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fiore by Hacienda Builders

**Southwest Corner of Burris Road and Cottonwood Lane
Casa Grande, Arizona**

PLANNED AREA DEVELOPMENT (PAD) PROPOSAL

April 14, 2006

Revised July 18, 2006

Prepared By:



Development Consulting
Project Management
Construction Management

480-941-1444

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1.0 DESCRIPTION OF PROPOSAL

Fiore is a proposed residential community planned for 484 single-family lots on approximately 160 acres in an unincorporated portion of Pinal County. This proposed residential project is located at the southwest corner of Cottonwood Lane and Burris Road, immediately north of the current Casa Grande city limits. The purpose of this request is to rezone the property from its current Pinal County zoning classification of GR (General Rural) to PAD (Planned Area Development) to allow the development of this residential community. The PAD zoning classification is requested to facilitate the development of this community with a combination of flexible design standards which will promote harmony both within the individual communities of the project as well as with the adjacent land uses. A Request for Annexation into the City of Casa Grande is also being submitted in conjunction with this PAD rezoning application.

The City of Casa Grande General Land Use Plan designates the property as Low Density Residential. The surrounding properties to the north, south, east and west are also designated on the City of Casa Grande General Land Use Plan as Low Density Residential. This designation allows for densities ranging from 1-4 dwelling units per acre. Fiore is in compliance with the General Land Use Plan with a planned gross density of approximately 3.0 dwelling units per acre.

The subject property is situated in the path of new development in the west Casa Grande area, as several similar residential communities have recently been proposed and approved in the immediate area. Highway 84 is the primary east-west route extending through the city and passes within one half mile of the site. Burris Road, a planned principal arterial street, abuts the eastern boundary of the site. Close proximity to existing city infrastructure, excellent transportation access and proximity to many similar single-family residential communities make this an ideal site for the proposed type of development.

Land use regulations and development standards applicable to this PAD shall be as stipulated herein. If any regulations are in conflict with requirements of such codes, the provisions in this PAD shall prevail.

VICINITY MAP



2.0 SITE CONSTRAINTS AND RELATIONSHIP TO SURROUNDING PROPERTY

Several existing encroachments and encumbrances affect the project land plan. An electric transmission line operated by the Western Area Power Authority (WAPA) extends east-west through the center of the property within a 100' wide easement corridor. Sharing this corridor is a San Carlos Irrigation and Drainage District irrigation ditch, which also extends east-west through the center of the property. The corridor containing this electric transmission line and irrigation ditch must remain in place as part of the development of the site. A 12'-15' wide ditch is also located along the eastern boundary of the south half of the property. These irrigation ditches are part of the districts' network of channels that transport water throughout the region, and cannot be abandoned. In conjunction with the development of this site, these ditches are planned to be either maintained or routed into pipelines throughout the project. Specific easements will be created and dedicated to the district for these pipelines as part of the final plat approval process.

A 60' wide gas line easement traverses the east boundary of the site. The easement begins at the south property line approximately 400 feet west of the Burriss Road alignment and extends in a general northeastern direction to the northeast corner of the site. The easement contains separate 12" and 20" pipelines, both belonging to El Paso Natural Gas Company. This easement will be preserved as part of the development of the site.

The property surrounding Fiore consists of land currently being utilized primarily for agricultural purposes. However, several single-family residential communities are approved and/or planned within close proximity to the site.

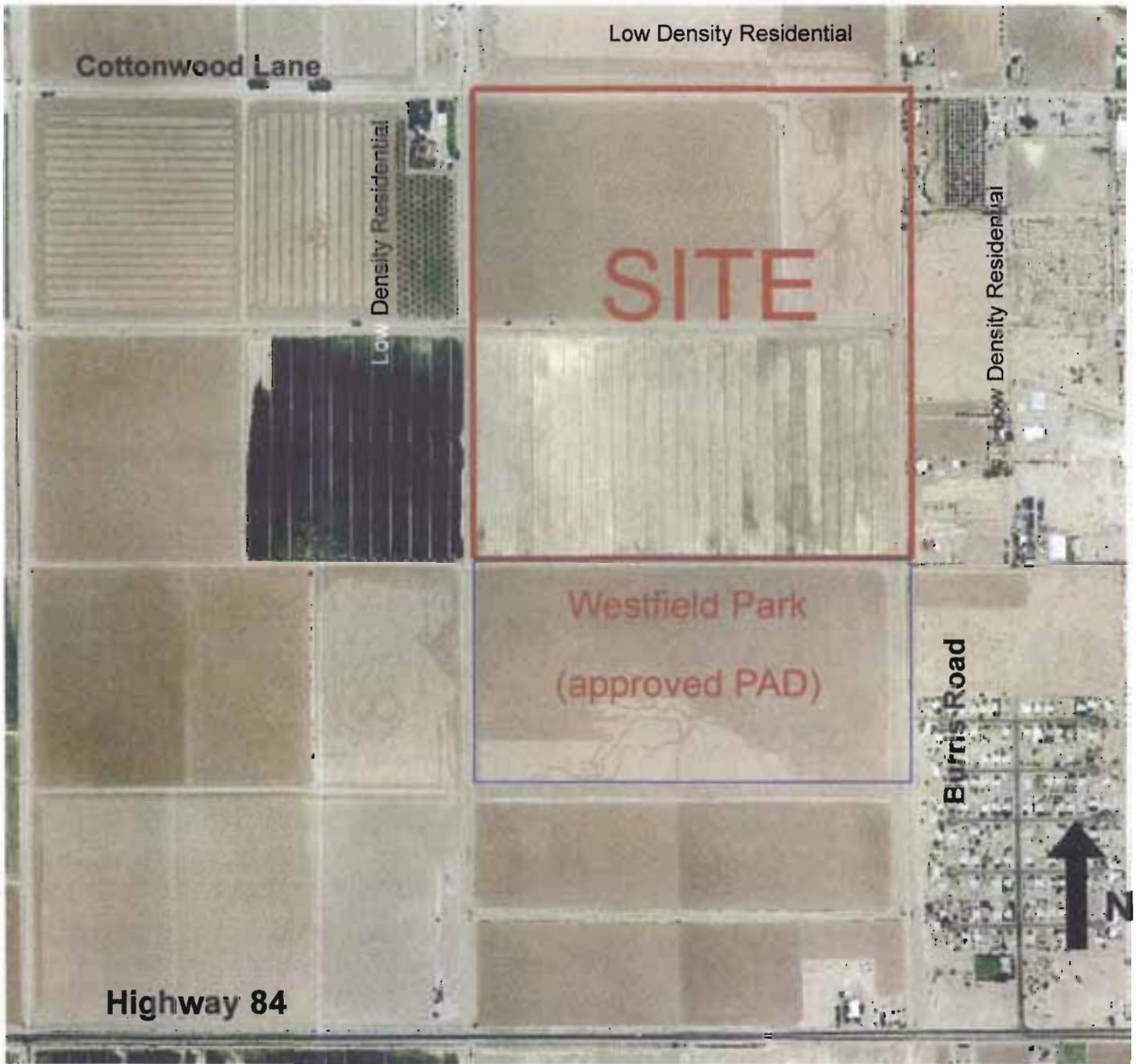
The north property line is bordered by Cottonwood Lane and is across the street from unincorporated Pinal County farmland. The City of Casa Grande General Land Use Plan designates this property as Low Density Residential (1-4 du/ac). Cottonwood Lane is currently maintained by Pinal County. However, once annexation of the site into the City of Casa Grande is finalized, maintenance of the roadway will be the responsibility of the City.

The eastern property line is bordered by Burriss Road, across from which is a small strip of unincorporated Pinal County land currently containing farmland and farmhouses on multi-acre lots. The City of Casa Grande General Land Use Plan designates this property as Low Density Residential (1-4 du/ac). Once annexation of the subject property is completed, maintenance of the roadway will be the responsibility of the City.

The south property line is adjacent to the approved but yet undeveloped subdivision known as Westfield Park. The City of Casa Grande General Land Use Plan designates this property as Low Density Residential (1-4 du/ac), and the project has recently been granted PAD zoning with an approved density of 3.5 units per acre. McMurray Boulevard is planned to extend between the two projects along its present alignment.

The western boundary of the property is along the Sisler Road alignment and is adjacent to unincorporated Pinal County farmland.

SITE MAP



3.0 COMMUNITY DESIGN

The development plan for Fiore proposes a distinct and diverse mix of neighborhoods that have been designed to provide compatibility with current and future land uses surrounding the property. The PAD zoning classification is requested to facilitate the development of this community, and includes a combination of flexible design standards and a variety of lot sizes which will promote harmony among the neighborhoods within the project as well as accommodate an assortment of residential product styles and designs.

Fiore encompasses approximately 160 acres and will be developed into 484 lots for a gross density of approximately 3.0 dwelling units per acre. The development plan creates four distinct neighborhoods consisting of minimum lot size categories of 55' x 115', 65' x 120', 65' x 125', and 70' x 125'. The proposed lot size mix is provided in the following table:

<u>Minimum Lot Size</u>	<u>Avg. Lot Area (sf)</u>	<u>Total Lots</u>	<u>% of Total</u>
55 x 115	6325	208	43%
65 x 120	7800	61	13%
65 x 125	8125	89	18%
70 x 125	8750	<u>126</u>	<u>26%</u>
		484	100%

The smallest lots are located in the northeast quarter of the project, the larger lots in the southwest quarter. All lots are arranged to take advantage of open space as much as possible. Curvilinear streets that connect the individual neighborhoods to their respective primary entries continue through the community and link to a collector spine road that extends north and south through the project. This collector spine road meanders through the project as well and is accentuated on both the east and west by lush open space and community pocket parks.

An abundance of open space will be provided throughout the community for the benefit of all future residents. Current PAD standards require at least 15% of the total PAD area to be reserved for open space and recreational use. The development plan for Fiore proposes 15.9% of the site (25.51 acres) as open space. The open space will consist of several significant landscaped corridors that extend through the community. These corridors will be linked to a series of neighborhood parks and "tot lots" that are arranged throughout Fiore.

Several of these parks and recreational areas will contain shaded play equipment, ramadas and benches, and all will be strategically located for convenient access by all future residents of the community.

Multi-use concrete paths with interspersed benches and trash containers will traverse the open space areas within the project providing pedestrian and bicycle connections to adjoining perimeter roadways. These connections are intended to encourage residents to walk or bicycle to nearby destinations and promote a sense of community within the neighborhoods of the project.

The primary entrance to the community will be from the proposed collector street that meanders through the project and connects McMurray Boulevard on the south with Cottonwood Lane on the north. The secondary entrances to the neighborhoods of Fiore are off Sisler Road and Burriss Road. Entrances have been situated to take advantage of the aesthetics created by the open space corridors to the extent possible. The presence of an existing natural gas pipeline easement along the eastern boundary of the project provides the opportunity for a dramatic open space tract adjacent to Burriss Road which in turn will provide a large buffer between the community and the future arterial roadway. Additionally, a regional irrigation ditch is currently located along the eastern boundary of the community, and also traverses the middle of the site from east to west along the same corridor as the electric transmission line. Plans include piping some of these irrigation facilities throughout the project to allow for their continued use. The electric transmission line must remain in its current location within the existing easement corridor. To mitigate the impact of the transmission line, an open space corridor will be created within the easement alignment and supplemented with natural vegetation and a natural surface multi-use path for the benefit of the future residents of Fiore.

Entry monuments will be located at the entrance to each neighborhood within the community and at the major project entry locations at Cottonwood Lane and McMurray Boulevard. Conceptual renderings of the primary and secondary monument features are provided within this development guide. Extensive landscaping will be provided at the main entry locations as well as at each neighborhood entryway, and along the entire alignment of the meandering collector street to provide a parkway-like experience for all vehicles and pedestrians traveling along the roadway. The presence of this landscaping and the additional landscape tracts on either side of the collector street will also serve to buffer all nearby homes from vehicular traffic.

PAD Illustrative Plan

Plan Data:

Project Gross Area: 160.74 Acres
 Project Net Area: 148.49 Acres
 Proposed Zoning: PAD
 Proposed Use: Single Family Residential
 Number of Lots: 484
 Proposed Density: 3.01 DU/Gross AC
 Open Space: (Based on Project Net Area - 148.49 Ac)

Required - 15% = 15 x 148.49 Ac = 22.27 AC
 Provided - 17.17%* = 25.51 AC (w/o Esmts.)
 25.46% = 37.81 AC (w/Esmts.)

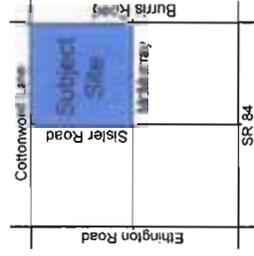
*Preliminary Plat Indicates 15.9% Based on Project Gross Area

Notes:
 All Calculations are approximate.
 This plan is conceptual and subject to revision based on review comments from the City of Casa Grande and additional detailed information from project consultants.
 NOT FOR CONSTRUCTION

Lot Summary:

Minimum Lot Size:	Number:
55'x115' (6325 Sq.Ft.)	208
65'x120' (7800 Sq.Ft.)	61
65'x125' (8125 Sq.Ft.)	89
70'x125' (8750 Sq.Ft.)	126
Total: 484	

Vicinity Map:



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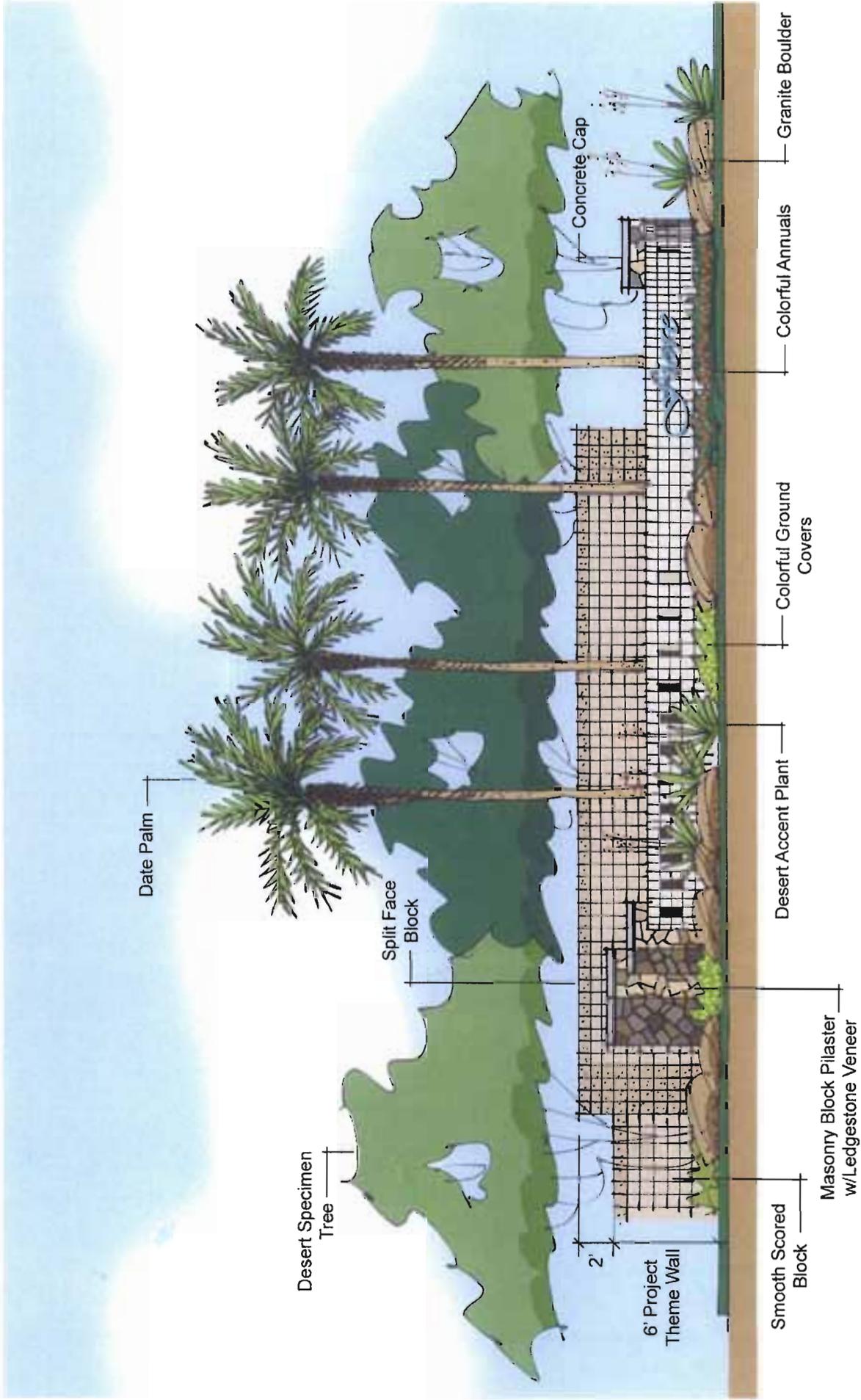
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Engineer:
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 115 South Main Street
 Coolidge, Arizona 85228
 (520)723-9198

Date: 7/14/2006
 Scale: No Scale
 North

fiore
 by Hacienda Builders
 Casa Grande, Arizona





Entry Monument Sign



Landscape Tract -
Width Varies



Desert Canopy Tree

Metal Sign Letters
Patina Finish
Post Mounted to Wall

Project Theme Wall
Split Face & Smooth Face
Scored CMU Block

Drip Irrigation System

Colorful Desert
Ground Covers

Desert Accent
Plant

Granite Boulders

Turf Accent

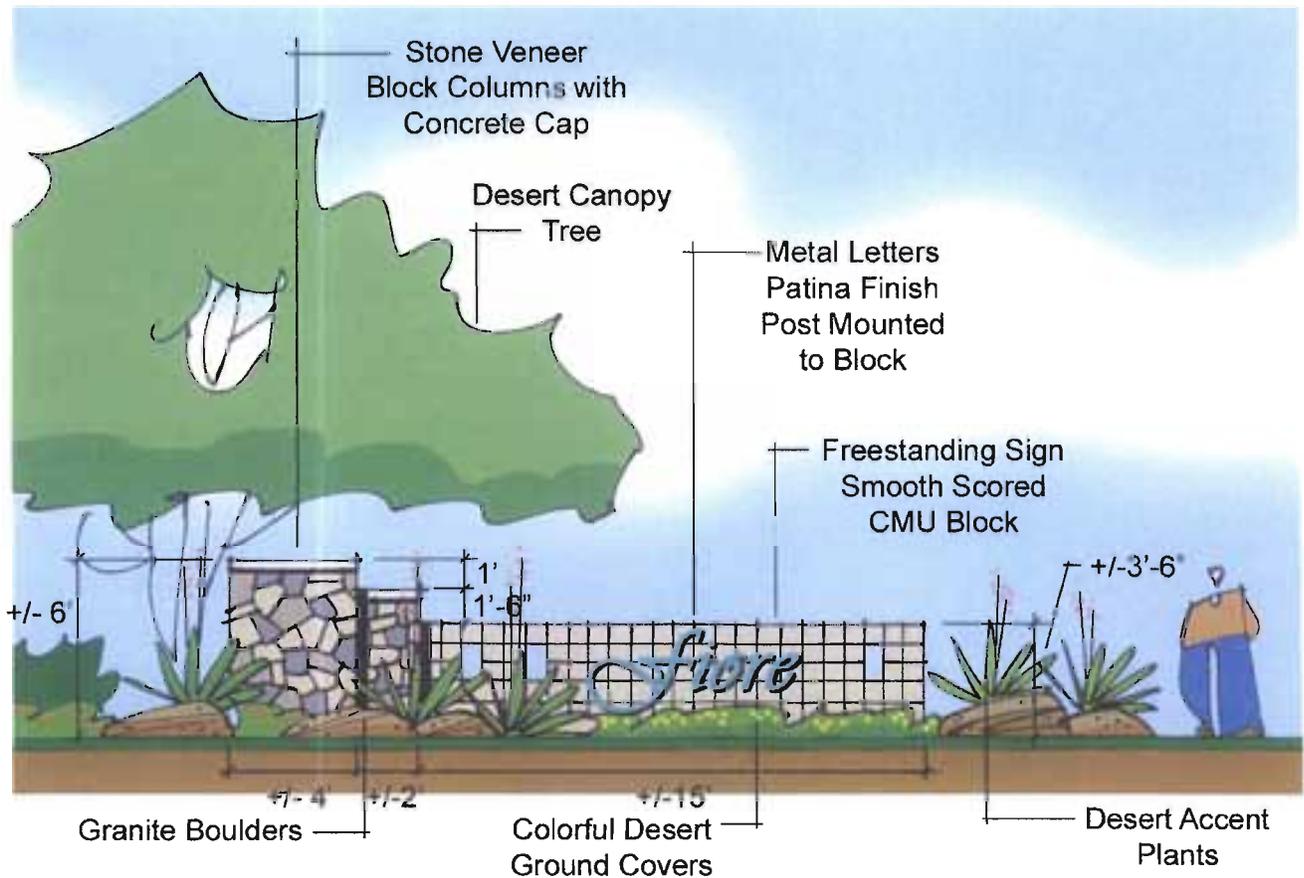
D.G Base

Desert Shrub

2'

6'

Entry Wall Sign



Note: Wall Dimensions are Approximate and Subject to Revision with Wall Construction Plans by Other.

Entry Freestanding Sign

5.0 TRAFFIC CIRCULATION

Fiore is located one half mile north of Highway 84, which serves as the main east-west thoroughfare through Casa Grande. Proximity to Highway 84 will provide the site with excellent access to existing transportation infrastructure. Primary access to the site will be from Burris Road, a future arterial roadway. Cottonwood Lane, which abuts the north boundary of the site, is also a designated arterial roadway. Both Cottonwood Lane and Burris Road will serve as the project's primary link to existing and future development in the area.

The west half of Burris Road adjacent to the project will be improved to the city's principal arterial street standards. These improvements will include half street paving with bike lane and a 6' wide detached sidewalk. The City of Casa Grande PAD development standards require a minimum 25' landscaped tract along all arterial roadways. Although the development plan for Fiore establishes this minimum tract width, the tract will be greatly increased to allow for the gas line and irrigation facilities mentioned previously.

The south half of Cottonwood Lane adjacent to the north boundary of the project will be improved as a minor arterial street. The improvements to be made along Cottonwood Lane will include half street paving with bike lane and a 6' wide detached sidewalk. A 25' landscaped tract will be provided along Cottonwood Lane to provide a buffer between the roadway and future residents.

Major collector streets are proposed along the west and south boundaries of the project. The improvements to be made along these roads (Sisler Road and McMurray Boulevard, respectively) include half street paving and a 5' detached sidewalk. A 15' landscaped tract will be provided along both collector streets to serve as a buffer between the roadway and neighborhood.

A minor collector street curving north-south through the project is proposed to allow traffic circulation to the individual neighborhoods within the project. This collector street will serve as the central access road for the community. The roadway is proposed as a 50' wide collector street in an 80' right-of-way, and will include bike lanes and 5' detached sidewalks on either side.

Local streets within the community will be dedicated as a 44' public right-of-way with roadway improvements measuring 32' from back of curb to back of curb and attached sidewalks.

6.0 OPEN SPACE CHARACTER

The development plan for Fiore proposes a total of 25.51 acres as dedicated open space. Open space areas within the project are intended to meet the outdoor recreational and leisure demands of future residents as well as contribute to the overall aesthetic quality of the community.

Numerous amenities will be provided within the project open spaces. These include tot lots for younger children, a sport court for middle-aged children, ramadas, picnic areas, and interconnecting multi-use trails. An abundance of open space will be provided at key project entry locations and at the entries to the various community neighborhoods. Significant open space buffers will be established along both Cottonwood Lane and Burris Road to further mitigate the effects of vehicular traffic and create an inviting and safe promenade for pedestrians along these arterial roadways. Two large open space corridors will be created east to west through the project that link to the proposed collector street. The open spaces within Fiore have been arranged to provide connections between different areas within the neighborhood and ensure that no lots are further than a short walk from recreational opportunities. Trail connections will be fashioned such that access to the centrally located park system will be easy for future residents, and enticing for children not only of elementary school age but older children and teens as well.

Entrances to the neighborhoods will be provided off of Cottonwood Lane, McMurray Boulevard, Burris Road and Sisler Road. While Cottonwood Lane and McMurray Boulevard will serve as the major entryways into the project via the planned internal collector street, each secondary entrance along Burris Road and Sisler Road into the individual neighborhoods will include entry signage and heavy landscaping. Additionally, streets and landscape tracts at the entries are uniquely situated such that vehicular headlight transmissions do not penetrate the front of any home within the project.

The neighborhood open space and amenities will be maintained by the formation of a homeowners association and the establishment of covenants, conditions, and restrictions. Neighborhood design guidelines will also be created so that the character and quality of the project and all open space areas will be perpetually maintained.

Several renderings have been provided with this development guide to graphically depict the character and theme of the proposed community open spaces and hardscape design. These renderings are provided in the following pages.

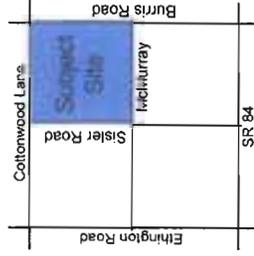
Conceptual Open Space/ Trails/Amenity Plan

Legend:

-  Amenity Area
-  10' Concrete or Natural Surface Path
-  6' Sidewalk
-  5' Detached Sidewalk
-  5' Sidewalk
-  4' Sidewalk
-  Decorative Paving
-  Desert Open Space Corridor
-  Enhanced Open Space

Notes:
All Calculations are approximate.
This plan is conceptual and subject to revision based on review comments from the City of Casa Grande and additional detailed information from project consultants.
NOT FOR CONSTRUCTION

Vicinity Map:



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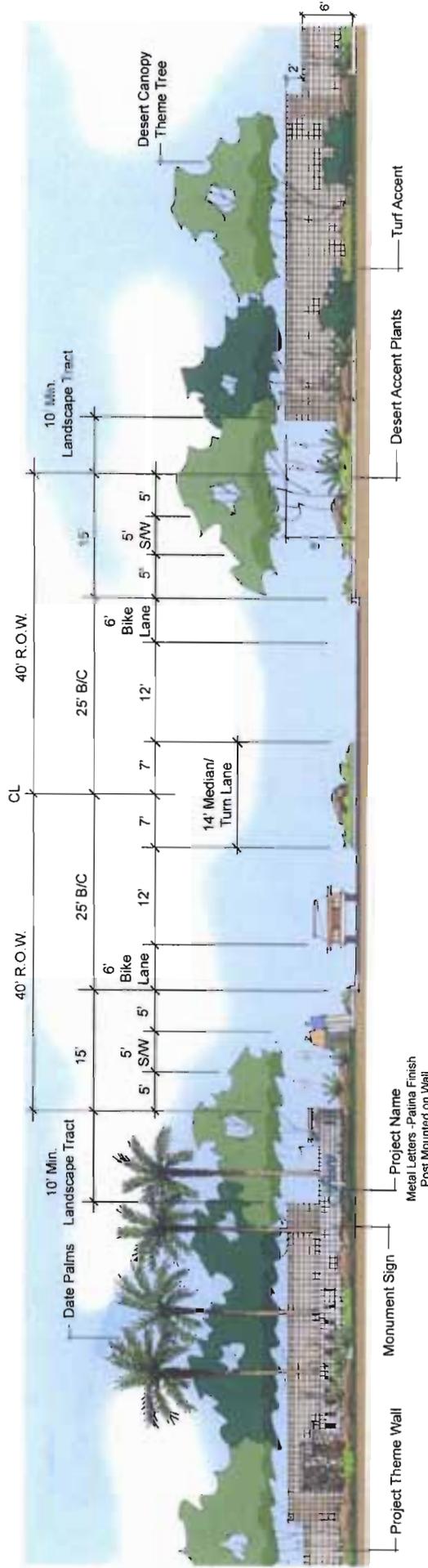


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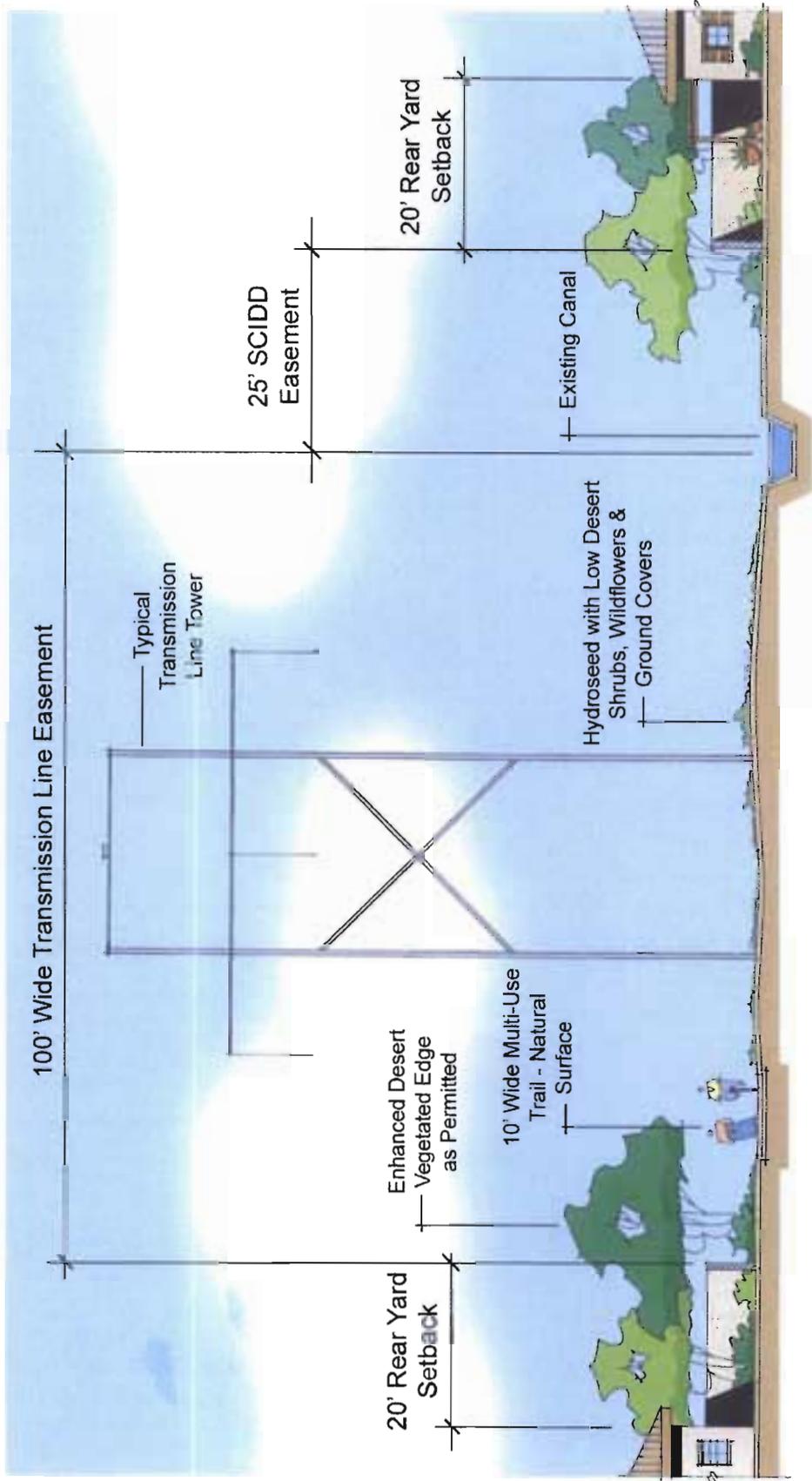
Fiore
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Casa Grande, Arizona



Major Entry Character Concept

Cottonwood Lane & McMurray Blvd.



Transmission Line Open Space Corridor

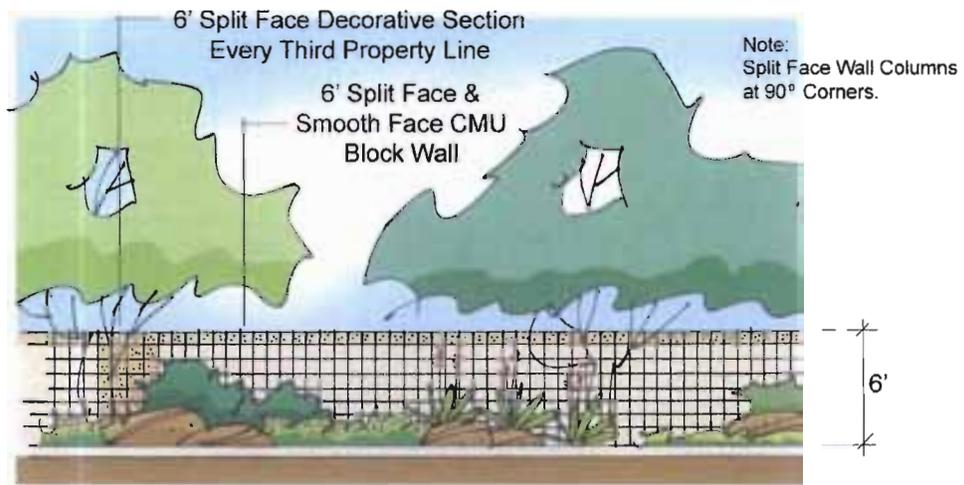


Typical Project Amenity

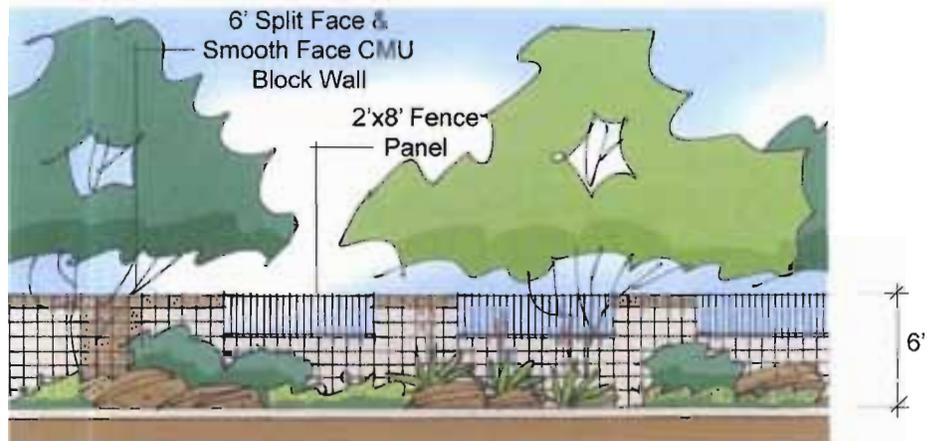
7.0 DEVELOPMENT PHASING

It is anticipated that Fiore will be constructed in one phase. However, depending on market demand at the time of development, the neighborhood may be developed in multiple phases. Any phasing will be indicated at the time of final plat approval.

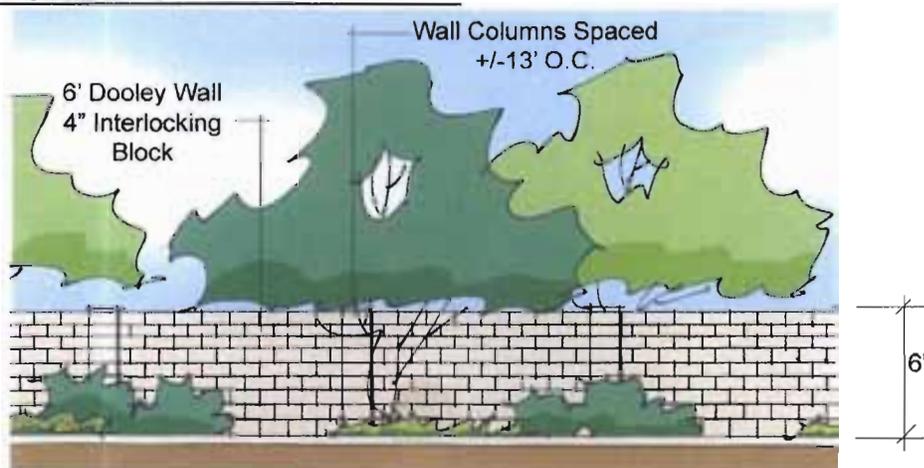
Project Theme Wall:



Optional View Fence Wall:



Dooley Wall:



Note: Wall Elevations are Conceptual and Subject to Revision. Not for Construction.

Project Walls

8.0 UTILITIES

A summary of the wet and dry utility needs, current locations, and extension requirements to service Fiore is as follows:

Water – Domestic water service will be provided by Arizona Water Company. Two 12" PVC lines will be constructed to provide a looped water system to the site. The first line will tie in to the future 12" PVC line within McMurray Blvd. to be constructed with the Westfield Park project located immediately south of the Fiore, and will enter the project at the alignment of the proposed internal collector street. A second 12" PVC line will be tied in at the intersection of Burriss Road and McMurray Boulevard and extended from the McMurray Boulevard line north in Burriss Road. All interior (local) streets will be constructed with 8" PVC water lines.

Wastewater – Sanitary sewer service for the project will be provided by the City of Casa Grande. The nearest available sewer connection point will be at a sewer lift station to be constructed at the southeast corner of McMurray Boulevard and Sisler Road in conjunction with the Westfield Park subdivision located immediately south of the site. Improvement plans for this lift station, together with a force main that will extend from the lift station east along McMurray Boulevard to Burriss Road, then north along Burriss Road and beneath the Union Pacific Railroad tracks to a manhole tie-in location in a 30" gravity sewer line that flows directly into the City's wastewater treatment facility, are currently being reviewed by the City. A gravity sewer system for the Fiore will be designed and constructed within the subdivision to flow to the northwest corner of the site. From this approximate outfall location, a 12" gravity sewer main will be designed and installed in Sisler Road to allow the project sewer flows to be deposited into the Westfield Park lift station.

Electrical Service – Electricity will be provided by San Carlos Irrigation Project (SCIP). SCIP currently has overhead facilities on the east side of Burriss Road adjacent to the site. The line is confirmed to have capacity to serve the anticipated power needs of the project. These facilities will be extended underground from this location in conjunction with the required roadway improvements.

Telephone – Telecommunication service will be provided by Qwest Communications. Currently, Qwest has buried fiber optic facilities along the north side of Highway 84 at Burriss Road. This line is confirmed to have capacity to service the project. An underground line will be extended south in conjunction with the required roadway improvements to provide telephone service to the project.

Gas – Natural Gas service will be provided by Southwest Gas Corporation. Currently, a 2" PVC line extends north from Highway 84 along the east side of Burriss Road. This line is confirmed to have capacity to service the project. Gas facilities will be extended from this location to the point of feed for the project in conjunction with the required roadway improvements.

9.0 SCHOOLS

Educational services for grade K through 8 students will be provided by the Casa Grande Elementary School District. Grade K-5 students living within the project will attend Evergreen Elementary School, located northeast of Trekell Road and Florence Boulevard, approximately three miles from the site. Evergreen Elementary is currently operating near capacity. However, several new schools are projected to be constructed in the near future in the immediate area to alleviate the burden on Evergreen Elementary School. Grade 6-8 students within the project will attend Casa Grande Middle School located north of Florence Boulevard on the east side of Pinal Avenue, approximately two miles from the site. This facility is operating near capacity but will soon be relieved with the addition of new facilities planned in the area.

Bus service will be available to transport students to both Evergreen Elementary and Casa Grande Middle School. For planning purposes, The Casa Grande Elementary School District projects thirty seven (37) K-5 grade students and eighteen (18) 6-8 grade students for every 100 households. Assuming a lot unit count of 484 households, this equates to approximately one hundred seventy-nine (179) K-5 grade students and eighty-seven (87) 6-8 grade students.

In lieu of a land donation to the Casa Grande Elementary School District for a future school site, the school district has requested the developer of the project to be responsible for a \$906.00 per unit school fee to be paid no later than 30 days after the building permit for each dwelling unit is issued by the City. Both the district and the City will require a Donation Agreement to be signed by the developer concurrently with the development approvals for the project to evidence this commitment. A signed agreement was submitted to the District on March 6, 2006 for School Facilities Board approval.

Educational services for grade 9 through 12 students will be provided by the Casa Grande Union High School District. High school students within the project will attend Casa Grande Union High School, located at the southeast corner of McCartney Road and Trekell Road, approximately seven miles from the site. This facility is currently operating near capacity but will soon be supplemented by the addition of a new high school to be constructed at the corner of Cottonwood Lane and Arizola Street, approximately five miles east of the site. The new facility is anticipated to open for school year 2008-2009. Students within the project will likely be reassigned to the new facility once opened. For planning purposes, the Casa Grande Union High School District anticipates 10 high school students for every 100 households. Assuming a maximum unit count of 484 households, this equates to approximately 48 high school students.

In lieu of a land donation to the Casa Grande Union High School District for a future school site, the developer of the project will be responsible for an \$800.00 per unit donation to be paid no later than 30 days after the building permit for each dwelling unit is issued by the City. Both the district and the City will require a Donation Agreement to be signed by the developer prior to zoning approval for the project to evidence this commitment. A signed agreement was submitted to the District March 6, 2006 for School Facilities Board approval.

10.0 PROPOSED DEVELOPMENT STANDARDS

Specific building setback and height standards are being proposed for all single family residences within Fiore. These standards are as follows:

Front Setback: 20' to 23' for front loaded garages (every 3rd or 4th home will have a minimum front yard setback stagger of at least 3') for lots with >120' depth.

18' to 21' for front loaded garages (every 3rd or 4th home will have a minimum front yard stagger of at least 3') for lots with 120' depth or less and all eyebrow lots.

15' for side loaded garages, living areas or front porches, except as indicated below:

<u>Lot number</u>	<u>Min. Front setback</u>	<u>Min. Garage setback</u>
221	14'	20'
223	14'	20'
322	10'	20'
323	10'	20'
324	12'	18'
338	11'	20'
340	14'	20'

Side Setback: 5' and 10' (15' total). Architectural elements including pot shelves, shadow boxes around doors and windows, bay windows, entertainment units and fireplaces will be allowed to encroach into the 10' side setback by a maximum of 3'.

Corner Side Setback: 15'. Adjacent landscape tracts of at least 10' in width may be included as up to 10' of this required setback.

Rear Setback: 20'. Patio covers open on three sides may encroach a distance of up to 10' from the rear property line.

Building Height: 28'

All other development standards will be in accordance with the current provisions of the Casa Grande Zoning Code.

11.0 PAD DESIGN STANDARD COMPLIANCE

Applicable Requirement	Response
Section 1A Layout Standards	
1. Open Space	
Min 15% open space required.	Will comply
No clubhouses or constructed asphalt or concrete areas can be counted towards open space.	Will comply
50% of required open space must be useful for recreation.	Will comply
15% of area of storm water retention basins used as recreation areas must be above the 25-year flood water surface elevation.	Will comply
All open space not considered natural must be xeriscape landscaped.	Will comply
PADs along I-10 must be buffered.	Not applicable
Guidelines for golf course open space calculation.	Not applicable
Landscape, landscape lighting, and open space amenity plans are subject to the review and approval of the Planning & Development Director.	Will comply
2. Lot Size Requirements	
Minimum lot area is 6,000 sq. ft.	Minimum lot area proposed is 6,325 sq. ft.
Minimum lot width is 55 feet.	Minimum width proposed is 55 feet
Variety of lot size is required.	Four different lot size niches are proposed. The layout includes lot widths of 55 to 70 feet and depths ranging from 115 to 125 feet.
Lots over 8,000-sq. ft. must equal or be more than those under 7,000-sq.ft.	Will comply - Lots < 7,000 sf = 199 and Lots > 8,000 sf =212.
3. Setbacks	
Unique setbacks shall be established. Minimum 10' side yard setbacks required.	Proposed building setbacks are noted in Section 10.0 of this development guide.
4. Multi-family Standards	Not applicable
5. Manufactured Homes	Not applicable
6. Multi-story Homes	
Multi-story homes not allowed on corner or end lots.	Will comply
Multi-story homes not allowed along boundary of established one-story single-story home subdivision.	Will comply

PAD DESIGN STANDARD COMPLIANCE

Applicable Requirement	Response
7. Streetscape & Entrances	
Unique & cohesive theme demonstrated through streetscapes, walls, signs, landscaping.	There will be a comprehensive theme for Fiore that will be used in the walls, signage, and landscaping.
Decorative walls are required along roadways with relief & view-fencing where appropriate	Will comply
Minimum 15-foot landscaped tract is required along adjacent arterial and collector streets.	Will comply. In most cases, the landscaped tract along the arterial rights-of-way (Cottonwood Lane and Burris Rd) will be substantially wider than 25'.
Provide an enhanced subdivision entry	Entries to Fiore include monument signage, lush landscaping and large open space tracts that provide views deep into the community.
8. Front Yard Landscaping	
Front yard landscaping provided by the builder is required.	Will comply
Front yard landscaping must be installed within 3 weeks of closing.	Will comply
Front yard landscaping packages offered by developer/builders shall be subject to review and approval by the Planning & Development Director and must meet the following requirements: a variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided; front yard landscaping designs with berming, river run features, courtyards, lighting, or other creative features shall be offered for standard landscape designs; and if turf/lawn is provided for front yards, it shall be kept to a minimal (no more than 20%) portion of the front yard and include a concrete header or similar border.	Will comply
9. Schools	
Conveniently located school sites must be considered.	School service is discussed within this development guide under the heading "Schools."
11. Miscellaneous	
Side yard fence returns for all interior lots must extend to within 10 feet of front of home.	Will comply
All walls within public view must be painted the color of the primary decorative color.	Will comply

PAD DESIGN STANDARD COMPLIANCE

Applicable Requirement	Response
Section IB. Additional Requirements	
Provide a mix of cul-de-sac designs, curvilinear streets, etc.	The interior roadways have been creatively designed to minimize speeds and provide a mixture of curvilinear streets.
Stagger front setbacks by at least three feet for every third or fourth lot.	Will comply
Provide a 10-foot wide concrete trail meandering through the development.	Meandering 10' wide concrete trails will extend through the project's designated open spaces.
Increase the width of the landscape tract between arterial right-of-way and residential lots to 25'.	Will comply
Applicant's choice	The feature used to satisfy this requirement is the proposed linear park/trail system for the project. This system will provide open space trails from the southeast corner of the project through to the central open space corridor and link to open space tracts along the collector spine road, tying the entire community together.
Section IIA Architectural Standards	
1. Floor Plans & Elevations	
A minimum of 5 floor plans, each with 3 elevations is required.	Will comply
At least 5 distinct color schemes are required.	Will comply
Diversity and uniqueness is required for elevations.	Will comply
Homes of the same elevation or color scheme cannot be placed adjacent to or across from each other.	Will comply
No more than 3 consecutive similar rear elevations are allowed backing to an arterial or collector street.	Will comply
Emphasis must be placed on front elevations. Main entries must face the street.	Will comply
Architectural embellishments are required around all windows.	Will comply

PAD DESIGN STANDARD COMPLIANCE

Applicable Requirement	Response
2. Roofs	
A variety of roofing colors, shapes, textures are required. Concrete tile is required for all sloped roofs.	Will comply
Variation of ridgelines and designs is required.	Will comply
Unique roof colors must be matched to the home color.	Will comply
All mechanical equipment must be ground-mounted.	Will comply
3. Garages	
At least one floor plan must include a side-entry garage on 65' wide and larger lots.	Will comply
No front-loaded garage may extend more than 10 feet past the front of the home living area or covered porch.	Will comply
At least one floor plan or product type shall have the livable area in front of the garage.	Will comply
Front-loaded garages may not exceed 50% of the home width. Where more than a standard two car front-entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.	Will comply
4. Patio Covers	
Covered patios or covered courtyards are required.	Will comply
Where possible, patio covers should be incorporated into the home architecture.	Will comply
Columns and roofs must use the same principle material of the home.	Will comply
5. Additions & Modifications	
All additions shall be constructed of the same principle material & be painted to complement the home.	Will comply
Garages may not be converted or enclosed for other uses.	Will comply
Accessory buildings shall only be located within walled rear yards and if over 200 square feet, shall be constructed to match or complement the building materials and colors used on the principle residence.	Will comply

PAD DESIGN STANDARD COMPLIANCE

<i>Applicable Requirement</i>	<i>Response</i>
Section IIB. Additional Architectural Requirements	Four of the listed requirements will be selected and submitted with home elevations for approval by the Planning and Zoning Commission.
1. Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.	
2. Provide unique architectural styles for all homes within a parcel or parcels of a PAD. Depart from currently popular architectural styles to use other unique house styles, such as Craftsman, Prairie, Territorial, Ranch, Tudor, Mission, and Pueblo.	
3. Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and/or dormers as standard features on all homes.	
4. Reduce the number of standard front-loaded garages. At least one floor plan per project or product type shall have the garage oriented towards the rear of the home as a standard feature. In addition, the number of floor plans using side-loaded garages as standard features shall be increased from the minimum required.	
5. Reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, providing multiple roof changes, and/or other effective means.	
6. Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.	
7. Provide one elevation per project or product type that uses flat roof, e.g., Santa Fe or Pueblo architectural style, elements.	
8. Applicants choice. An opportunity for creativity and design innovation is provided here.	

12.0 LEGAL DESCRIPTION

The Northeast quarter of Section 23, Township 6 South, Range 5 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona.