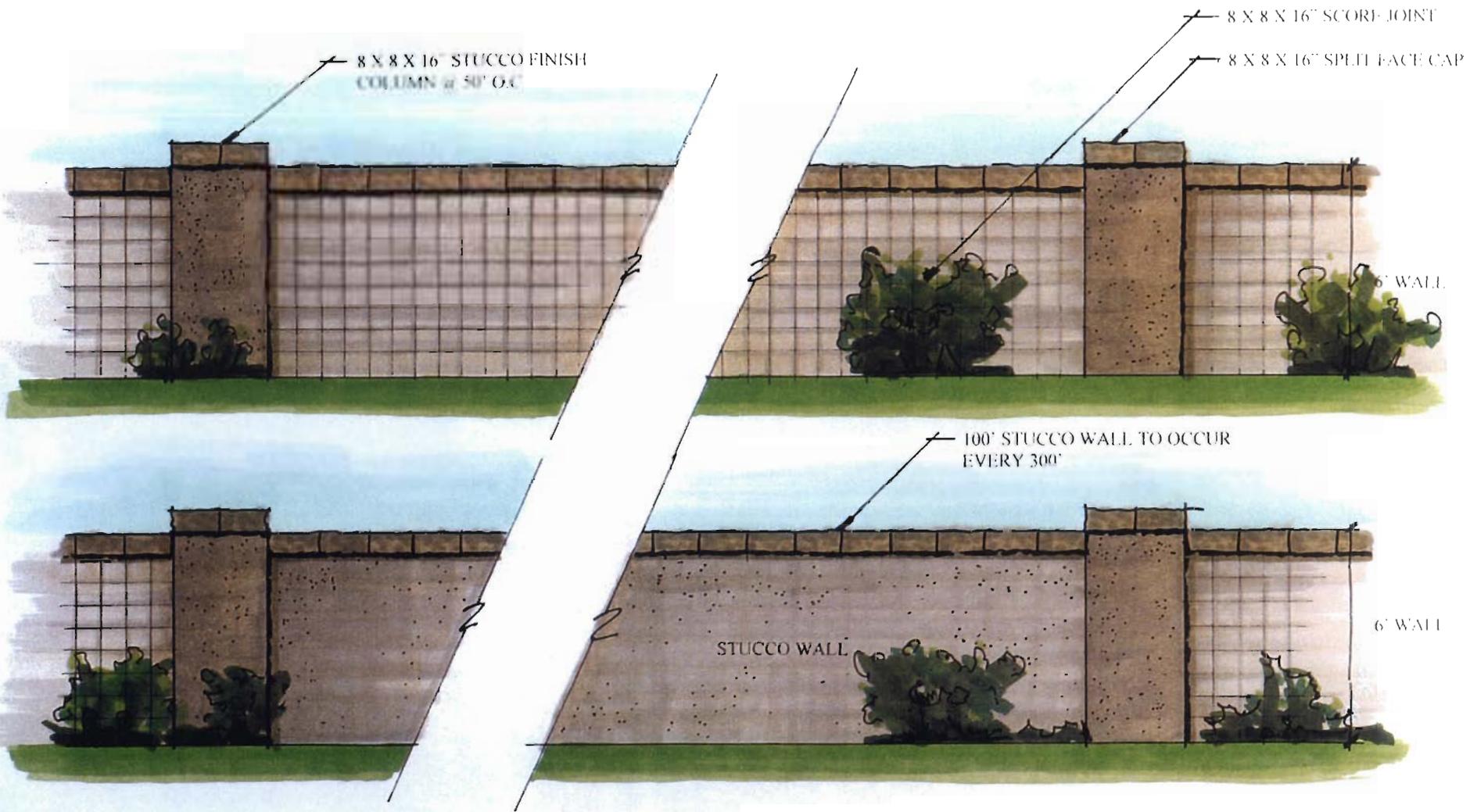


Exhibit 17

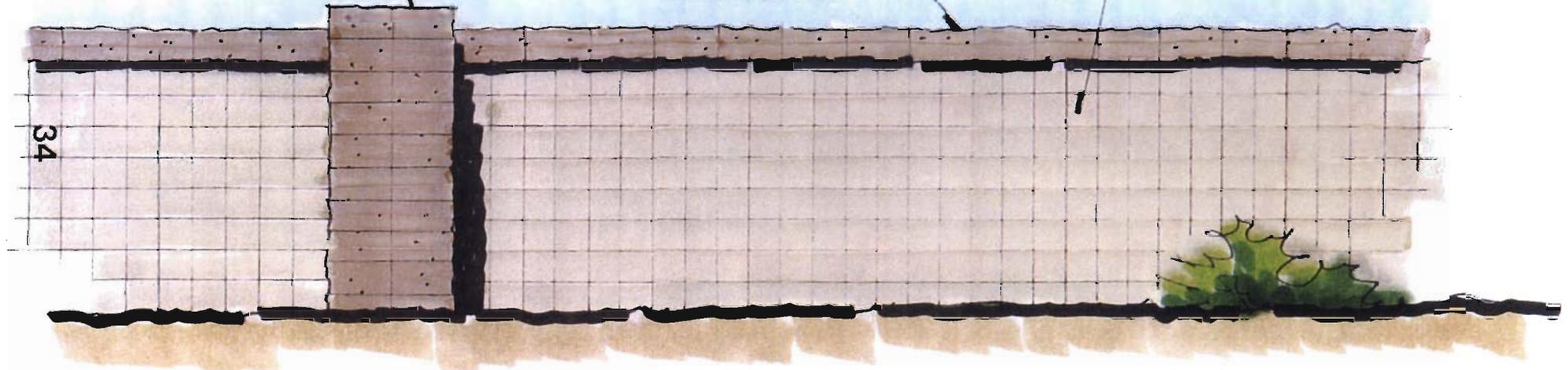
TYP. RESIDENTIAL PROPERTY WALL (RODEO ROAD)

SCALE 3/8" = 1'

8 X 8 X 16" SPLIT FACE
COLUMN @ EVERY 50" O.C.

8 X 8 X 16"
SPLIT FACE CAP

8 X 8 X 16" PAINTED CMU
BLOCK 8" SCORE JOINT



TYP. RESIDENTIAL PROPERTY WALL

SCALE - 3/8" = 1'

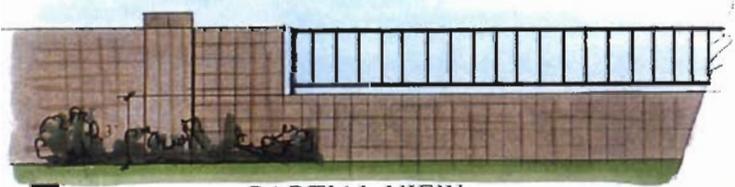
Exhibit 18

35



FULL VIEW

STEPPED VIEW



PARTIAL VIEW



KNEE WALL VIEW

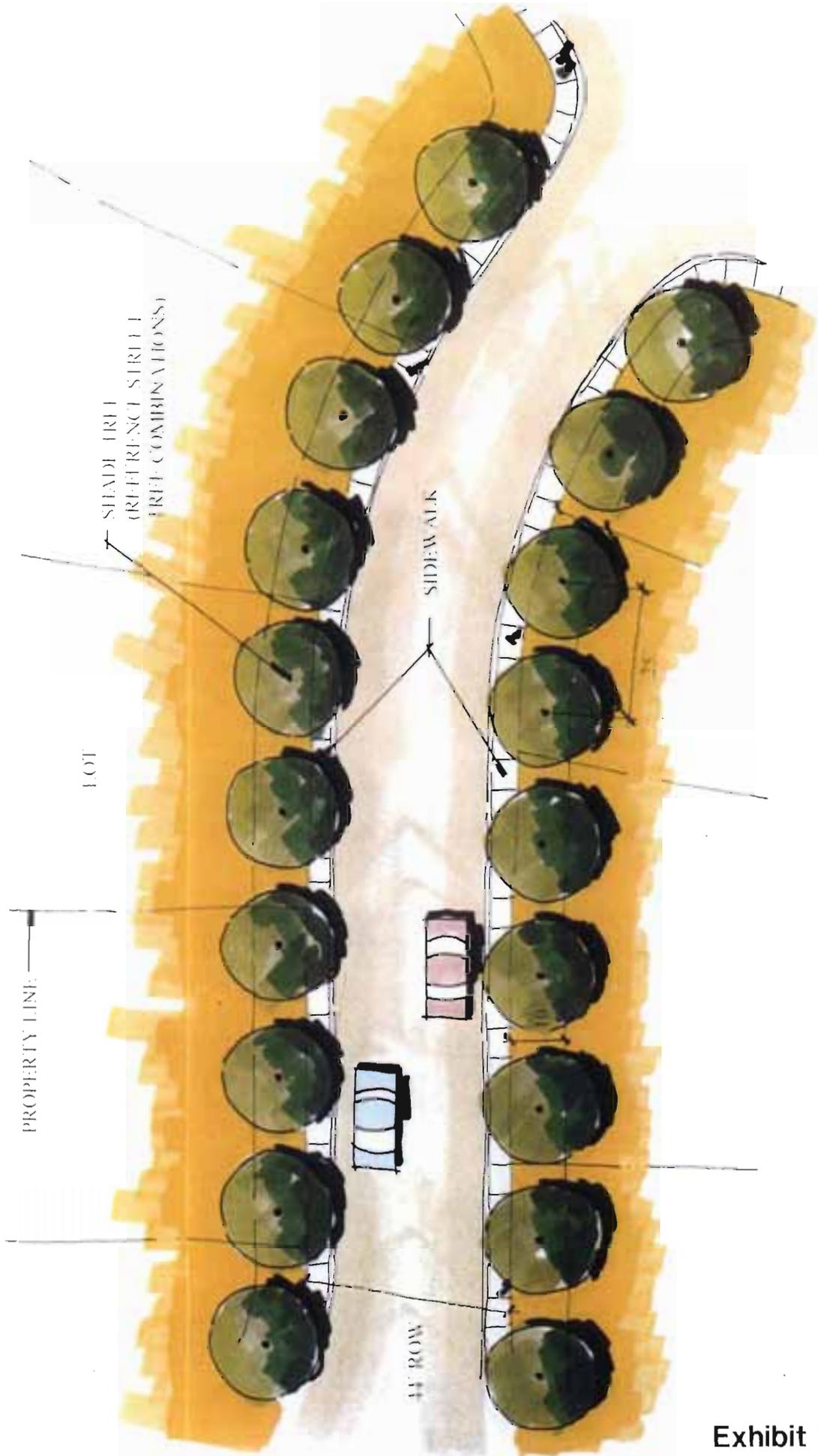


STEPPED W/ KNEE WALL VIEW

VIEW WALL OPTIONS

SCALE 1/4" = 1'

Exhibit 19



TYP. STREET PLANTING PLAN

SCALE 1" = 20'

Exhibit 20

J. Landscape Theme.

Botanical Name

Common Name

Shade Trees

Acacia spp.
Brachychiton populneus
Cercidium spp.
Dahlbergia sissoo
Gleditsia triacanthos
Olneya tesota
Pinus spp.
Pistacia spp.
Prosopis spp.
Quercus spp.
Rhus lancea
Schinus terebinthifolius
Ulmus parvifolia

Acacia
Australian Bottle Tree
Palo Verde
Dahlbergia
Honey Locust
Ironwood
Pine Trees
Pistache
Mesquite
Oak
African Sumac
Brazilian Pepper Tree
Evergreen Elm

Flowering Trees

Acacia spp.
Caesalpinia mexicana
Chilopsis linearis
Callistemon spp.
Sophora secundiflora

Acacia
Mexican Bird of Paradise
Desert Willow
Bottle Brush
Mescal Bean

Shrubs

Acacia spp.
Ambrosia deltoidea
Atriplex spp.
Bougainvillea spp.
Caesalpinia spp.
Cassia spp.
Convolvulus cneorum
Dodonaea spp.
Encelia spp.
Justicia spp.
Lantana camara
Larrea tridentata
Leucophyllum spp.
Nerium oleander "Petites" only
Pyracantha spp.
Ruellia spp.
Salvia spp.
Simmondsia chinensis

Acacia
Triangle Leaf Bursage
Saltbush
Bougainvillea
Bird of Paradise
Cassia
Bush Morning Glory
Hopbush
Brittlebush

Bush Lantana
Creosote Bush
Texas Ranger
Petite Oleander
Pyracantha
Ruellia
Salvia
Jojoba

Tecoma spp.
Vauquelinia spp.

Arizona Rosewood

Groundcovers

Acacia redolens
Convolvulus spp.
Dalea greggii
Gazania spp.
Lantana montevidensis
Myoporum parvifolium
Oenothera spp.
Rosmarinus officinalis "prostratus"
Santolina spp.
Verbena spp.

Trailing Acacia
Morning Glory
Trailing Indigo Bush
Gazania
Trailing Lantana
Myoporum
Trailing Rosemary
Verbena

Accents/Vines

Agave spp.
Antigonon leptopus
Aloe spp.
Bougainvillea spp.
Cactii (all)
Campis radicans
Dasylirion spp.
Fouquieria splendens
Hesperaloe spp.
Macfadyena unguis-cati
Yucca spp.

Agave
Queens Wreath
Aloe
Bougainvillea
Trumpet Vine
Desert Spoon
Ocotillo
Red Yucca
Cat Claw Vine
Yucca

Street Tree Combinations for Gadsden Greens

Neighborhood "A"

1. Acacia minuta
2. Ulmus parvifolia
3. Schinus terebinthifolios

Neighborhood "D"

1. Acacia minuta
2. Pistacia chinensis
3. Gleditsia triancanthos 'inermis'

Neighborhood "B"

1. Acacia minuta
2. Prosopis glandulosa
3. Pistacia chinensis

Neighborhood "E"

1. Acacia minuta
2. Brachychiton populneus
3. Prosopis hybrid (thornless)

Neighborhood "C"

1. Acacia minuta
2. Cercidium floridium
3. Dalbergia sissoo

- K. **Architectural Style / Materials.** The “Mandatory PAD Residential Architecture Standards” shall be applicable to the Gadsden Greens development. The “Additional Requirements for PAD Residential Architecture” will be appropriately addressed by the individual builder’s presentation of home floor plans, elevations and material selections to the Planning and Zoning Commission at a subsequent time for review and approval.

Due to the nature of the builders to be attracted to this development, we believe the homes will be designed as intrinsic contemporary structures. The residences will be further enhanced through a cohesive integration of consistent landscape theme treatment within all neighborhood areas. The CC&R’s for Gadsden Greens will contain specific guidelines which must be adhered to by the neighborhood builder(s). The guidelines will provide standards for color, exterior materials and accent materials, reflectivity values, restrictions on roof-mounted mechanical equipment, floor plan and elevation designs, and special fenestration details of design. All building designs must be reviewed and approved by the Architectural Review Committee prior to submittal to Casa Grande for review/approval. Each residence will reflect through the proper use of materials, color and other architectural treatments, a visual unity, continuity and an identifiable character. The Architectural Guidelines within the CC&R’s will encourage product designs and use of materials and style appropriate to the Southwest. The architectural design will be sensitive to and compatible with the natural desert environment. The architectural guidelines will also encourage the use of details which will soften and enhance the architectural design. These include: detail and relief of windows, entrances and doors; breaks in the roof-line with elevation changes; people gathering/activity spaces; and, attention to service spaces. The homes will be architecturally compatible within each neighborhood area of the Gadsden Greens development.

1. **Architectural Finish Materials**

- (a) Walls
 - (i) Cement plaster or one coat stucco system
 - (ii) Concrete block
 - (iii) Ceramic or Clay tile
 - (iv) Concrete - precast or cast-in-place
 - (v) Glass Block

- (b) Roofs
 - (i) Clay tile
 - (ii) Concrete tile

2. Colors
 - (a) Desert hues and other earth tones including medium and light brown, cream and tan
 - (b) Off-white, light gray (reflectivity values less than 50%)
 - (c) Reds and desert hues appearing in brick utilized in buildings or in roof tiles

3. Design
 - (a) Extended front elevation detail to appropriate point of termination on side elevation
 - (b) Place visual emphasis on front door versus garage door (i.e. encourage use of porticos, entryway patio treatment, knee-walls, front entry, etc.)
 - (c) Create architectural interest by stepping building massing vertically and horizontally
 - (d) Provide architectural emphasis to elevation(s) fronting and backing public streets and public open space areas (no windowless elevations adjacent to streets)

IV. ENGINEERING

A. Transportation Element.

Gadsden Greens will have minimal external impact to the surrounding roadway system as discussed earlier.

B. Utilities - Water.

Water service for this project is to be provided by "Arizona Water Company. Arizona Water Co. does not currently have a "Certificate of Assured Water Supply" which covers their service area in Casa Grande. Each project is required to file individual applications with the AZ Dept of Water Resources for Assured Water Supply. DEA has obtained a "Statement of Physical Availability" from ADWR for the Arizona Water Company, Casa Grande and Coolidge Water Systems" – Application for Physical Availability Demonstration #20-300128 and #20-300127. The letter is dated July 11, 1996, from ADWR. In the letter it states that "sufficient groundwater of adequate quality will be continuously available to meet the projected demands of approximately 22,378 and 1,080 acre/feet per year for 100 years".

The closest existing water mains, which have capacity to serve the project, are located at the intersection of Pinal Avenue and Rodeo Road, approximately 1 mile east of the northeast corner of the project, and on Thornton Rd., ¼ mile north of Kortsen Rd. These are 12" mains; at least one will need to be extended along either the Rodeo Rd. alignment up to, and across the project frontage or along the Thornton Rd. alignment. The project may require extension of both mains for the purpose of "looping" the system for adequate

fire flows. Water mains within the project are anticipated to be 8" in size, and shall be looped.

C. Utilities - Sewer.

Sewer service is provided by the City of Casa Grande. The City Engineering Dept. has stated that the collection lines and the treatment plant will reach maximum capacity before the available lands in the contributing drainage area are all developed. This is because of recent annexations and development applications within this area. Each Preliminary Plat or Zoning Application shall be required to provide a "Local Sewer Study" prior to submittal of the Final Plat.

There is an existing 30" sewer line along the east boundary of the subject property in the Thornton Rd. alignment. It is anticipated that an internal sewage collection system within the site shall be designed to drain to the Southeast corner of the property, where it will connect to the existing 30" main.

D. Utilities - Storm Drainage.

The site is bounded by undeveloped desert on the north, east and west, and the North Branch of the Santa Cruz Wash on the south. The site also surrounds a portion of the David White Golf Course. Improvements to be made on-site include asphalt pavement, roll and vertical curb, gutter, sidewalks, retention basins, and graded building pads. Off-site improvements include asphalt pavement and vertical curb for the south half of Rodeo Road.

The off-site watershed consists mainly of undeveloped desert. The average slope is 0.61% toward the southwest. Several small washes are located on the site. Physical evidence indicates that, prior to the grading of Rodeo Road, much of the historical runoff in the watershed flowed onto and through the site, eventually discharging into the North Branch of the Santa Cruz Wash.

The David White Golf Course is located in the middle and southern portions of the project. The northern boundary of the golf course is protected, via an earthen berm, against runoff originating from the north and east. The course contains small lakes, traps and turf areas. Drainage from the golf course does not impact Gadsden Greens. Documented agreements state that the golf course must provide the necessary capacity (in on-site retention areas) required for the 100-year, 1-hour event.

The flood hazard zones determined in the area were derived from the Master Drainage Study for the City of Casa Grande. The study determined the ponding elevations caused by the canals and other obstructions in the area. The current FEMA Flood Insurance Rate Map (FIRM) for this area, map number 0400800010 C (Effective date September 29, 1989) shows that approximately 10% of the proposed site is in flood hazard Zone A. Zone A is defined as *Special flood hazard areas inundated by 100-year flood, no flood elevations determined*. Approximately 37% of the project is in Zone AE and is defined as

Special flood hazard areas inundated by 100-year flood, base flood elevations determined.

The FIRM also delineates two variations of Zone X. Approximately 50% of the development is classified under the definition of Zone X, *Areas determined to be outside 500-year flood plain*. The remaining 3% of the site is classified under the definition of Zone X, *Areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood*.

The required retention volume for the development is retained within several retention facilities located within the David White Golf Course. The ponding depths in each retention basin will vary from two to four feet. The finished floor elevations of the adjacent lots will be set 12 inches above the 100-year base flood elevations established. Additionally, the finished floor elevations will be a minimum 12 inches above the 100-year water surface elevation as determined from the on-site hydraulic analysis. As required, water retained on-site will be dissipated within 36 hours. The retention basins (excluding the lakes) may contain injection wells to fulfill this requirement. The development of the site will contain the 10-year storm event between the curbs.

E. Grading and Drainage.

The proposed drainage concept is presented in three parts: on-site drainage conveyance, off-site drainage, and on-site storm water retention.

On-site Drainage Conveyance

On-site storm water runoff will be conveyed through the site by the paved roadway sections that have normal crowns and either 4-inch roll or 6-inch vertical curb. Lots will be graded to drain into the roadway on which they front. The roadways will then convey flow to the retention facilities provided in the David White Golf Course. The Development Agreement between the City of Casa Grande and TPI Gadsden Ranch, Contract No. 1287-1, stipulates that the City shall make available sufficient water retention within the golf course to meet the drainage requirements of the TPI Property (Gadsden Greens).

The roadway sections will be designed to convey the 10-year peak flows between the curbs. Catch basins or scuppers will be used to direct the flows from the streets into the retention basins.

Off-site Drainage Conveyance

The off-site flow that impacts the project originates north and east of the site. The watershed was divided into four sub-areas. Each sub-area has at least one distinguishable wash running through it, beginning north of the site and continuing southeasterly until reaching Rodeo Road, the north property line. Rodeo Road was graded lower than the existing topography and has one to two foot deep grader ditch on either side. These ditches effectively attenuate the runoff from the north and force the flows to pond in the road at locations

that coincide with the continuation of the more defined washes on the south side of the road. When the volume of runoff becomes greater than the road can contain, the flows weir over the top of the bank of the south grader ditch and continue toward the Santa Cruz Wash.

The offsite runoff that is expected to impact the north boundary will be accepted and conveyed around the back of the lots in the northwest corner of the proposed site (lots 1-5 and 15 of Preliminary Plat of Gadsden Greens). The flows will exit the site along the historical path. The pre-development flow of offsite runoff from properties from the north and northeast will be released at the same coefficient of runoff. The two strips of open space corridors, adjacent to the backs of lots along the east and west property lines, are draining south to the wash without provisions for retention.

On-site Storm Water Retention

The City of Casa Grande requires that the runoff generated by the 100-year, 1-hour storm be retained on-site. The required volume is retained within several detention facilities located in the David White Golf Course in accordance with the aforementioned Development Agreement. The ponding depths in each detention basin will vary from 2 to 4 feet. The finished floor elevations of the adjacent lots will be set 12 inches above the 100-year base flood elevations. Additionally, the finished floor elevations will be a minimum of 12 inches above the 100-year water surface elevation as determined from the final on-site hydraulic analysis.

F. Dry Utilities.

- Power: Power is to be provided to this site by APS.
- Telephone: Telephone service shall be provided by US West.
- Cable TV: Cable service shall be provided by Cox Communications.
- Gas: Gas service is available from Southwest Gas. There is an existing gas main in Pinal Ave (+/-1 mile east of the northeast corner of the site), and in Kortsen Rd. at Thornton Rd (+/-½ mile South of the southeast corner of site).

V. CONCLUSION

NKS Group VIII Limited Partnership, the developer of Gadsden Greens, believes that the development as proposed is a premiere example of creative design innovation and application for a residential master planned community. We believe this development to be consistent with the purpose and objectives of the Casa Grande PAD zoning and residential standards of design. We feel, as a result of the development of this unique residential community, that Gadsden Greens will set an exemplary paradigm for future development of adjoining properties. We anxiously look forward to developing Gadsden Greens with a high quality living environment that residents of Gadsden Greens and the City of Casa Grande will be proud of.

Appendix



City of Casa Grande

October 12, 1999

NKS Group Investments
7098 East Cochise Road
Suite 205
Scottsdale, AZ 85258-1408

Post-It® Fax Note	7671	Date	10/12	# of pages	4
To	Phil Miller	From	Mark		
Co./Dept.	Commerce	Co.	Casa Grande		
Phone #		Phone #	520 421 8637		
Fax #	602 955 2566	Fax #			

RE: CGPZ-89-99: Zone Change to PAD for Gadsden Greens

This letter is to inform you that your request for a Zone Change received a favorable recommendation by the Planning and Zoning Commission, on October 7, 1999, subject to the following conditions:

1. All revisions and additions to the Development Guide and related materials required per the conditions stated below (and correcting all technical errors) must be made prior to Council hearing this request. Finalized Development Guides incorporating all of the conditions recommended by the Commission and all other revised application materials shall be submitted no less than fourteen days prior to the first Council meeting.
2. This development shall conform to the City's *Residential Design Standards for Planned Area Developments*. Prior to the issuance of any home permits, the developer/builder shall present staff and the Commission with colored elevations and floor plans of all proposed housing product, which shall demonstrate compliance with the City's PAD Residential Architectural Standards. Tables within the Development Guide should clearly reflect that no more than twenty-five percent of the total lots within the development will be less than 7,000 square feet in area.
3. Prior to approval of the required Final Plats, the applicant shall submit final drainage and retention reports, sewer reports, and a traffic study, that meet the approval of the City Engineer.
4. The developer/builder shall be responsible for the engineering and construction of the south half of Rodeo Road (dedication of 55' R.O.W. required) along their property, including installation of paving, striped bike lane, curb, gutter, a meandering five foot wide sidewalk, and frontage landscaping.

5. Local street connections shall be provided to properties to the east and west (at the locations indicated in the Development Guide) if and when the adjacent properties are developed for single-family residential uses (cross-access at the Thornton Road location shall also apply for multi-family residential, commercial, and office uses if deemed necessary by the City at the time of Major Site Plan approval). If a Final Plat(s) is recorded (or Major Site Plan approved by the Commission) for the subject adjacent property(ies) prior to the completion of the street improvements for Gadsden Greens, the Gadsden Greens developer/builder shall be responsible for their portion of the engineering and construction of the local street connection(s).
6. The developer/builder shall be responsible for the engineering and construction of (and dedication of) all collector and local streets and cul-de-sacs to City standards, except as approved by the City Engineer (e.g., modified collectors, meandering sidewalks, landscaped circles, and paver treatments). The developer/builder shall be responsible for obtaining R.O.W. from the State Land Department to complete the Thornton Road entrance.
7. The Gadsden Greens Homeowner's Association shall be responsible for maintaining all paver roadway treatments within the development.
8. Sidewalks that meander outside of the R.O.W. shall be maintained by the Homeowner's Association and a pedestrian easement shall be granted for public access to the sidewalks.
9. A detailed phasing plan shall be established during the improvement plan and final plat review process.
10. A comprehensive traffic study must be submitted and reviewed by the City to determine the traffic impact of this project and any need for additional traffic and roadway improvements that the developer/builder will be required to provide and/or be partially financially responsible for based on the amount of traffic generated by this development.
11. A final landscape plan, meeting the approval of the Planning Director, must be provided prior to approval of any Final subdivision Plats for this property. The "Mesquite Bosque" area shall have a rock, desert seed mix, or similar dust-proof natural topping and a small turf play area provided in addition to the improvements discussed on the Preliminary Development Plan.
12. Subdivision signage is limited to one low profile (five foot high max) monument-style at each entrance from Rodeo Road.
13. The design of all project perimeter and interior walls shall resemble that shown in the Development Guide (Exhibits 17, 18, and 19). The perimeter wall along Rodeo Road may be eight feet in height.

14. Setback notations within the Guide and on the Preliminary Development Plan and Preliminary Plat shall be corrected/modified to conform with the City's PAD standards (e.g., see requirements for rear setbacks and dwelling unit separation distances).
15. The trail system shall be designed and constructed to AASHTO standards and the recommendations of the City Engineer.
16. A copy of the CC&R's for this development shall be submitted to the City prior to the issuance of any residential construction permits..
17. Any utilities running through the site or any utilities which need to be relocated for development of the site, must be placed underground.
18. Residential dwelling units and accessory buildings/structures shall have no roof-mounted mechanical equipment (e.g., HVAC, swamp coolers).
19. No more than one accessory building/structure per dwelling unit shall be allowed. All accessory buildings/structures shall be constructed of materials and colors complementary to the dwelling unit. Accessory buildings/structures shall only be located within fenced rear yards and no closer than five feet from any property line or twenty feet from the perimeter of the PAD.
20. Sewer facilities, street lights, and fire hydrants must be provided according to City codes and per the recommendations of the Engineering and Fire Departments.
21. A Certificate of Assured Water Supply will be required for this development.
22. All improvements discussed in the Final Development Guide will be provided and all public improvements must comply with the minimum requirements of the City code unless otherwise approved by the City.
23. An approved Final PAD Plat and Development Guide shall be recorded prior to approval of the Final Plat.
24. Development of the site shall be in accordance with all applicable code requirements of the Building, Fire, Planning, and Engineering departments, any applicable executed Development Agreements, and the approved Final Development Guide.
25. The applicant and the Elementary School District will work together to provide for a portion of a school site within the development.

The Zone Change request will be forwarded to the City Council for final approval and ordinances are subject to a 30-day waiting period after Council approval.

If you have any questions, please call me at 421-8637 Ext. 303.

Sincerely,



Mark Eckhoff, AICP
City Planner

cc: Rick Miller, Planning and Development Director

DALE K. UDALL
DALE R. SHUMWAY
DENNIS P. BLACKHURST
JOHN H. LYONS*
BARRY C. JACKERSON**
STEVEN P. EVERTS**
CLARK R. RICHTER
ROGER C. DECKER
PETER W. TAYLOR
DENISE LOWELL-BRITT
STEPHEN L. WEST
DAVID R. SCHWARTZ
RYAN P. DYCHES
BRIAN T. ALLEN
CURTIS M. CHIPMAN
APRIL A. SPEELMON

Certified Specialists by the
State Bar of Arizona
* Injury & Wrongful Death Litigation
** Family Law

LAW OFFICES

**UDALL, SHUMWAY, BLACKHURST,
ALLEN & LYONS, P.C.**

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ROBERT M. JARRETT, JR.

WRITER'S DIRECT LINE

October 7, 1999

461-5305

HAND DELIVERED

Ken Buchanan
City Manager
City of Casa Grande
510 East Florence Boulevard
Casa Grande, AZ 85222

Dear Ken:

Attached is my law office check in the amount of \$100.00 payable to the City of Casa Grande together with an Application for a Right of Way. This is in connection with the granting of and easement by the State Land Department for portions of Rodeo Road and Thornton Road for our Gadsden Greens project. I have spoken to Kay Bigelow and Rick Miller regarding the matter. The State Land Department has advised that if it is going to be for a public road, the City ought to make the request for the perpetual easement. This then saves two and a half months of advertising, public bid, etc. Kay stated that we ought to prepare a check to the City who would then turn around and issue their own check to the State Land Department.

I assume you are the man who will be executing it on behalf of the City. I suspect you will be running it by Kay first.

We appreciate the tremendous cooperation we are receiving from you and your departments. We look forward to a successful build out of the project.

Best wishes,


David K. Udall

DKU:kak

91166.1\October 7, 1999
10733.006

cc. R. O. M. Oth.

487-969-3043

52150

9999 City of Casa Grande
 Inv.Date 10-07-99 Inv.No. DKU/305 Client/Matter# 10733-00006 Matter Gadsden Greens - Casa Grande

10/07/99

52150

Invoice Description
 State Land Easement for Rodco Road Amount 100.00

2+
480-827-0660

Total: \$100.00

ORIGINAL DOCUMENT IS PRINTED ON CHEMICAL REACTIVE PAPER & HAS A MICROPRINTED BORDER

LAW OFFICES OF
 DALL, SHUMWAY, BLACKHURST, ALLEN & LYONS, P.C.
 GENERAL ACCOUNT
 30 W. FIRST ST.
 MESA, AZ 85201
 (480) 461-5300

NORTHERN TRUST BANK OF ARIZONA, N.A.
 1525 S. Greenfield Road
 Mesa, Arizona 85206
 91-521/1221

52150

52150

One Hundred and No/100 Dollars

DATE	AMOUNT
10/07/99	\$100.00

2 SIGNATURES REQUIRED ON CHECKS OVER \$1,000.00

Richard J. [Signature]

City of Casa Grande

THE REVERSE SIDE OF THIS DOCUMENT INCLUDES AN ARTIFICIAL WATERMARK - HOLD AT AN ANGLE TO VIEW

⑈052150⑈ ⑆122105210⑆ ⑈1611001402⑈

WorldTrail

WorldTrail provides a comprehensive approach to physical fitness. Combining running and individual exercises, this all-steel conditioning course provides a total fitness program for beginners and advanced users alike. Each exercise station promotes the development of strength and endurance. Signs at each station instruct user on proper form and repetition.

21-Station WorldTrail, 1-1/2- to 2-mile course

WT00110

Weight: 2577 lbs. (1137.2kg)

Introduction Sign, Warm-Up Sign, Exercise Stations 1-16 with Signs, Cool-Down Sign, Completion Sign, Heart Check Instruction Sign, 18 Directional Arrow Signs, and 4 Heart Check Signs

13-Station WorldTrail, 3/4 to 1-mile course

WT00120

Weight: 1479 lbs. (670.9kg)

Introduction Sign; Warm-Up Sign; Exercise Stations 1, 2, 3, 5, 7, 8, 10, and 12; Cool-Down Sign; Completion Sign; Heart Check Instruction Sign; 11 Directional Arrow Signs; and 2 Heart Check Signs

All support posts are RS-20 galvanized steel tubing with Forest Green powder-coated finish. Balance Walk beams are yellow vinyl-coated 5/16" chain sections. End caps and leg stretch seats are high tensile strength cast aluminum. Balance Beams are 2" x 4" rectangular tubing or Redwood. Body Curl and Sit-Up platforms are vinyl-coated perforated steel.

Instruction Signs

At each exercise station the participant is guided through a programmed routine by a graphic and written instruction sign describing the exercise procedure. Each acrylic silk-screened sign is protected by a double layer of polycarbonate sheets. The instruction sign is completely enclosed in an attractive 2-3/8" O.D. RS-20 galvanized steel tube frame with Forest Green powder-coated finish. Each system is shipped with Directional Arrow Signs and Heart Check Signs for use at selected intervals throughout the course.

Heart Check Sign

WT00340

Weight: 2 lbs. (.9kg)

Instruction Signs Only

Weight: 44 lbs. (19.9kg)



1 - Step-Up and Sign

WT00130 \$429

Weight: 120 lbs. (54.4kg)



2 - Leg Lift and Sign

WT00140 \$379

Weight: 104 lbs. (47.2kg)



3 - Body Curl and Sign

WT00150 \$659

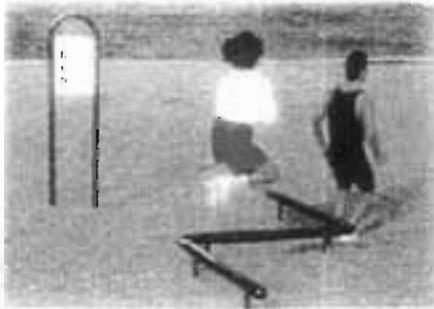
Weight: 167 lbs. (75.7kg)



4 - Parallel Bars and Sign

WT00160 \$369

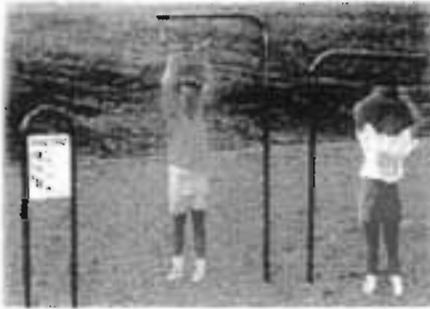
Weight: 154 lbs. (69.8kg)



5 - Beam Jump and Sign

WT00170

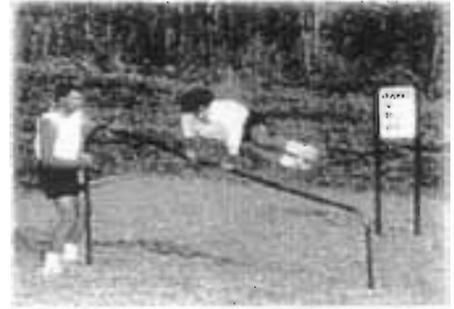
Weight: 107 lbs. (48.5kg)



9 - Hip Rotation and Sign

WT00210

Weight: 127 lbs. (57.6kg)



13 - Vault Bar and Sign

WT00250

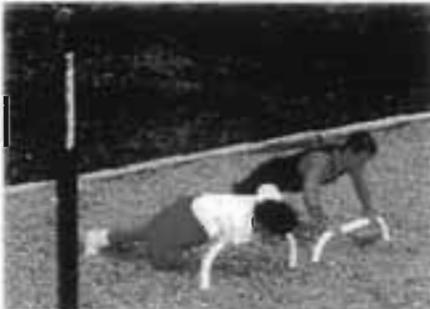
Weight: 97 lbs. (43.9kg)



6 Balance Walk and Sign

WT00180

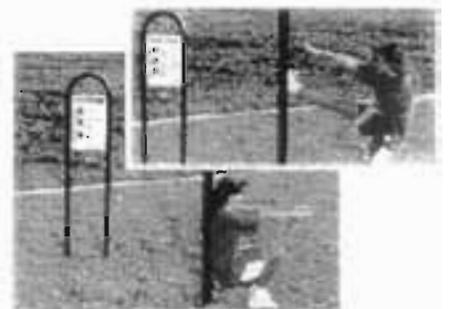
Weight: 155 lbs. (70.3kg)



10 Push Up and Sign

WT00220

Weight: 68 lbs. (30.8kg)



14 - Achilles Stretch/Isometric Squat and Sign

WT00260

Weight: 81 lbs. (36.7kg)



7 - Horizontal Loop Ladder and Sign

WT00190

Weight: 312 lbs. (140kg)



11 - Jump 'N' Touch and Sign

WT00230

Weight: 160 lbs. (72.6kg)



15 - Dura Balance Beam and Sign

WT00360

Weight: 114 lbs. (51.7kg)



8 Sit-Up and Sign

WT00200

Weight: 168 lbs. (76.2kg)



12 - Chin-Up and Sign

WT00240

Weight: 184 lbs. (83.5kg)



16 - Climbing Wall and Sign

WT00280

Weight: 121 lbs. (54.9kg)

Do not install any playground equipment on uneven surfaces or on concrete or asphalt. The cleared area, including the space under and around all playground equipment, must be covered with an impact absorbing material.