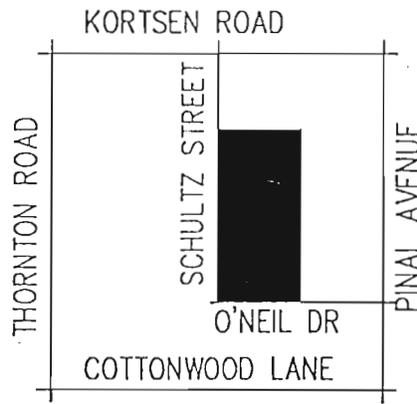


Narrative Report
DESERT CROSSING

SW of PINAL AVENUE AND KORTSEN ROAD

CASA GRANDE, AZ



PAD

CGPZ50-99

CGPZ51-99

CGPZ52-99

SUBMITTED: July 12, 1999

NEWPORT DEVELOPMENT

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TABLE OF CONTENTS

1. **PURPOSE OF REQUEST**
2. **DESCRIPTION OF PROPOSAL**
 - Lot Types and Sizes
 - Open Space/ Drainage
 - Desert Crossing PAD
 - Proposed Single-family Zoning Standards
 - Multi-Family Housing
 - Secured RV Storage Area
3. **MANDATORY RESIDENTIAL PAD DESIGN STANDARDS**
4. **RESIDENTIAL PAD DESIGN STANDARDS**
5. **MANDATORY RESIDENTIAL PAD ARCHITECTURAL STANDARDS**
6. **RESIDENTIAL PAD ARCHITECTURAL STANDARDS**
7. **ADDITIONAL STANDARDS**
8. **RELATIONSHIP TO SURROUNDING PROPERTIES**
9. **LOCATION AND ACCESSIBILITY**
10. **DEVELOPMENT SCHEDULE**
11. **CIRCULATION SYSTEM**
12. **COMMUNITY FACILITIES AND SERVICES**
13. **PUBLIC UTILITIES AND SERVICES**
14. **Appendix A**
 - Conceptual Plant Palette

PROJECT NARRATIVE

1. PURPOSE OF REQUEST:

The purpose of this application is to obtain Planned Area Development (PAD) zoning to implement a new residential community by Newport Development to be called **Desert Crossing**. The total site area is approximately 80 gross acres located west of the southwest of Kortsen Road and Pinal Avenue. The site is adjacent to the proposed SK Ranch and is currently zoned Urban Ranch (UR).

The purpose of this PAD is to allow for the development of a planned community consisting of single-family and multi-family residential, and a secured RV storage area.

This Development Guide will demonstrate how the proposed development of Desert Crossing meets or exceeds the primary design objectives of the PAD. Newport is requesting a PAD in order to provide alternatives to the design standards under typical residential zoning to provide more open space, amenities and landscape tracts around the project. Newport Development is not a homebuilder, but will bring in a homebuilder at some point in the future.

2. DESCRIPTION OF PROPOSAL

Desert Crossing proposes a mix of single-family home ownership and multi-family opportunities within the planned community to meet a variety of housing needs in Casa Grande. This diversity in housing provides an excellent alternative to Mobile Home and RV parks. The project will include open space, recreation and landscaped retention areas. The PAD provides standards for architectural design, product diversity, and landscaping to insure long term quality of the community. To ensure a lasting quality planned unit development Desert Crossing will have a Homeowners' Association for enforcement of Covenants, Conditions and Restrictions (CC&R's). A copy of the CC&R's for this development shall be submitted to the City of Casa Grande.

Lot Types and Sizes:

Desert Crossing will be comprised of single-family detached homes on approximately 62.37 gross acres, which includes 2.1 acres for a secured RV storage area and multi-family on approximately 18.52 gross acres. There will be architectural guidelines to ensure housing diversity is accomplished.

The single-family residential portion of Desert Crossing will have 75% of all lots 7,000 square feet and greater. There will be minimum lot sizes of 50' x 110' (5,500 square feet), 56' x 126' (7,056 square feet) and 61' x 115' (7,015 square feet). The maximum density of Desert Crossing will be 4.0 dwelling units per acre for the single-family residential and 18.0 dwelling units per acre for the multi-family parcel.

Open Space & Drainage

Common Area Open Space & Drainage – Desert Crossing will provide common area open space and drainage through large tracts within the central corridor of the project. These tracts pick up on-site drainage and convey the water to the north and ultimately will pass under Kortsen Road. Some of the open space areas may be used as retention basins. Any open space to be used as a retention basin will be sized appropriately to meet Flood Control guidelines. Prior to approval of the final plat drainage and retention reports shall be submitted to the City engineer for review and approval. The High Density Residential portion of the site shall be developed to continue the central open space theme and pedestrian access through this open area must be maintained between the multi-family and single-family areas.

DESERT CROSSING PAD:

The property is located in the City of Casa Grande General Plan Area. The current City of Casa Grande General Plan designates the site as Low Density Residential (LDR), which allows for 1.4-4 dwelling units per acre. Within this General Plan designation, 249 dwelling units would be allowed for the single-family portion of the subdivision. Desert Crossing is proposing the allowable 249 dwelling units or **4.0 units to the acre**. The multi-family parcel located in the southern portion of the community exceeds the allowable density under LDR, therefore, an amendment to the General Plan for HDR (High Density Residential) has been submitted concurrently with the re-zoning application. Permitted land uses for the PAD shall be limited to those uses characterized by the corresponding General Plan land use category. For HDR these are condominiums, townhomes and apartments. All development within areas designated as HDR on the General Plan must undergo the Major Site Plan review (and platting, if applicable) process.

Setbacks for Single-family Detached Housing

Location Revised Minimum Requirements

Front

- 18 ft. to front-loaded garage for one-story.
- 15 ft. to living area for one-story.
- 20 ft. to garage for two-story.
- Front setbacks will be staggered a minimum of five feet (every second or third lot).

Rear

- 15 ft.
- 25 ft. for lots backing an arterial or collector roadway or the perimeter of the PAD.

Side

- 5 ft. (except where note below)*
- *5 ft. & 10 ft. for two-story homes.
- 10 ft. minimum distance between adjacent one-story homes.
- 15 ft. minimum distance required between a two-story homes.

Corner

- 15 ft. not including adjacent landscape tracts.

Perimeter of PAD

- 25 ft.

Newport Development is proposing a General Plan Amendment and Re-Zoning of approximately 18.52 acres of Desert Crossing to allow Multi-Family Housing (MF). The MF portion of Desert Crossing will provide a good transition from the mobile home park adjacent to the south and the single-family residential portion of the community. In addition, the MF portion will further contribute to the housing diversity within Desert Crossing and surrounding area.

The future, potential uses of the multi-family site could include apartments, townhomes or retirement or assisted living housing. The MF portion will function independently of the single-family residential and all improvements adjacent to the site shall be done.

Secured RV Storage Area

Included within Desert Crossing will be a long term, seasonal, RV storage area. The RV area will include up to 60 spaces, which will be secured by a decorative 8 ft. high block wall and security code activated gate. The RV storage facility will be for the use of Desert Crossing residents only. No tractor-trailers or inoperable vehicles will be allowed.

There will be an extra wide drive of 40 feet, which will allow plenty of room for RV turning movement within the storage area. The Desert Crossing RV parking stalls will be a minimum of 20' x 40' with even deeper stalls available. The Desert Crossing HOA will manage and maintain the RV storage area.

The following items shall pertain to the RV Parking Area:

- A concrete or asphalt surface is required.
- Only operable RV's, boats, and campers belonging to the residents of the Desert Crossing PAD shall be allowed to utilize the parking area.
- Signage shall be limited to one directional/information sign not exceeding 6 sq. ft. in area.
- Any type of security wire or electric fencing is prohibited.
- The parking area shall remain gated when not in use. The gate shall be designed and colored to match the wall.
- The parking area shall have security lighting that is directed downward and away from the residential areas.
- The parking area shall be managed and maintained by the Desert Crossing Homeowners' Association.

Similar projects have been built successfully with the same type of arrangement for access and management in Maricopa County, such as Garden Lakes in Avondale, Arizona.

5. MANDATORY RESIDENTIAL PAD DESIGN STANDARDS by Casa Grande

This Development shall conform to the City of Casa Grande's Residential Design Standards for Planned Area Developments. All improvements discussed in the Final Development Guide will be provided and all public improvements must comply with the minimum requirements of the City code unless otherwise approved by staff. An approved Final PAD Plat and Development Guide shall be recorded prior to approval of the Final Plat.

1. Open Space:

1.1 PADs less than 500 acres shall have a minimum of 10% open space.

- **Not Applicable**

1.2 PADs with a density greater than four dwelling units per acre shall have a minimum of 15% open space.

- **Desert Crossing will have a minimum of 15% Open Space for the entire project single-family and multi-family.**

1.3 At least 50% of the required open space must be improved and of a usable form such as parks, multi-use trails, bike paths, turfed retention areas, and tot lots.

- **At least 50% of the required open space will be improved with a centralized park, walking path and turfed retention. In addition, the passive recreation areas will all be within a 1,000 foot radius from each dwelling unit.**

1.4 When retention areas are improved, e.g., turfed, for passive recreation, at least 15% of the basin needs to be elevated above a 25-year flood water surface elevation.

- **At least 15% of the retention basins will be elevated above a 25-year flood water surface elevation.**

1.5 If golf courses are included in open space calculations, the minimum open space requirement shall be 20%, with no more than 60% of the required improved open space being utilized for the golf course.

- **Not Applicable**

1.6 For phased PADs of more than 50 total acres, improved open space shall be provided within each phase of a project.

- **Improved open space shall be provided within each phase of Desert Crossing.**

2. Lot Sizes

2.1 No single-family lot or home park space shall be less than 4,500 square feet.

- **Desert Crossing's minimum lot size is 50' x 110' or 5,500 square feet.**

2.2 No more than 25% of the total single-family lots shall be under 7,000 square feet.

- **No more than 25% of the single-family lots are under 7,000 square feet.**

2.3 No more than 25% of the total home park spaces shall be under 6,000 square feet.

- **Not Applicable**

2.4 A minimum 50 ft. width is required for all single-family lots and home park spaces.

- **The minimum lot width for single-family lots in Desert Crossing is 50 feet.**

3. Manufactured home subdivisions and parks

3.1 Not applicable

4. Miscellaneous

4.1 A minimum 25 ft. rear setback is required for all principal buildings backing an arterial or collector roadway.

- **Rear yard setback along Schultz Street will be 25 ft.**

4.2 Adjacent one story single-family detached units shall have no less than a combined 10-ft. side yard separation distance.

- **All one story units will have a minimum of a combined 10 ft. side yard separation.**

4.3 Adjacent two-story single-family detached units shall have no less than a combined 15 ft. side yard separation distance.

- **All two story units will have a combined 15 ft. side yard separation.**

4.4 When perimeter walls and walls adjacent to roadways that are provided for a project the wall must include design elements, such as textured and/or split face block, and/or painted stucco surfaces.

- **Perimeter walls will include split face block.**

4.5 In accordance with the City's PAD requirements, front yard landscaping shall be installed by the developer/builder or their representative prior to occupancy.

PAD Standards are in Bold text.

Additional Restrictions and Standards are in Normal text.

1. Enhanced subdivision entryway features Yes
 - a. **Monument signs and increased landscaping will be used at the main entrance in Tract A to create a greater neighborhood identity.**
 - b. Desert Crossing will provide street lighting and signs per Casa Grande standards.
 - c. Signs will be placed in a manner so not to be obscured by mature landscaping.
 - d. Signage for the LDR portion is limited to one low profile (5 ft. high maximum) monument style at the primary entrance and up to one additional smaller wall sign at each of the two secondary entrances. The style and appearance of these signs shall resemble that shown in the Development Guide.

2. Provide a mix of cul-de-sac designs Yes
 - a. **A mix of cul-de-sac designs will be incorporated, including cul-de-sacs with open space ends.**
 - b. Large radius cul-de-sacs will be provided for safe truck, fire and garbage collection traffic maneuvering.

3. Provide landscaped buffer Yes
 - a. **A Landscaped buffer between sidewalks and back of curb along Schultz Street will be provided.**
 - b. Landscaping will be in accordance with the City's landscape ordinance and an approved landscape plan.

4. Provide a curvilinear street system Yes
- a. **Curvilinear Streets will provide visual interest and will slow traffic.**
 - b. To promote safety, short street lengths have been designed to minimize cut through traffic in Desert Crossing.
 - c. Streets will be designed to provide safe and convenient access between neighborhoods.
 - d. Local streets will be extended to provide access between future adjoining neighborhoods at safe intervals.
 - e. Block lengths will be relatively short to discourage high vehicular speeds.
5. Stagger front setbacks Yes
- a. **Front yard setbacks will be staggered a minimum of five (5') feet for every second or third lot.**
6. Design perimeter walls and walls adjacent to roads include breaks, staggers and varied materials Yes
- a. **View walls adjacent to open space will include staggers and breaks with block and wrought iron.**
 - b. View walls are proposed for the majority of lots adjacent to the central open space. View walls will provide the ability of increased security in the common areas. The open fencing creates a spacious feeling and discourages graffiti and vandalism.
 - c. The perimeter walls on the Schultz Street will be scored concrete block with split face accents. These decorative elements will create a visual interest and enhance the image of the community.
 - d. Perimeter Walls - Perimeter walls will be built as a 4" x 8" x 16" solid masonry fencing and designed to attractively enhance the community. A 6 ft. tall decorative perimeter wall will be located along Schultz Street.
 - e. Interior Walls - Interior walls will be solid block walls of 4" x 8" x 16" dully block (6 ft. tall) with wood gates framed in metal for durability and aesthetics.
 - f. Prohibitions -Permanent chain link and wooden fencing will not be permitted, except for temporary construction fencing. Wrought iron and wood gates will be permitted.
 - g. The design of all project perimeter and interior walls shall resemble that shown in the Development Guide. The wall along the east perimeter and the walls around the RV parking area shall be eight feet in height. The " V-design" decorative wall design shown in the Development Guide shall be utilized for the wall along the east perimeter of this PAD.

7. Orient lots for terminating vistas of focal points Yes
- a. Many Single-family lots will side and back onto open space and most streets terminate into open space.
 - b. All of the cul-de-sacs will terminate into the open space. The open space will be easily visible and physically assessable to all residents.

8. Provide street trees Yes
- a. At least one (1) 15 gallon theme tree will be required to be planted in a central location on each lot, six (6) feet from back of sidewalk prior to occupancy.

7. ADDITIONAL PAD FEATURES PROVIDED:

1. Secured RV Storage Yes
- a. Included within the single-family residential portion of Desert Crossing will be a long term, seasonal, RV storage area. The RV area will include up to 62 spaces, which will be secured by a 8 ft. high decorative block wall with a security coded, activated gate. The facility will be accessible to Desert Crossing residents only. No tractor-trailers or inoperable vehicles will be allowed. The surface treatment will be concrete or asphalt. The RV storage facility may be phased per market demands.

2. Widen corner lots
- Corner lots will be 10 ft. wider than non-corner lots.

3. Walking Path
- A four ft. wide sidewalk (asphalt or concrete) will be located within the central open space.

4. Ground Mounted Mechanical Equipment
- Residential dwelling units shall have no roof-mounted mechanical equipment (e.g., HVAC, swap coolers).

5. Pedestrian Access to Commercial Site.

A 30 ft. wide tract for pedestrian access to the future Northgate Retail Center will be provided at a central location within Desert Crossing.

7. MANDATORY RESIDENTIAL PAD ARCHITECTURAL STANDARDS

1. Elevations and Roofs

1.1 A minimum of four home floor plans, each with three distinct elevations, is required per project.

- **Desert Crossing will have a minimum of 4 floor plans each with 3 distinct elevations.**

1.2 A minimum of three distinct home color schemes is required per project.

- **A minimum of three distinct home color schemes will be provided.**

1.3 There shall not be any more than two consecutive similar front home elevations.

- **There shall not be any more than 2 consecutive similar front home elevations in Desert Crossing within the single-family community.**

1.4 There shall not be any more than three consecutive similar rear home elevations for homes backing an arterial or collector roadway.

- **There shall not be any more than 3 consecutive similar rear home elevations in Desert Crossing that back onto an arterial or collector roadway within the single-family community.**

1.5 A variety of roofing materials, colors, shapes, and/or textures is required per project.

- **A minimum of three (3) complementary roof tile colors will be utilized for the project.**

2. Multi-Story Homes

2.1 No multi-story home shall be built on a lot less than 6,000 square feet.

- **Desert Crossing shall not allow any 2-story homes built on lots less than 6,000 square foot lots.**

3. Add Ons

3.1 Add-on elements, such as awnings and carports, shall be constructed and painted to compliment home.

- **Any add ons shall be constructed and painted to compliment the house.**

8. RESIDENTIAL PAD ARCHITECTURAL STANDARDS by Casa Grande

This Development shall conform to the City of Casa Grande’s Residential Design Standards for Planned Area Developments. Home floor plans and elevations shall be presented to the Commission for their review and approval prior to issuance of permits for the homes.

PAD Standards are in Bold text.

Additional Restrictions and Standards are in Normal text.

- | | | |
|----|--|-----|
| 1. | Incorporate a variety of durable exterior materials and finishes | Yes |
| | <ul style="list-style-type: none"> a. Sloped roofs will have concrete tile roofs. b. Masonry, brick and stone exterior accents will be incorporated into the homes. c. Alternate stucco textures may be allowed as approved by the Homebuilder. d. Stucco will be the primary exterior material. e. Wood and exterior architectural plywood will not be allowed. | |
| 2. | Provide significant architectural features | Yes |
| | <ul style="list-style-type: none"> a. Significant architectural design features, such as covered front entries, front porches, and/or bay windows, shall be incorporated into at least 50 percent of the homes. | |
| 3. | Exceed the mandatory requirements | Yes |
| | <ul style="list-style-type: none"> a. The number of required floor plans, elevations, and home color schemes shall be increased to six or more floor plans, each with three distinct elevations, and a minimum of four distinct home color schemes. | |

4. Applicant's Choice

Yes

- a. All windows and doors which face a street shall have architectural details that provide shadow relief from the front plain of the homes.
- b. Sides of homes adjacent to the central open space and roadways will have windows.

9. ADDITIONAL STANDARDS

- a. Desert Crossing will provide streetlights throughout the project. Each home will have lighting on the front porch to provide security to the residents and the neighborhood.
- b. All stored items must be screened behind a 6 ft. wall, and must not be visible from neighboring property.
- c. All refuse containers must be stored in garages or behind block walls.
- d. No permanent on-street parking will be allowed. To discourage long-term overflow parking and junk cars, temporary on-street parking will be limited to 48 hours.
- e. The Developer will provide an approved decomposed granite list specifying colors and suppliers.
- f. No artificially colored rock will be allowed.
- g. No artificial turf will be allowed.
- h. Front-loaded garages shall be de-emphasized. In an effort to visually demonstrate this standard for future home buyers, the model complex shall include a minimum of two homes with living space and/or covered front porches forward of the garage plane.

10. RELATIONSHIP TO SURROUNDING PROPERTIES:

Zoning - The property to the north is zoned PAD with proposed lot sizes of 45' x 110' and 55' x 110' called SK Ranch. Northwest and west of the subject property is an approved PAD called Desert Sky Ranch. Desert Sky Ranch has a mix of Medium and Low Density along with manufactured housing. To the east of the subject property is the Northgate Master Plan with industrial and commercial approved uses. To the South of the subject property is an existing mobile home park. To the Southwest is a vacant parcel owned by the Arizona Water Company with a reservoir tank on Burgess Peak.

Topography - The property is physically characterized as being featureless with a slope of less than 1%.

11. LOCATION AND ACCESSIBILITY:

There will be one (1) main entryway on Schultz Street and two (2) minor entryways on Schultz Street. A large landscaped tract throughout the central corridor establishes the character of Desert Crossing. Presently, Schultz Street is not built and O'Neil Drive is built to the

Southeast corner of the property. This development will include the necessary half-street improvements to Schultz Street and O'Neil Drive to include paving, striped bike lane, curb, gutter sidewalk and frontage landscaping. The local roads will be public streets and built to City Standards. Rights-of-Way needed for future roadways shall be dedicated during the platting process for the project.

12. DEVELOPMENT SCHEDULE.

Development is anticipated to start upon approval of the recordation of the Final Plat and approval of the improvement plans for the project. (Estimated 9 months). The phases would be based on each individual land use and current housing market conditions.

13. CIRCULATION SYSTEM

Interior circulation is provided within the residential component of the Development Plan by 44 ft. wide right of way for public local streets and 40 ft. of right of way for cul-de-sacs. The cul-de-sacs will have a 44 ft. right of way radius. The exterior circulation is provided by the proposed infrastructure with half street improvements as noted in the above section. Prior to approval of the final plat a traffic study shall be submitted to the City engineer for review and approval.

The street pattern in these parcels will be designed to ensure safe traffic movement and to enhance the community appearance. In addition, neighborhood street designs and cul-de-sacs will discourage cut-through traffic.

The developer/builder shall be responsible for the construction of the east half of Schultz Street (dedication of 40 ft. Right of Way) along the property, including installation of paving striped bike land, curb, gutter, a 4 f.t. wide sidewalk, and frontage landscaping. With the approval of the City Engineer, initial (pre-HDR development) improvements to Schultz Street along the HDR portion may be limited to paving, curb, and gutter. The developer/builder shall be responsible for the construction of the north half of O'Neil Drive (dedication of 40 ft. Right of Way) along the property, including installation of paving striped bike lane, curb, gutter, a 4 f.t. wide sidewalk, and frontage landscaping. With the approval of the City Engineer, initial (pre-HDR development) improvements to O'Neil Drive along the HDR portion may be limited to paving, curb, and gutter. This delay will allow for proper siting of curb cuts, hydrants, light standards, and handicap ramps.

A comprehensive traffic study shall be submitted and reviewed by the City to determine the traffic impact of this project and any need for additional traffic and roadway improvements that the developer/builder will be required to provide and/or be partially financially responsible for based on the amount of traffic generated by this development.

Interior streets will be constructed to applicable full-width local street requirements. Local drives accessing Schultz Street shall directly oppose access roads into the proposed development to the west (Desert Sky Ranch). A minimum of one local drive connection shall be provided to the SK Ranch PAD. The developer/ builder shall be responsible for the construction of (and dedication of) all local street to City Standards. Street names are subject of the approval of the

Building Department. Within the single-family home area, no vehicle access shall be allowed except from the front driveways of individual lots.

The developer will be responsible to extend electric, cable television, and other dry utilities to the site under private agreement with various utility providers. Any utilities running throughout the site or utilities, which need to be relocated for development of the site will be placed underground. On-site improvements including streets, sewer, water, dry utilities, retention areas, the developer in accordance with the PAD phasing plan shall construct landscaping and park areas. Sewer facilities, streetlights and fire hydrants must be provided according to City codes and per the recommendations of the Engineering and Fire Departments. A Certificate of Assured Water Supply will be obtained for this development. Prior to approval of the final plat a sewer study shall be submitted to the City engineer for review and approval. Improvement plans will be submitted and approved by City staff prior to Council approval of the required Final Plat(s). The method and amount of financial assurance shall be approved as to form by the City Attorney prior to Council approval of the Final Plat(s).

14. COMMUNITY FACILITIES AND SERVICES:

Desert Crossing will be designed with a large continuous, landscaped open space tract centrally located in the subdivision. The open space will be equipped with a tot lot, two ramadas, sand volleyball court, exercise stations, benches and barbecues. The park will be centrally located providing easy access for pedestrians. A 4 ft. wide walking path will run from the north end of the open space to the south end.

Open space and retention areas will be combined where recreational play is not compromised. The project Homeowners' Association will maintain all landscape in open space tracts.

15. PUBLIC UTILITIES AND SERVICES:

- Water and Sewer – When the developer submits their preliminary plat, they shall obtain a service letter for Sewer from the City of Casa Grande. The will serve letter for water has been obtained from the Arizona Water Company. The developer will extend public sewer and water to serve this site from existing facilities located at in Kortsen Road and Schultz Street or through the adjacent SK Ranch stub outs. There are existing water lines in Korsten Road (12”) as well as in O’Neil Drive (10”) at Pinal Aveue.
- Newport Development has met with Doug Mason, General Manger, San Carlos Irrigation District, which serves this area. The existing irrigation ditch will be piped or relocated per the recommendations of the San Carlos Irrigation District. The developer/builder shall work with the San Carlos Irrigation District and City Engineer to relocate, pipe or discontinue, and establish necessary easements for, any irrigation ditches on the property at the developer’s/builder’s expense.

- Casa Grande Elementary School District – Newport Development has met with the Superintendent of Schools, Frank Davidson, and has determined that the school has capacity for the next four years.
- Casa Grande Union High School District
 - Police – City of Casa Grande.
 - Fire Protection – City of Casa Grande
 - Electrical – Arizona Public Service
 - Telephone – U.S. West
 - Refuse – City of Casa Grande

CONCEPTUAL PLANT PALETTE

The plants on this list shall be encouraged. However, this list is not all-inclusive and additional plants may be added at a later date.

BOTANICAL NAME

Trees

Acacia smallii
Brachychiton populneus
Cercidium floridum
Dalbergia sissoo
Fraxinus velutina 'Rio Grande'
Pinus halepensis
Pistacia chinensis
Populus fremontii
Prosopis alba 'Colorado'
Prunus C. 'Krauter Vesuvius'
Schinus terebinthifolius
Ulmus parvifolia

SHRUBS AND GROUND COVER

Agave species
Baccharis hybrid 'Starn'
Bougainvillea species
Caesalpinia pulcherima
Calliandra californica
Cassia species
Cneorum convolvulus
Cynodon dactylon
Dalea frutescens
Dasylirion wheeleri
Encelia farinosa
Hesperaloe species
Jusicia ovata
Lantana 'New Gold'
Leucophyllum species
Malethora lutea
Myoporum parvifolium
Nerium oleander 'Petite Pink'
Oenothera berlandieri
Passiflora alatocaerulea

COMMON NAME

Trees

Sweet Acacia
Bottle Tree
Blue Palo Verde
Sissoo Tree
Rio Grande Ash
Aleppo Pine
Chinese Pistache
Cottonwood
Mesquite
Purple Leaf Plum
Brazilian Pepper Tree
Evergreen Elm

SHRUBS AND GROUND COVER

Agave Species
'Thompson' Baccharis
Bougainvillea Species
Red Bird of Paradise
Baja Fairy Duster
Cassia Species
Bush Morning Glory
Common Bermuda
Black Dalea
Desert Spoon
Brittle Brush
Hesperaloe Species
Red Hummingbird Bush
'New Gold' Lantana
Sage Species
Rocky Point Ice Plant
Myoporum
'Petite Pink' oleander
Mexican Evening Primrose
Passion Vine



Plumbago scandens
Ruellia peninsularis
Salvia greggii
Verbena species

Plumbago
Ruellia Species
Autumn Sage
Verbena Species

ORDINANCE NO. 1178. 123

AN ORDINANCE OF THE COUNCIL OF THE CITY OF CASA GRANDE, ARIZONA, AMENDING ZONING ORDINANCE #1178 AND ITS SUBSEQUENT AMENDMENTS BY CHANGING THE ZONING FROM URBAN RANCH (UR) TO PLANNED AREA DEVELOPMENT (P.A.D) ON PROPERTY LOCATED EAST OF SCHULTZ ROAD AND SOUTH OF KORTSEN ROAD, CASA GRANDE, ARIZONA.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF CASA GRANDE, ARIZONA, as follows:

Section 1. Authorization for Rezoning

Ordinance No. 1178 and its subsequent amendments are amended by changing the zoning from Urban Ranch (UR) to Planned Area Development (P.A.D.) on property located east of Schultz Road and south of Kortszen Road, Casa Grande, Arizona. The legal description is as follows:

(see Exhibit A, attached hereto and incorporated herein by this reference)

This zoning change is subject to applicant/owner's compliance with all applicable law and ordinances as well as the following conditions and recommendation made by the Planning and zoning Commission and/or the City Council:

1. All revisions and additions to the Development Guide and related materials required per the conditions stated below (and correcting all technical errors) must be made prior to Council hearing this request. Finalized Development Guides and related materials shall be submitted no less than fourteen days prior to the first Council meeting.
2. This development shall conform to the City's *Residential Design Standards for Planned Area Developments*.
3. Prior to approval of the required Final Plats, the applicant shall submit final drainage and retention reports, sewer reports, and a traffic study, that meet the approval of the City Engineer.
4. The developer/builder shall be responsible for the construction of the east half of Schultz Street (dedication of 40' R.O.W. required) along their property, including installation of paving, striped bike lane, curb, gutter, a four foot wide sidewalk, and frontage landscaping. With the approval of the City Engineer, initial (pre-HDR development) improvements to Schultz Street along the HDR portion may be limited to paving, curb, and gutter.
5. The developer/builder shall be responsible for the construction of the north half of O'Neil Drive (dedication of 40' R.O.W. required) along their property, including installation of paving, striped bike lane, curb, gutter, a four foot wide sidewalk, and frontage landscaping. With the approval of the City Engineer, initial improvements (pre-HDR

development) to O'Neil Drive along the HDR portion may be limited to paving, curb, and gutter.

6. A minimum of one local drive connection shall be provided to the SK Ranch PAD. Local drives accessing Schultz Street shall directly oppose access roads into the proposed development to the west (Desert Sky Ranch).
7. The developer/builder shall be responsible for the construction of (and dedication of) all local streets to City standards.
8. A development phasing plan, meeting the approval of the City Engineer and City Planning Director, shall be included in the Development Guide for this project.
9. The developer/builder shall work with the San Carlos Irrigation District and the City Engineer to relocate, pipe, or discontinue, and establish necessary easements for, any irrigation ditches on the property at the developers/builders expense.
10. A comprehensive traffic study must be submitted and reviewed by the City to determine the traffic impact of this project and any need for additional traffic and roadway improvements that the developer/builder will be required to provide and/or be partially financially responsible for based on the amount of traffic generated by this development.
11. A Final landscape plan, meeting the approval of the Planning Director, must be provided prior to approval of any Final subdivision Plats for this property.
12. Signage for the LDR portion is limited to one low profile (five foot high max) monument-style at the primary entrance and up to one additional smaller wall sign at each of two secondary entrances. The style and appearance of these signs shall resemble that shown in the Development Guide.
13. The design of all project perimeter and interior walls shall resemble that shown in the Development Guide. The wall along the east perimeter and the walls around the RV parking area shall be eight feet in height. The "V-design" decorative wall shown in the Guide shall be utilized along Schultz Street and for the south, west, and east sides of the RV parking area. Either one of the two decorative wall designs shown in the Guide shall be utilized for the wall along the east perimeter of this PAD. Any wall adjacent to the central open space shall utilize the view wall design shown in the Development Guide.
14. The following items pertain to the RV parking area:
 - A concrete or asphalt surface is required.
 - Only operable RV's, boats, and campers belonging to the residents of the Desert Crossing PAD shall be allowed to utilize the parking area.
 - Signage shall be limited to one direction/information sign not exceeding 6 square feet in area.
 - Any type of security wire or electric fencing is prohibited.
 - The parking area shall remain gated when not in use. The gate shall be designed and colored to match the wall.
 - The parking area shall have security lighting that is directed downward and away

- from the residential areas.
 - The parking area shall be managed and maintained by the Desert Crossing H.O.A.
15. The HDR portion shall be developed to continue the central open space theme and pedestrian access through this open area must be maintained between the multi-family and single-family areas.
 16. Permitted land uses for the PAD shall be limited to those uses characterized by the corresponding General Plan land use category. For HDR these are condominiums, townhomes, or apartments.
 17. All development within areas designated as HDR on the General Plan must undergo the Major Site Plan review (and platting if applicable) process.
 18. A copy of the CC&R's for this development shall be submitted to the City.
 19. Any utilities running through the site or any utilities which need to be relocated for development of the site, must be placed underground. Residential dwelling units shall have no roof-mounted mechanical equipment (e.g., HVAC, swamp coolers).
 20. Street names are subject to the approval of the Building Department.
 21. Sewer facilities, street lights, and fire hydrants must be provided according to City codes and per the recommendations of the Engineering and Fire Departments.
 22. A Certificate of Assured Water Supply will be required for this development.
 23. In accordance with the City's PAD requirements, front yard landscaping shall be installed by the developer/builder or their representative prior to occupancy.
 24. Setbacks shall be as stated on the color figure in the Guide.
 25. Under the proposed additional standards for PAD architecture on pages 11 and 12 of the Guide, additional commitment and attention to the City's standards is necessary:
 - 1.b. shall read masonry, brick, and/or stone exterior accents will be incorporated into the homes.
 - 2.a. shall state that significant architectural features, such as covered front entries, front porches, and/or bay windows, shall be incorporated into at least 50 percent of the homes.
 - 3.a. shall read the number of required floor plans, elevations, and home color schemes shall be increased to six or more floor plans, each with three distinct elevations, and a minimum of four distinct home color schemes.
 - An added standard that front-loaded garages will be de-emphasized shall be provided. In an effort to visually demonstrate this standard for future home buyers, the model complex shall include a minimum of two homes with living space and/or covered front porches forward of the garage plane.
 - Home floor plans and elevations shall be presented to the Commission for their

review and approval prior to the issuance of permits for the homes.

26. All improvements discussed in the Final Development Guide will be provided and all public improvements must comply with the minimum requirements of the City code unless otherwise approved by City staff.
27. Within the single-family home area, No Vehicle Access shall be allowed except from the front driveways of individual lots.
28. An approved Final PAD Plat and Development Guide shall be recorded prior to approval of the Final Plat.
29. Improvement plans must be submitted and approved by City staff prior to Council approval of the required Final Plat(s). The method and amount of financial assurance shall be approved as to form by the City Attorney prior to Council approval of the Final Plat(s).
30. Development of the site shall be in accordance with all applicable code requirements of the Building, Fire, Planning, and Engineering departments and, more specifically, the items noted on "Exhibit A" and the approved Final Development Guide.
31. A minimum of fifteen percent open space shall be provided for the Desert Crossing PAD.

Section 2. Operative Date

That the operative date of this ordinance shall be the later of September 16, 1999 or the date on which the final plat is recorded in the Pinal County Recorder's Office in substantial accordance with the requirements set forth by this Ordinance. If the final plat is not recorded prior to September 16, 2000, the Mayor and City Council may, after notifications to owner and applicant, schedule a public hearing to cause the property to revert to Urban Ranch (UR) zoning classification.

PASSED AND ADOPTED by the Mayor and Council of the City of Casa Grande, Arizona, this 16th day of August, 1999.



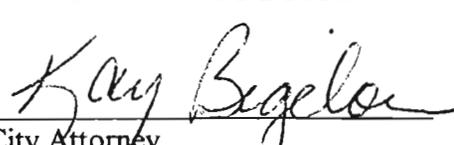
Mayor

ATTEST:



City Clerk

APPROVED AS TO FORM:



City Attorney

LEGAL DESCRIPTION
CASA 80 METES AND BOUNDS

DESERT CROSSING
PAD LEGAL

The Southwest quarter of the Northeast quarter and the Northwest quarter of the Southeast quarter of Section 18, Township 6 South, Range 6 East of the Gila and Salt River Base and Meridian, being more particularly described as follows:

Commencing at the Northwest corner of the said Northeast quarter of Section 18, thence South 01°54'18" West, along the West line of the said Northeast quarter of Section 18, a distance of 1325.43 feet to the Northwest corner of the said Southwest quarter of the Northeast quarter and the TRUE POINT OF BEGINNING;

Thence South 89°50'44" East, along the North line of said Southwest quarter of the Northeast quarter, a distance of 1323.81 feet to the Northeast corner thereof;

Thence South 01°42'56" West, along the East line of said Southwest quarter of the Northeast quarter, a distance of 1329.03 feet to the Southeast corner thereof also being the Northeast corner of the Northwest quarter of the Southeast quarter of said Section 18;

Thence continue South 01°42'56" West, along the East line of said Northwest quarter of the Southeast quarter, a distance of 1328.89 feet to the Southeast corner thereof;

Thence North 89°31'54" West, along the South line of said Northwest quarter of the Southeast quarter, a distance of 1332.12 feet to the Southwest corner thereof;

Thence North 01°53'34" East, along the West line of the said Northwest quarter of the Southeast quarter, a distance of 1325.46 feet to the Northwest corner thereof also being the Southwest corner of the Southwest quarter of the Northeast quarter of said Section 18;

Thence North 01°54'18" East, along the West line of the said Southwest quarter of the Northeast quarter, a distance of 1325.39 feet to the TRUE POINT OF BEGINNING.

Containing 80.90 acres, more or less.





City of Casa Grande

July 2, 2001

Chris Lindahl
KB Home
432 N. 44th Street, Suite 200
Phoenix, AZ 85008

RE: CGPZ-16-01

This letter is to inform you that your request for a PAD Amendment was approved by the Planning and Zoning Commission, on May 3, 2001 with the following conditions:

1. All conditions of the original zoning ordinance for Desert Crossing and the Development Guide for Desert Crossing shall remain in effect, except as otherwise stated in this PAD Amendment. Development of this PAD shall be in accordance said ordinances, Guides, City Codes, and all conditions required by the Planning and Zoning Commission.
2. Collector roadways shall be designed to accommodate a total of two travel lanes, one center turn lane, and bike lanes. Schultz Street and O'Neil Drive sidewalks shall be detached from the curb.
3. Half street collector roadway improvement for east half of Schultz Street and the north half of O'Neil Drive adjacent to the PAD shall be completed prior to the construction of homes within the third phase of the single-family development area as delineated on the revised preliminary plat.
4. Local streets and cul-de-sacs shall be built to City standards (local thru-streets shall use a 44' right-of-way, unless the proposed 40' r/w is otherwise approved by the City Engineer).
5. Setbacks shall be as indicated on the revised preliminary plat, except that all typical 60' wide lots shall use 5' and 10' side yard setbacks and all corner/end lots adjacent to landscape tracts shall have corner/end lot side yard setbacks of at least 10 feet.
6. All accessory buildings shall be located within a walled rear yard and maintain minimum five foot setbacks (twenty foot for corner yards).
7. A minimum of six single-family floor plans, each with three (e.g., A, B, and C)

distinct and unique elevations, is required for each product type. At least two distinct product types are required for this PAD. Home elevations shall vary from those offered at the adjacent SK Ranch development (some methods of variation shall include offering new floor plans and elevations, enhancing eave treatments, enhancing architectural treatments around windows, and using window inserts in front doors).

8. A minimum of six distinct home color schemes, each with a unique concrete roof tile color, is required for the PAD. Color schemes shall vary from the adjacent SK Ranch development. At least two types (e.g., flat, barrel, etc.) of concrete roof tile shall be offered.
9. There shall be no adjacent (side by side) or opposing (facing) homes with the same front elevation or color scheme.
10. There shall be no more than two consecutive same rear elevations backing the collector roadway. Variations in roof ridge lines, rear patio covers, and building heights shall be used to create the required diversity.
11. Garage doors shall not exceed fifty five percent of the house width (frontage), except a third car garage may be offered as an option on two-story homes on the typical 60' wide lots.
12. Front entry ways shall be emphasized and facing the street. Covered front entries and/or covered front porches shall be used to achieve this required feature.
13. Rear patio covers on homes backing Schultz Street shall have stuccoed columns and tile or parapet style roofs. Other alternatives proposed are subject to the review and approval of the Planning and Zoning Commission.
14. All elevations facing a street or open space area shall include windows, and pop-outs or similar architectural features.
15. Front-loaded garages shall not extend more than ten feet forward of a home's front liveable area or covered front porch. Front liveable area shall extend forward of the garage on at least one floor plan per product type.
16. A covered front porch shall be provided as a standard feature on at least one floor plan per product type within the development. At least one such home shall be included in the model complex.
17. Stone or masonry exterior treatments (stone, brick, concrete plank siding, etc.) for front home elevations shall be a standard features on the "C" elevations on at least fifty percent of the floor plans offered for this development. At least one such home

- shall be included in the model complex. The majority of the "B" front elevations offered in this development shall use window shutters, wrought iron features, and/or other unique enhancements approved by the Planning and Zoning Commission.
18. All mechanical equipment, such as air conditioners and evaporative coolers, shall be ground mounted. Said equipment shall be located behind the wall in the rear or side yard.
 19. All floor plans, elevations, and colors for the single-family homes are subject to the review and approval of the City Planning and Zoning Commission. Significant variety shall be demonstrated between front elevations for each floor plan and front elevations of different floor plans.
 20. All multi-use paths and sidewalks shall be constructed of concrete. The central open space walkways shall be at least five feet in width and designed to connect to all streets intersecting with the central open space area and all open space amenities.
 21. Amenities provided for the central open space area shall include the following: One tot lot with play station, two ramadas with tables and benches, two barbeques, one concrete half-court basketball court, additional benches outside of the ramadas, a meandering concrete walkway, at least two large turf play areas, and adequate lighting for safety purposes.
 22. Drywells shall be used in the central open space area to ensure the consistent passive and active use of the open space area.
 23. Where possible, this subdivision shall directly abut the adjacent SK Ranch subdivision, without any tracts in between the two projects. If any portion of said tract is required because of drainage issues, the tract shall be at least 35' wide and landscaped. Walkways and walls for the area shall be subject to further staff review during the Final Plat process.
 24. Pavers or stamped concrete and appropriate signage shall be used to delineate the sidewalk road crossing in the central open space area.
 25. One decorative masonry monument sign, similar to that shown in the Development Guide, shall be located at the middle entrance into the development.
 26. Walls for the development shall use the decorative designs used for the adjacent SK Ranch development. The east perimeter wall shall be seven feet in height. All walls with surfaces viewable by the public (all wall surfaces, except those inside individual back yards) shall be colored to match the adjacent SK Ranch development (brownish color). However, wall (fence) returns on individual lots may be painted the color of the home.

27. Multi-story homes shall not be constructed on lots less than 6,000 square feet in area.
28. Front yard landscaping shall be installed within 3 weeks of closing. A minimum of one fifteen gallon tree, seven five gallon shrubs or accent plants, and three ground cover plants, plus an irrigation system and granite rock topping is required for each lot. Two standard landscape plans shall be offered for all lots and one plan shall include a river run design that uses 3"- 8" river rock or fractured granite (shrubs and groundcover quantities may be reduced to five and two, respectively, when the river run plan is used). Upgraded landscaped options shall be made available, however, grass/turf shall not be offered for front yard landscaping packages.
29. Minimum plant sizes shall be as follows: fifteen gallon trees, except around all entryways and other prominent locations where trees shall be at least 24" Box size; fifteen foot tall palms; five gallon shrubs and accent plants; and one gallon groundcovers. Minimum granite size shall be 1/2" or 6"-8" for rip rap. Fractured granite rip-rap shall be used for all retention basin bottoms (areas where water may cause erosion or smaller granite may be covered with silt) not covered with turf and all drainage ways and erosion prone areas. Emphasis must be placed on landscaping and providing adequate lighting at the subdivision's entrances.
30. The landscape tract at the north entrance shall align with the adjacent SK Ranch landscape tract. The landscape tract at the southern entrance shall be angled similar to the landscape tract at the north entrance. Said tracts shall be no less than fifty feet wide.
31. A PAD Plat shall not be required for this PAD.

If you have any questions, please call Mark Eckhoff, City Planner, at (520)421-8637 Ext. 303.

Sincerely,



Laura Blakeman
Planning & Development Secretary



City of Casa Grande

July 2, 2001

Chris Lindahl
KB Home
432 N. 44th Street, Suite 200
Phoenix, AZ 85008

RE: CGPZ-14-01

This letter is to inform you that your request for a Preliminary Plat was approved by the Planning and Zoning Commission, on May 3, 2001, subject to the following conditions:

1. Final drainage, traffic, water, sewer reports and plans, meeting the approval of the City Engineer, are required prior to Council approval of any Final Subdivision Plats for this project.
2. Civil improvement plans must be submitted and approved by City staff prior to Council approval of any Final Subdivision Plats. The method and amount of financial assurance shall be approved as to form by the City Attorney prior to Council approval of any Final Subdivision Plats.
3. Local streets and cul-de-sacs shall be built to City standards (local thru-streets shall use a 44' right-of-way, unless the proposed 40' r/w is otherwise approved by the City Engineer).
4. A Certificate of Assured Water Supply is required for this subdivision.
5. Eliminate or modify the tract located in between this subdivision and the SK Ranch development. Engineer and design drainage accordingly.
6. The local street stub-out to the parcel to the south shall be eliminated and replaced with open space landscaping if the PAD is not amended to change this parcel from multi-family residential uses to single-family residential uses by the time the most southerly east-west local street is built. If the adjacent parcel is developed with conventional detached single-family homes, the roadway connection shall be required.
7. Final landscape, wall and amenity plans shall be submitted for the review and approval of the Planning and Development Director prior to the approval of the Final Plat. A self latching locking gate shall be installed at the commercial parcel access point. The commercial parcel ownership shall have the right to close this opening

Telephone: 520/421-8600 - Telefacsimile: 520/421-8602 - TDD: 520/421-2035

City Hall: 510 East Florence Boulevard - Casa Grande, Arizona 85222

with a matching wall if requested by the Planning and Zoning Commission upon the review of site development plans for the commercial parcel.

8. Tracts adjacent to north and south entrances shall be revised according to the PAD Amendment approval.
9. On lots one and 188, the driveways shall be located towards the eastern end of the lots.
10. All street names are subject to the review and approval of the Building Department.
11. A lot matrix shall be provided with the final plat to verify that no more than 25 percent of the SFR lots are less than 7,000 square feet in area.
12. Street lights and fire hydrants shall be provided in accordance with City Codes.
13. The Final Subdivision Plats and the future development of the site shall be in accordance with the approved Final PAD Development Guide and PAD zoning, all applicable City codes and ordinances, and all conditions required by the Planning and Zoning Commission and City Council.

If you have any questions, you may call Mark Eckhoff, City Planner, at (520)421-8637 Ext. 303.

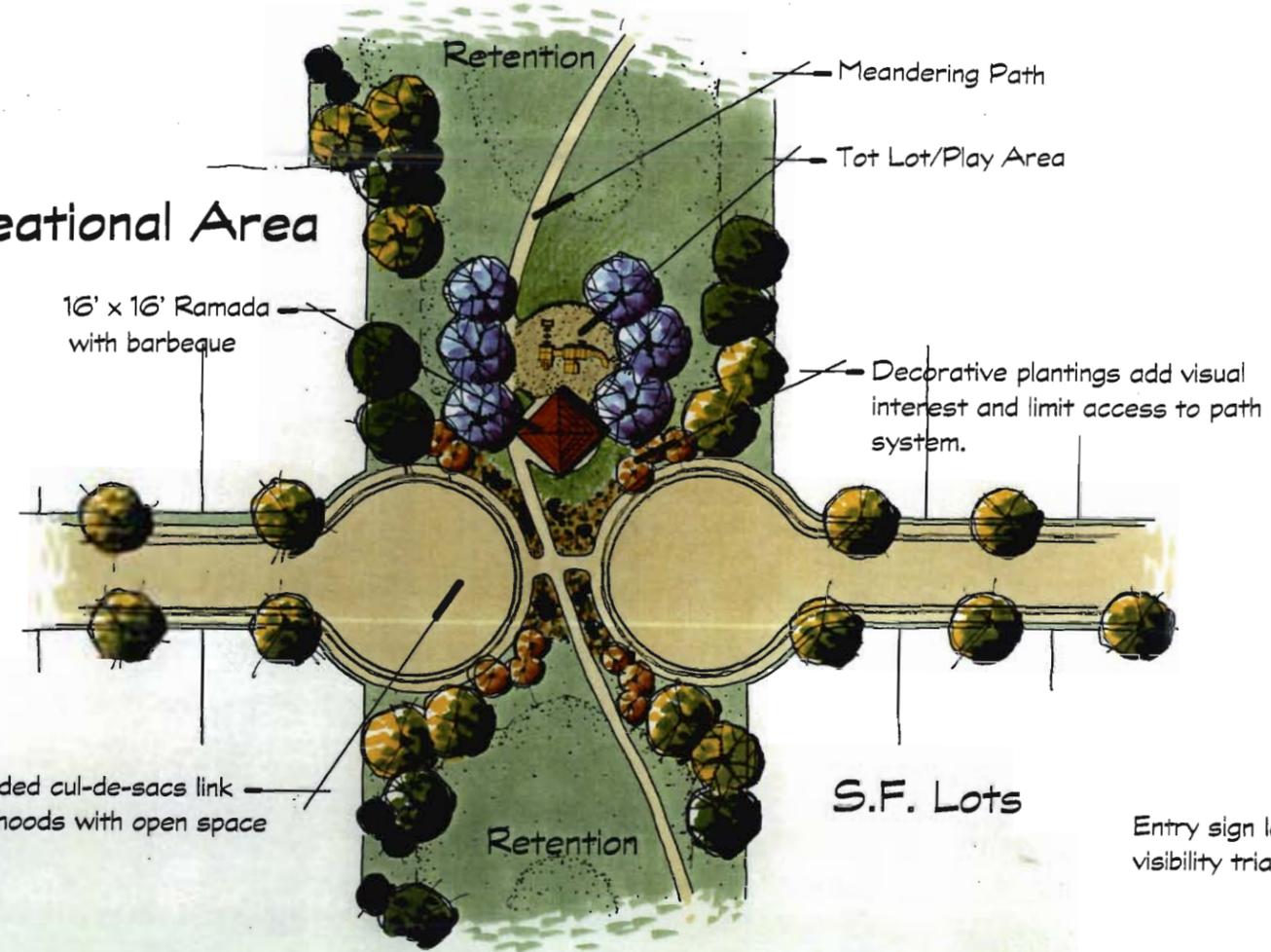
Sincerely,



Laura Blakeman
Planning & Development Secretary

Recreational Area

Open ended cul-de-sacs link neighborhoods with open space system.

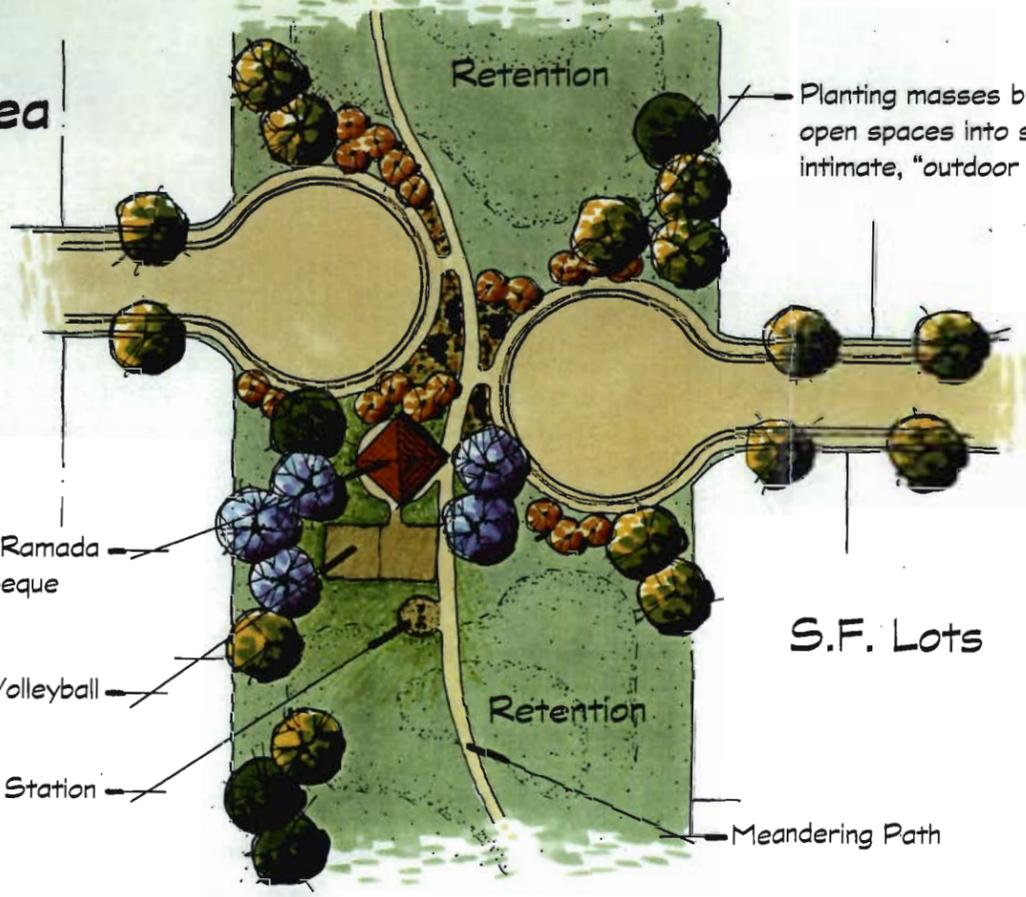


Recreational Area

16' x 16' Ramada with barbeque

Sand Volleyball

Exercise Station



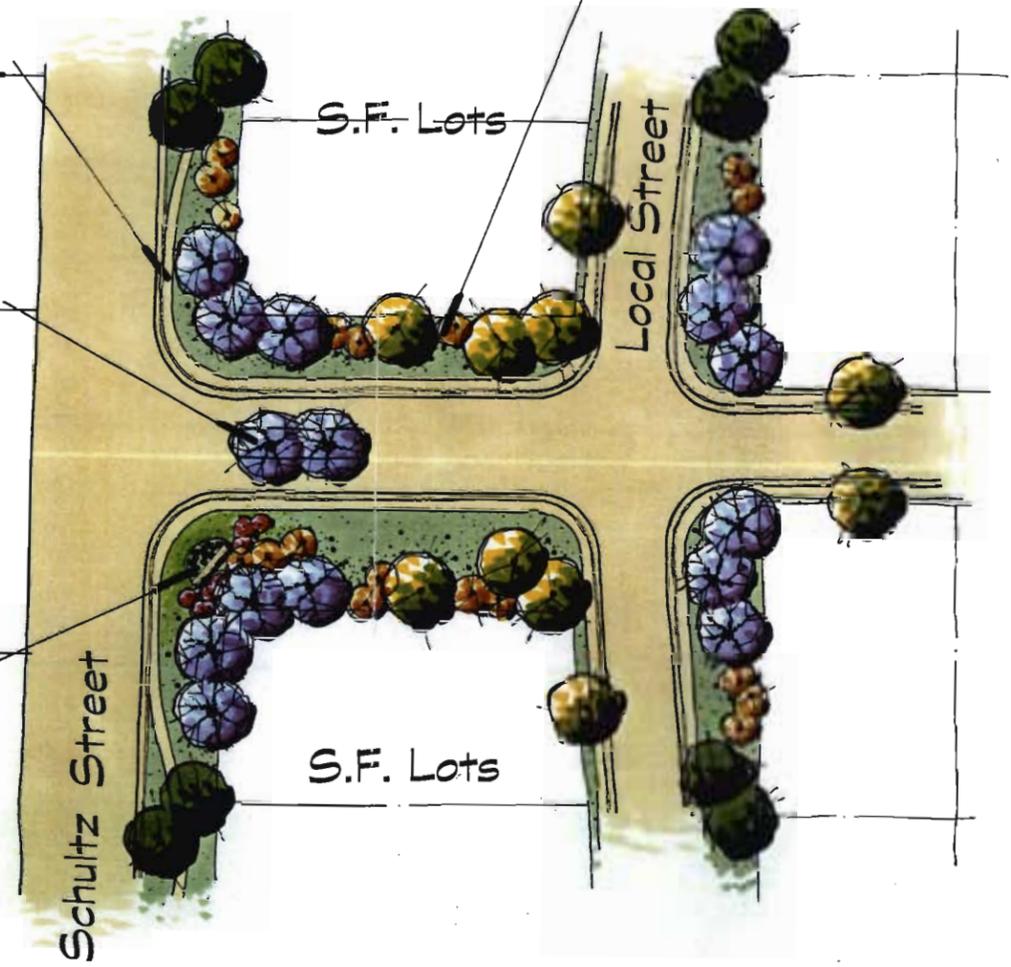
Primary Entrance

Intensity of plantings along main entry creates visual interest.

Meandering path along arterial road.

Landscaped Median

Entry sign located outside of site visibility triangle.



Synergy+ Job #: S+-39LP-99

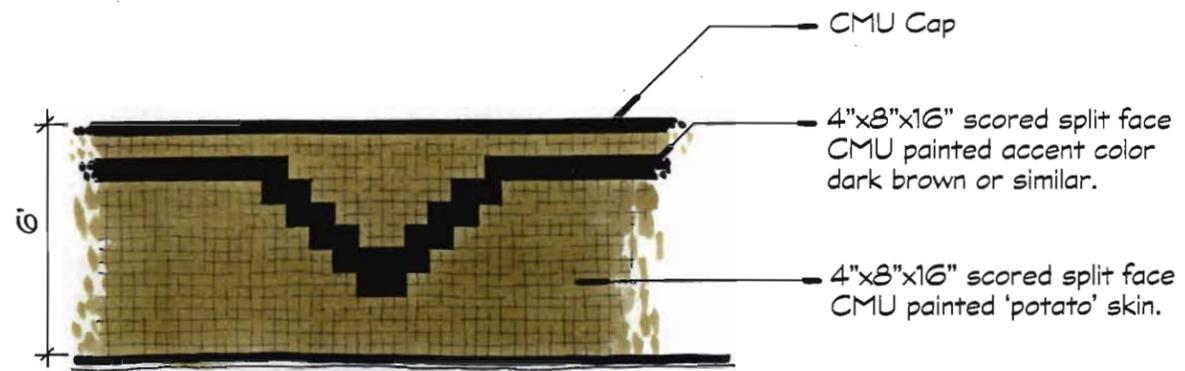
Date: 6/14/99



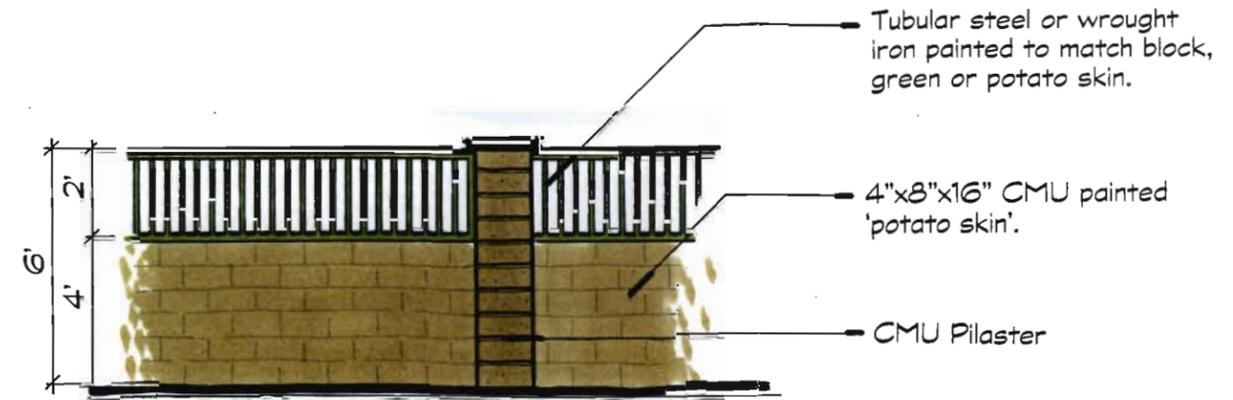
Preliminary Landscape Concepts for:
Newport Development

Desert Crossing

Casa Grande, Arizona



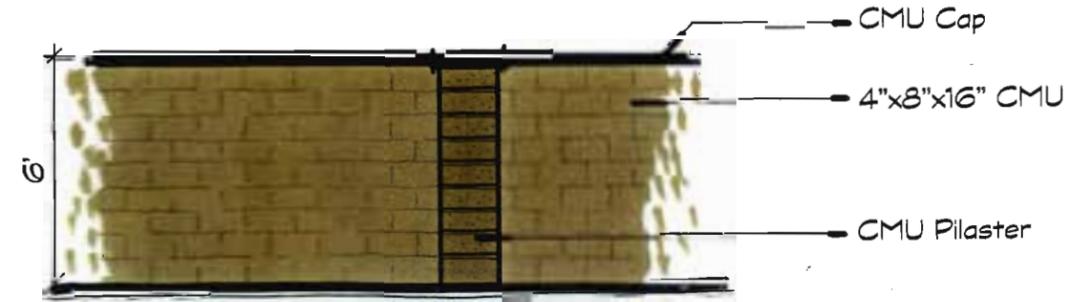
Decorative Block Wall
Schultz Street



View Wall



Decorative Block Wall
O'Neil Drive
(8' tall if adjacent to RV Storage)



Block Wall



Entry Monument Sign

Synergy+ Job #: S+-39LP-99

Date: 6/14/99

Wall Details for:
Newport Development

Desert Crossing

Casa Grande, Arizona

General Plan Amendment (Portion) & Rezoning,
 CGPZ-50-99 & CGPZ51-99
 The Southwest 1/4 of the Northeast 1/4 and the
 Northwest 1/4 of the Southeast 1/4 of Section 18,
 Township 6 South Range 6 East of the Gila and
 Salt River Basin and Meridian
 Pinal County, Arizona.

Developer:
 Attention Robert Napoli/Steven Cross
 Newport Development
 6929 E. Greenway Parkway, Suite 190
 Scottsdale, Arizona
 (480)951-2227, 991-2888 Fax

Existing Zoning: R1
 Proposed Zoning: P.A.D.
 Gross Area: 80.9 ac
 Multifamily: 18.5 ac
 General Plan amendment
 request (HDR)
 Density: 5 - 18 du's/ac
 Single Family Detached: 62.4 ac
 Single Family Units: 249 du's
 Density: 4.0 du's/ac

SINGLE FAMILY DETACHED PRD STANDARDS

Allowed Units per Acre	4.0 du's/ac
Minimum Lot Area (SF)	7,000 (75%) 5,500 (25%)
Minimum Lot Width (ft.)	50 ft.
Maximum Building Height	30 ft.
Front Setback	18' to front - loaded garage for one story. 15' to living area for one story. 20' for two-story homes. 5' stagger every 23 lots minimum.
Rear Setback	15' 25' for lots backing on to arterial, collector or perimeter of project.
Side	5' 5' & 10' for two-story homes. 10' minimum distance between adjacent one-story homes. 15' minimum distance between two-story homes.
Corner	15' not including adjacent landscape tracts.
Perimeter Setback	25'

# Lots	%	Minimum Lot Size	Minimum Lot Width	Minimum Lot Depth
83	34	7,015	61	115
104	41	7,056	56	126
62	25	5,500	50	110

OPEN SPACE/RETENTION	OPEN SPACE
Tract A	1,160 sq. ft. 6.23 acres required
Tract B	12,368 8.27 acres provided
Tract C	13,303 13.2 % of gross area
Tract D	1,327
Tract E	3,895
Tract F	3,038
Tract G	214,048
Tract H	13,114
Tract I	1,937
Tract J	3,806
Tract K	92,646
Total	360,642

UTILITIES

Water:	Arizona Water Company
Sewer:	City of Casa Grande
Electric:	Arizona Public Service
Telephone:	U.S. West
Refuse:	City of Casa Grande
Police:	City of Casa Grande
Fire:	City of Casa Grande
School District:	Casa Grande

Assessor's Parcel #504-12-002A

Floodplain: This project in its entirety is in a flood hazard zone "C".

- All new or relocated utilities will be placed underground.
- All common tracts will be maintained by the homeowners' association.
- Local roads will be public and maintained by the City of Casa Grande.
- Setbacks for of a minimum 18' ft. for vertically opening garage doors will be provided from back of sidewalk to face of garage door.
- Each lot constitutes a building envelope. Accessory uses such as pools, privacy walls, and accessory structures are permitted as otherwise regulated by other city codes and ordinances.
- An association include all property owners in the development will be formed and have the responsibility of maintaining all common areas noted as "tracts" or easements, including landscape areas and drainage facilities in accordance with approved plans.
- Rear yard setbacks along Schultz Street shall include the 10 ft. landscape tract for a total of 25 feet. All 50 ft. wide lots shall have single story houses.

Submitted May 25, 1999

SK Ranch

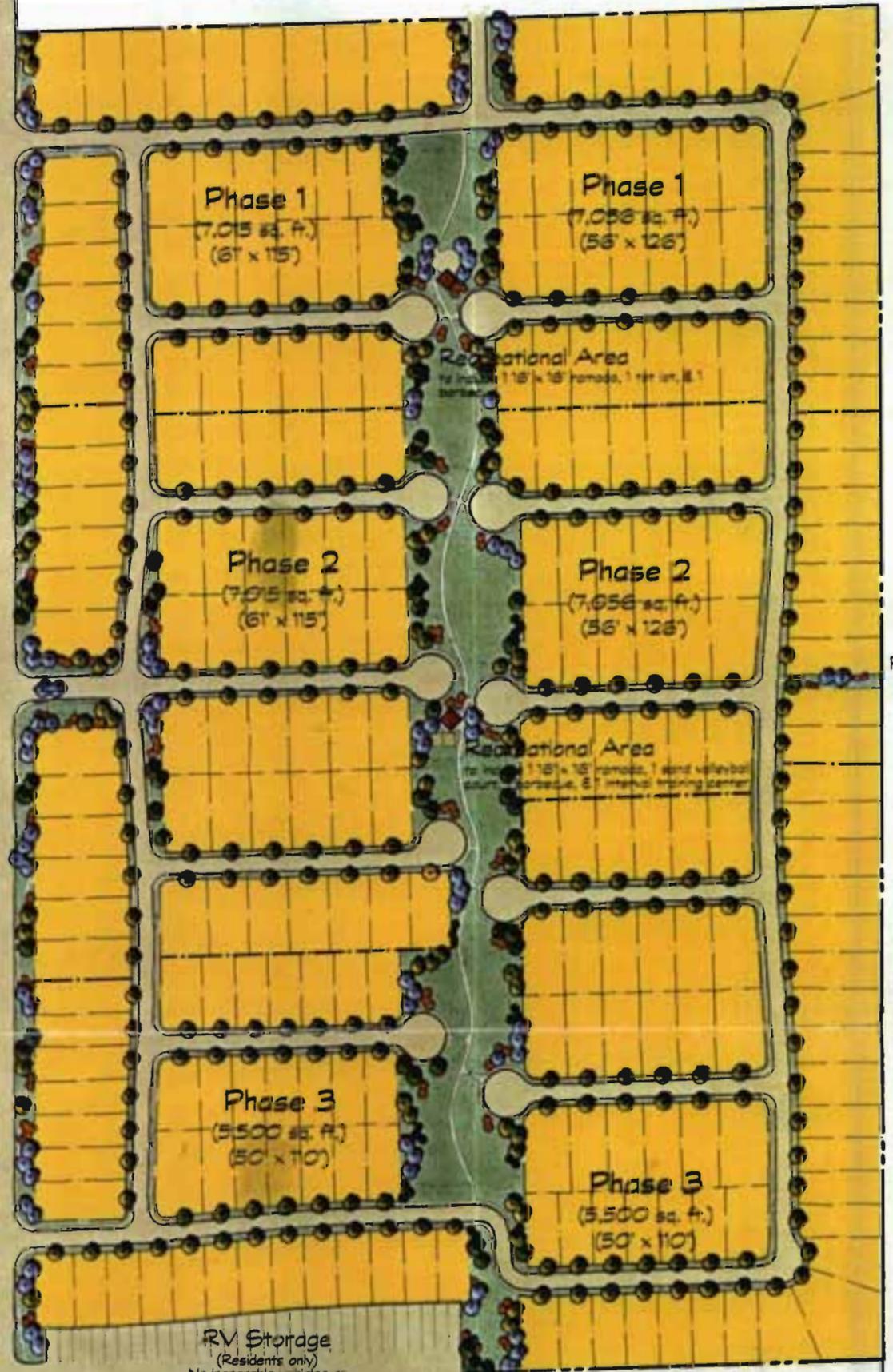
Desert Sky Ranch

Schultz Street

Arizona Water Company

Retail Access

Northgate Master Plan



RV Storage
 (Residents only)
 No inoperable vehicles or
 tractor trailers allowed.

8' Decorative Wall

Multi Family
 (Proposed HDR)
 Proposed General Plan Amendment
 18.5 ac

O'Neil Drive

Desert Sky Ranch

Development Plan for:
 Newport Development

Desert Crossing

Casa Grande, Arizona

Synergy+ Job #: S+-39LP-99

Date: 6/14/99

