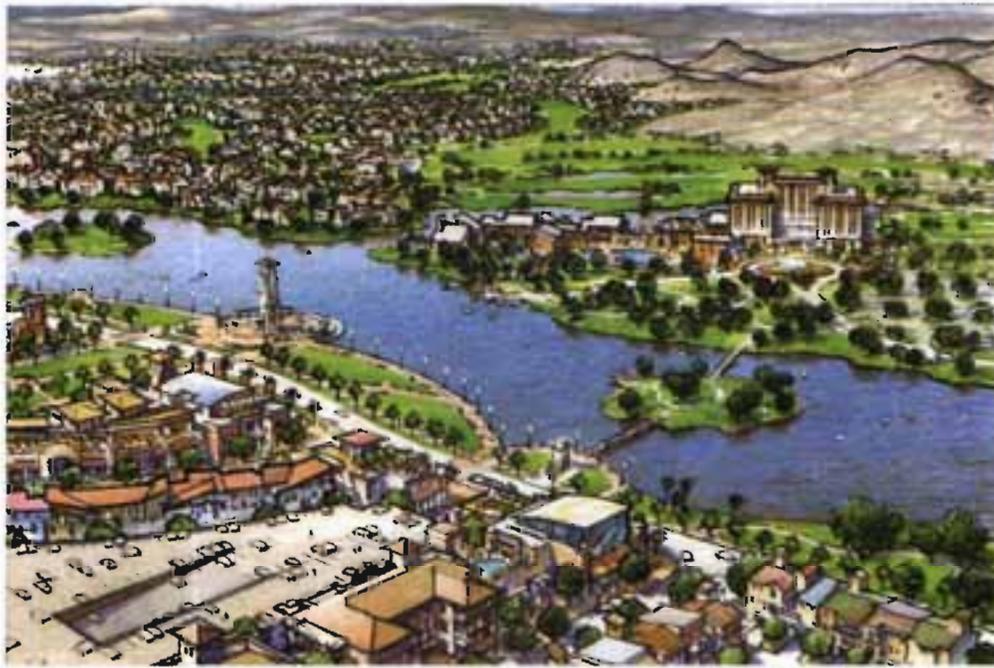


COPPER MOUNTAIN RANCH

PLANNED AREA DEVELOPMENT (PAD) GUIDE FORMAL SUBMISSION

Casa Grande, Arizona
November 29, 2006



JACK JOHNSON COMPANY

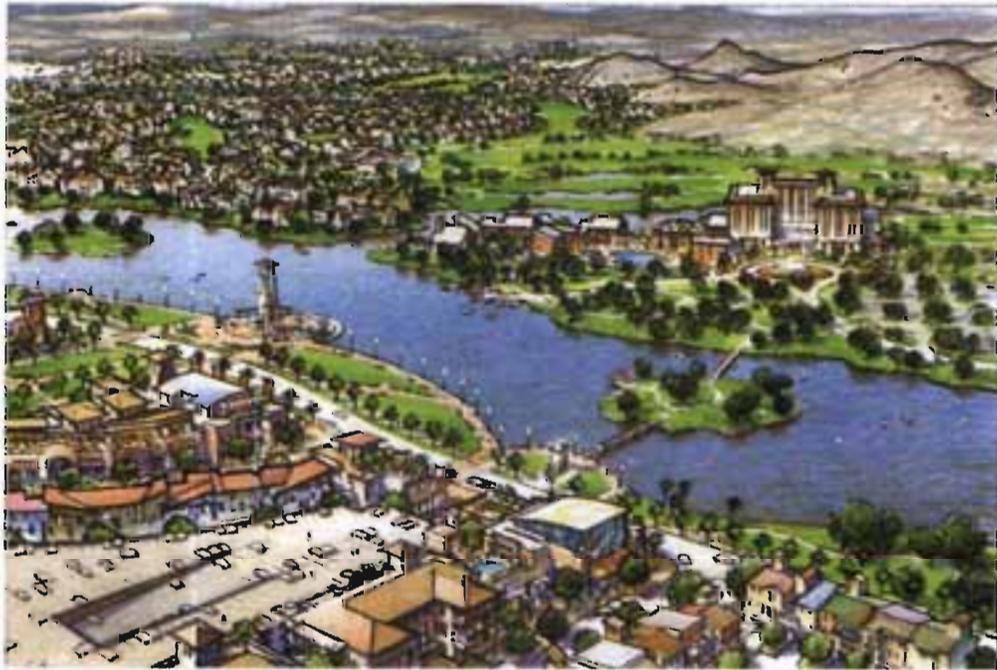
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1st Reading by CC 11/28/06

TABLE OF CONTENTS

I. INTRODUCTION	
A. SUMMARY	4-5
B. PROJECT LOCATION and DESCRIPTION.....	6-8
1. Site Characteristics.....	9
2. Existing Uses/Zoning.....	9
3. Surrounding Uses/Destinations.....	9
II. DEVELOPMENT PLAN	
A. LAND USE PLAN	14
B. PLANNING DISTRICTS/LAND USE CATEGORIES	15-16
C. LAND USE CATEGORY DEFINITIONS.....	19-20
D. SERVICES AND INFRASTRUCTURE.....	22
1. Water.....	22
2. Wastewater.....	22
3. Other Utilities and Services.....	22
4. Drainage.....	22-23
5. Traffic	23
6. Street Design.....	23-24
7. Maintenance of Streets and Common Areas.....	24
E. HILLSIDE PRESERVATION.....	25
1. Primary Protection Areas.....	25
2. Secondary Protection Areas	25
3. Hillside Exceptions.....	25
F. COMMUNITY OPEN SPACE AND RECREATION	28
G. COMMUNITY FACILITIES.....	29
H. LANDSCAPE CONCEPT	29-30
I. SIGNAGE AND MONUMENTATION	30
J. CIRCULATION SYSTEM.....	31
K. GENERAL PROVISIONS.....	33
III. IMPLEMENTATION	
A. PURPOSE.....	34
B. PHASING PROGRAM.....	34
C. PAD AMENDMENTS.....	34-35
D. PLANNING DISTRICTS.....	35
IV. DESIGN STANDARDS FOR COPPER MOUNTAIN RANCH	
A. PURPOSE.....	36
B. LDR-TRADITIONAL DENSITY RESIDENTIAL	37
C. MDR1-MEDIUM DENSITY RESIDENTIAL	38-43
D. MDR2-MEDIUM DENSITY RESIDENTIAL	44
E. HDR-HIGH DENSITY RESIDENTIAL	45
F. NC-NEIGHBORHOOD COMMERCIAL.....	46
G. CC-COMMUNITY COMMERCIAL	47
H. RC-REGIONAL COMMERCIAL.....	48
I. OBP-OFFICE/BUSINESS PARK	49
J. E-EMPLOYMENT	50
K. POS-PARKS/OPEN SPACE.....	51
L. PSP-PUBLIC/SEMI-PUBLIC.....	52
M. RECREATION OVERLAY.....	52

V. DESIGN VERNACULAR AND VISION

A. Copper Mountain Ranch Vision.....53
B. Development Goals.....53
1. District 1- Sacaton Village..... 54-57
2. District 2- Desert Color Resort Village 58-64
3. District 3 – Desert Color Town Center 65-70
4. District 4 – Sonoran Village 71-75
5. District 5 – Desert Color Airpark 76-80
6. District 6 – Painted Sky Village 81-82
7. District 7 – Desert Color Village Center 83-88
8. District 8 – Gila River Village 89-91
9. District 9 – Desert Color Commons 92-96
10. District 10 – Sunset Village..... 97-100

EXHIBITS

Exhibit I-1 Regional Location Map10
Exhibit I-2 Property Boundary11
Exhibit I-3 County Assessor’s Parcel Map12
Exhibit I-4 Surrounding Land Uses13

Exhibit II-1 Master P.A.D Land Use Plan17
Exhibit II-2 Planning District Boundaries18
Exhibit II-3 Slope Analysis and Hillside Preservation27
Exhibit II-4 Schematic Circulation System.....32

TABLES

Table II-1 Planning Districts Table21
Table II-2 Slope Analysis26
Table B-1 Commercial Parking Requirements..... 116

APPENDIX A – Residential Design Guidelines

A. Residential Design Standards for Low Density Residential (LDR).....101
1.0 RESIDENTIAL DEVELOPMENT STANDARDS.....101
2.0 MANDATORY PROJECT LAYOUT AND DESIGN STANDARDS.....101
 2.1 Copper Mountain Ranch Open Space Requirements..... 101-102
 2.2 Additional Requirements for Project Layout and Design..... 102-103
3.0 MANDATORY RESIDENTIAL PAD ARCHITECTURAL STANDARDS.....103-105
 3.1 Floor Plans and Elevations.....103
 3.2 Roofs.....104
 3.3 Garages.....104
 3.4 Additions and Modifications..... 104-105
4.0 ADDITIONAL REQUIREMENTS FOR PAD RESIDENTIAL ARCHITECTURE.....105
5.0 LOT DEVELOPMENT STANDARDS FOR COPPER MOUNTIAN RANCH.... 105-106

6.0 FRONT-YARD LANDSCAPE	106
B. Residential Design Standards for Medium Density Residential 1 (MDR-1), Medium Density Residential 2 (MDR-2) and High Density Residential (HDR)	106
1.0 RESIDENTIAL DEVELOPMENT STANDARDS.....	107
2.0 MANDATORY PROJECT LAYOUT AND DESIGN STANDARDS.....	107
2.1 Copper Mountain Ranch Open Space Requirements.....	107-108
2.2 Additional Requirements for Project Layout and Design.....	108-109
3.0 MANDATORY RESIDENTIAL PAD ARCHITECTURAL STANDARDS.....	109-111
3.1 Floor Plans and Elevations.....	109
3.2 Roofs.....	109
3.3 Garages.....	110
3.4 Additions and Modifications.....	110-111
4.0 ADDITIONAL REQUIREMENTS FOR PAD RESIDENTIAL ARCHITECTURE.....	111
5.0 LOT DEVELOPMENT STANDARDS FOR COPPER MOUNTIAN RANCH....	111-112
6.0 FRONT-YARD LANDSCAPE	112

APPENDIX B – Commercial and Business Design Standards

Commercial & Business Design Standards.....	113-116
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APPENDIX C

1.0 COMMERCIAL, OFFICE, BUSINESS PARK & EMPLOYMENT	
1.1 Permitted Uses.....	117-121

APPENDIX D

1.0 PROCESS & PROCEDURES FOR COPPER MOUNTAIN RANCH PAD DEVELOPMENT APPROVALS	
1. Development Plan Submittal Requirements.....	122
2. Preliminary Platting and Development Plan Submittal Requirements.....	122-124
3. Planning Commission Review and Hearing.....	124-125
4. City Council Consideration and Hearing.....	125
5. Final Plat.....	126

COPPER MOUNTAIN RANCH

PLANNED AREA DEVELOPMENT (PAD) GUIDE



I. INTRODUCTION

A. SUMMARY

The planning process for the Copper Mountain Ranch property first began in the early 1990's. Since then, new ownership and the addition of large tracts of contiguous property have culminated in this PAD submittal for some 8,711 acres that is still known as Copper Mountain Ranch.

Copper Mountain Ranch is a community designed to capture and preserve the lifestyle and beauty of the northern Sonoran Desert. This primarily residential & resort community will be a neighborhood-based development including some extraordinary new concepts such as upscale New Urban Villages and resorts, centered around a network of open space as well as more traditional park and neighborhood amenities.

The purpose of this request is for the review and approval of a PAD for Copper Mountain Ranch. PAD's provide one of the best structures for producing a unified and physically cohesive community. The PAD process provides the flexibility that is essential for the development to grow and mature while responding to changing demographic and market trends over the life of the project. With an 8,711 acre Master Planned Community which will ultimately be built out over decades, it is vital that there be provided certain flexibility in design standards. The land planning is designed so that Copper Mountain Ranch can in the minimum attract at least two major hotel resorts, two very high end New Urban Villages, one or two specialized lifestyle communities from major national builders, and a 500 acre mega shopping village anchored by a shopping mall that will ultimately contain approximately 5 million square feet of shopping, office, auto malls, power centers, etc.

Development of this PAD has been based on a thorough examination of various physical, financial and social aspects of the Copper Mountain Ranch planning area, including:

- Natural environment
- Development Constraints and Opportunities
- Land Use and Zoning

- Transportation Patterns
- Population and Demographics
- Public Facilities and Services
- Property Based Self-Financing Methods of Infrastructure Development

This comprehensive document will provide general provisions for each section of the Copper Mountain Ranch PAD, which include:

- Development Plan - This includes the proposed land use plan identifying Planning Districts with general land uses and intensities of development along with major road circulation and open space. It includes provisions for hillside, canyon and desert preservation and information regarding service and infrastructure.
- Implementation - This section outlines the procedures for the administration of the Copper Mountain Ranch PAD including establishment of individual Planning Districts and PAD amendments.
- Design Standards For Planned Area Developments - The design standards establish the general desired character of development within the Copper Mountain Ranch PAD. These specifically define the residential, commercial and employment development standards for the Copper Mountain Ranch PAD.

This Copper Mountain Ranch PAD conceptually demonstrates the type of development contemplated. Should these standards of development not be utilized by future builders, the *2003 Casa Grande Residential Design Standards for Planned Area Developments* shall apply.

The development of the Copper Mountain Ranch Planned Area Development shall be in accordance with the development guide and development agreement approved by the Mayor and City Council.

B. PROJECT LOCATION and DESCRIPTION

Copper Mountain Ranch Parcel, lying within Township 5 South, Range 5 East and Township 5 South, Range 6 East of the Gila and Salt River Meridian, Pinal County, Arizona, more particularly described as follows:

All of Section 13, Section 14, Section 15, and Section 23, Township 5 South, Range 5 East;

The Northeast Quarter, the South Half of the Northwest Quarter, the North Half of the Southeast Quarter, and Government Lot #3 of Section 16, Township 5 South, Range 5 East;

The South Half of the West Half of the Southwest Quarter of Section 16, Township 5 South, Range 5 East;

The South Half of the East Half of the Southwest Quarter of Section 16, Township 5 South, Range 5 East;

The South Half of the Southeast Quarter of Section 16, Township 5 South, Range 5 East;

The South Half of the Southeast Quarter of the Northeast Quarter of the Northwest Quarter and the East Half of the Southeast Quarter of the Northwest Quarter of Section 21, Township 5 South, Range 5 East;

The Northeast Quarter of the Northwest Quarter of Section 21, Township 5, Range 5 East;

Except the South Half of the Southeast Quarter of the Northeast Quarter of the Northwest Quarter of said Section 21;

The Northeast Quarter, the South Half, the West Half of the Northwest Quarter, and the West Half of the Southeast Quarter of the Northwest Quarter of Section 21, Township 5 South, Range 5 East;

The North Half, the Southwest Quarter, and the North twenty (20) acres of the Southeast Quarter of Section 22, Township 5 South, Range 5 East;

The South Half of the North Half of the North Half of the Southeast Quarter of Section 22, Township 5 South, Range 5 East;

The East Third of the West Half of the Southeast Quarter and the West Third of the East Half of the Southeast Quarter of Section 22, Township 5 South, Range 5 East;

The North Half, the Southwest Quarter, the South Half of the Southeast Quarter, and the Northwest Quarter of the Southeast Quarter of Section 24, Township 5 South, Range 5 East;

The West Half, and the Southeast Quarter, except the North twenty (20) acre portion of the Southeast Quarter of Section 18, Township 5 South, Range 6 East;

The West Half, and the North Half of the Southeast Quarter of Section 17, Township 5 South, Range 6 East.

All of Section 25, Township 5 South, Range 5 East;
EXCEPT the West 630.00 feet of the North 1855.00 feet of the South 2905.00 feet.

The North Half of Section 26, Township 5 South, Range 5 East;
Except the South 265.72 feet of the East 1450.00 feet of the Northeast Quarter

The North Half of Section 27, Township 5 South, Range 5 East;

The South Half and Northeast Quarter of Section 28, Township 5 South, Range 5 East;

The North Half of Section 33, Township 5 South, Range 5 East;

Lots 7,8,9,10,21,22,23,24,30 and 32, of Gibson-Collard Development, according to the Plat of Record in the Office of the County Recorder of Pinal County, Arizona, Recorded in Book 7 of Maps, Page 33.

The Southwest Quarter of Section 34 Township 5 South, Range 5 East;

All of Section 36

Except the Southeast Quarter of the Southeast Quarter of the Southeast Quarter of the Southeast Quarter of said Section 36;

EXCEPT that portion described as follows:

Being a portion of the Northwest Quarter of Section 36, Township 5 South, Range 5 East of the Gila and Salt Base and Meridian, Pinal County, Arizona, described as follows:

Commencing at an Aluminum Cap Stamped L.S. 26049, being the North Quarter Corner of said Section 36;

Thence North 89° 43' 54" West, along the North line of said Northwest Quarter, a distance of 2657.45 feet to an Aluminum Cap Stamped L.S. 26049, the Northwest Corner of said Section 36;

Thence departing said West line, South 0° 02' 09" East along the West line of said Northwest Quarter, a distance of 1316.44 feet to the POINT OF BEGINNING;

Thence South 88° 24' 01" East, a distance of 227.58 feet to a point of

curvature of a tangent curve concave to the southwest;

Thence southeasterly along the arc of said curve, to the right, having a radius of 217.19 feet, with a chord of South 45° 30' 14" East, 295.67 feet, and a central angle of 85° 47' 34" for an arc distance of 325.21 feet to a point of tangency;

Thence South 02° 36' 28" East, a distance of 980.73 feet to a point on the arc of a non-tangent curve concave to the northwest, a radial line of said curve through said point having a bearing of North 89° 40' 59" East;

Thence southwesterly along the arc of said curve to the right, having a radius of 123.28 feet, with a chord of South 44° 27' 45" West, 173.67 feet, and a central angle of 89° 33' 32" for an arc distance of 192.70 feet to a non-tangent line;

Thence North 89° 27' 17" West, a distance of 360.55 feet to a point on the West line of said Northwest Quarter;

Thence North 00° 02' 09" West, along said West line, a distance of 1313.81 feet to the POINT OF BEGINNING;

Said portion on land contains 8710.88. acres, more or less, including any and all easements of record.

1. Site Characteristics

This site is located at the foothills of the Sacaton Mountain Range just north of downtown Casa Grande (See Exhibit I-1) and consists primarily of native Sonoran desert that is characteristically crossed by various drainage courses. Val Vista Road runs east and west currently bisecting the property connecting State Road 387 to Montgomery Road. Pinal Avenue and Burris Road border the property to the east and Montgomery Road to the west. The property directly adjoins the Gila River Indian Community to the north.

Copper Mountain Ranch comprises gently sloping desert plains, rolling hills, and a portion of the distinctive peaks of the Sacaton Mountains which provide significant topographic variety to the community's landscape. Vegetation includes saguaro, barrel and cholla cacti at the higher elevations and mesquite, ironwood and ocotillo in the bowls. Elevations within the proposed development reach 2,239 feet above sea level at the highest peak, descending to 1,360 feet at its lowest point in the southwest portion of the site.

2. Existing Land Uses/Zoning

Copper Mountain Ranch is a Planned Area Development (PAD) request for +/- 8,711 acres, which consists of 5,505 (original Copper Mountain Ranch PAD), 280 acres additional land, and +/- 2,926 acres currently being annexed into the City of Casa Grande. The land use categories on 2,926 acres vary from a Pinal County land use designation of Urban to the City of Casa Grande land use categories of Employment and Low Density Residential.

3. Surrounding Uses/Destinations

The Copper Mountain Ranch development site is unique for its location and accessibility to the major established metropolitan areas of both Phoenix and Tucson and the growing Pinal County urban development centers. Other significant characteristics include its contrast of gentle and dramatic topography which range from desert plains to rugged mountain peaks, its proximity to the San Tan Mountain Regional Park and to historic destinations in central and southern Arizona and to highways linking central Arizona to Mexico, California, and other desirable tourism and recreation destinations. The site is located approximately 7 minutes north of downtown Casa Grande just off of Interstate 10 and the State Road 387 interchange. The surrounding land is generally vacant, state-owned land or has agricultural uses. Several new developments have been approved or are in the planning stages to the east, south and west of Copper Mountain Ranch. Development growth is strong in the surrounding Maricopa, Casa Grande, Coolidge, Florence, and Eloy markets. Exhibit I-4 details the existing land uses and zoning on and around the site.

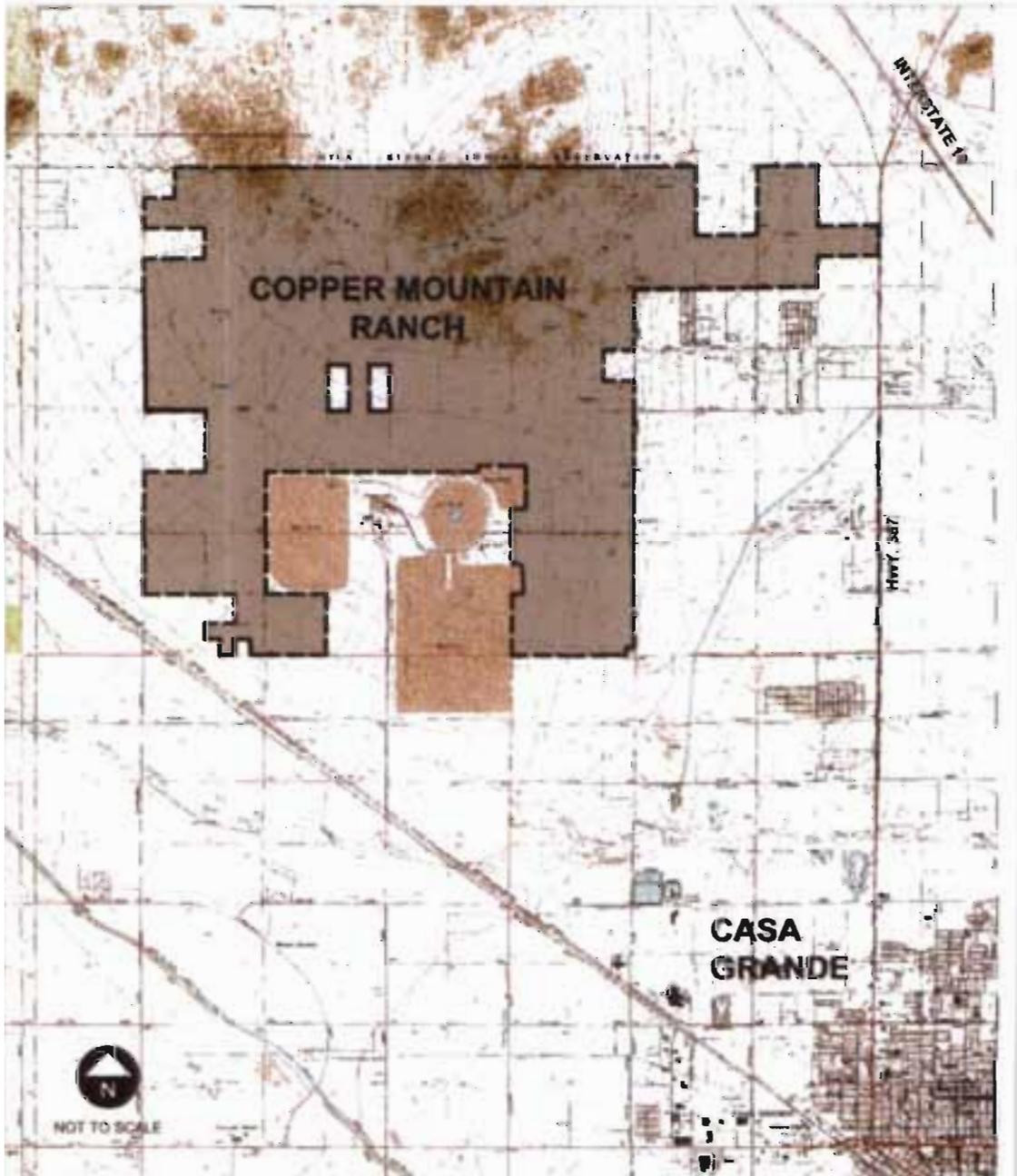
COPPER MOUNTAIN RANCH
PLANNED AREA DEVELOPMENT
Regional Location Map

Exhibit I-1



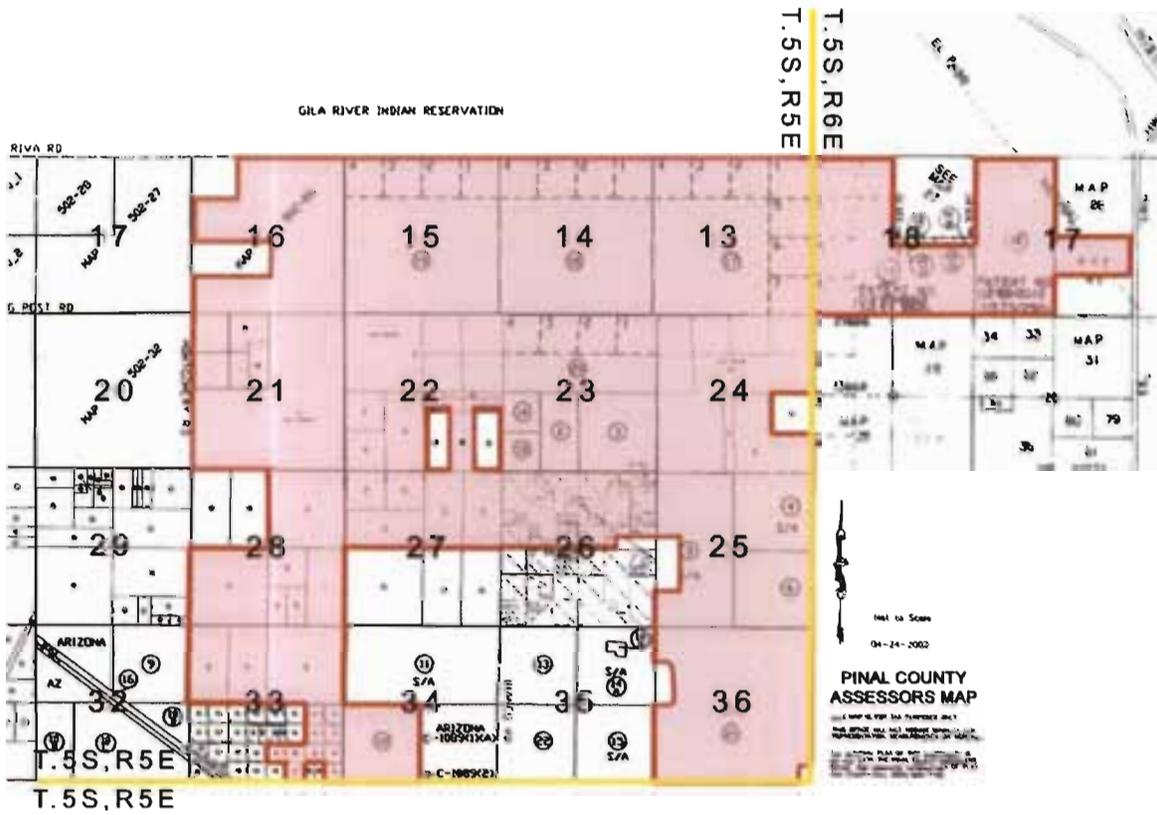
**COPPER MOUNTAIN RANCH
PLANNED AREA DEVELOPMENT
Property Boundary**

Exhibit I-2



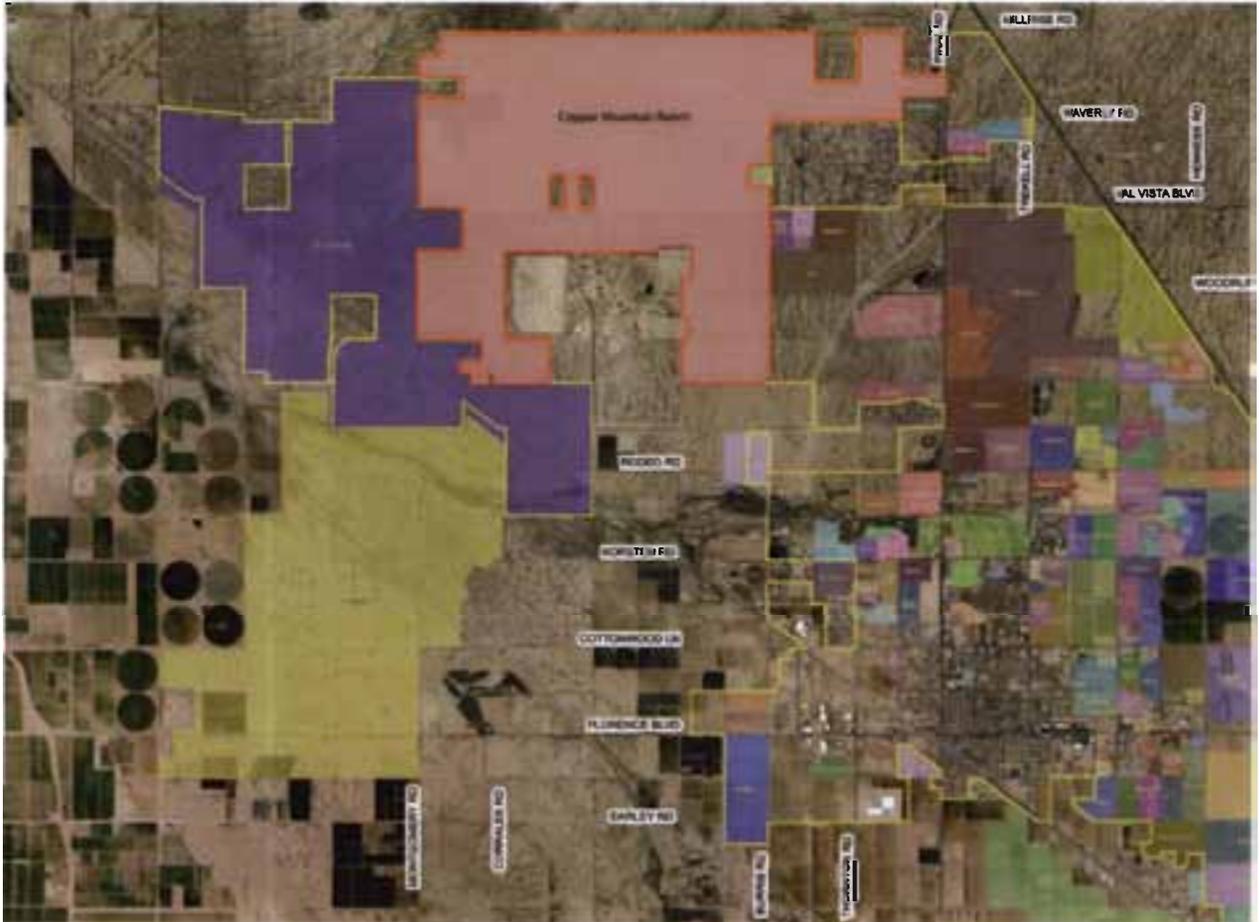
COPPER MOUNTAIN RANCH
PLANNED AREA DEVELOPMENT
County Assessor's Parcel Map

Exhibit I-3



COPPER MOUNTAIN RANCH
PLANNED AREA DEVELOPMENT
Surrounding Land Uses

Exhibit I-4





II. DEVELOPMENT PLAN

A. LAND USE PLAN

Proposed Uses and Densities

Copper Mountain Ranch is a proposed 8,711 acre mixed-use development featuring a broad range of traditional neighborhood housing, business and commercial uses that will include neighborhood and regional commercial as well as employment based uses. Significant resort components are being planned within Copper Mountain Ranch. These resort components are being planned in and around the Sacaton Mountains and are to feature multiple resort uses which may include golf, tennis, shopping, spa and fitness centers, hiking and biking, hotels, condominiums, town homes and primary and secondary single family homes. The resort component is planned to establish high-end unique land uses within Casa Grande. The project may also include a number of additional Villages known as “Desert Color,” which are being planned as unique, mixed use communities that will be rich in color and architectural design and will be oriented to create a sustainable, walkable streetscape environment. (See Exhibit II-1, PAD Land Use Plan)

An extensive trail and open space network connecting the natural desert, native preservation areas, resort uses, schools and community parks is part of the proposed open space system within Copper Mountain Ranch. Land set aside as developed or undeveloped open space will account for at least 20% or approximately 1,742 acres of the total land area of Copper Mountain Ranch which is above and beyond the Casa Grande Residential Design Standards for Planned Area Developments.

Planning Districts have been designated to accommodate the long term development of Copper Mountain Ranch. A breakdown of proposed densities by Planning District is provided in Table II-1, along with gross acres and planned numbers of residential units per Planning District.

Maximum overall density of the PAD is proposed at 4.00 dwelling units per gross acre.

(Planning Districts/Land Uses Categories have been stricken; See pages 12-13 of approved PAD by P&Z)

B. PLANNING DISTRICTS (PROJECTED LAND USES)

(Refer to exhibit II-2, Planning District Map on page 18 for locations)

1. Sacaton Village

- HDR - High Density Residential..... 12+ Units/Acre
- MDR-2- Medium Density Residential 2... 8-12 Units/Acre
- MDR-1 - Medium Density Residential 1.. 4-8 Units/Acre
- LDR - Low Density Residential 1-4 Units/Acre
- CC - Community Commercial..... Varies
- POS - Parks/Open Space..... Varies

2. Desert Color Resort Village

- HDR - High Density Residential..... 12+ Units/Acre
- MDR-2 - Medium Density Residential 2.. 8-12 Units/Acre
- MDR-1 - Medium Density Residential 1.. 4-8 Units/Acre
- LDR - Low Density Residential 1-4 Units/Acre
- PSP - Public/Semi-Public Varies
- NC - Neighborhood Commercial..... Varies
- POS - Parks/Open Space..... Varies

3. Desert Color Town Center

- HDR - High Density Residential..... 12+ Units/Acre
- MDR-2 - Medium Density Residential 2.. 8-12 Units/Acre
- MDR-1 - Medium Density Residential 1.. 4-8 Units/Acre
- LDR - Low Density Residential 1-4 Units/Acre
- RC - Regional Commercial..... Varies
- CC - Community Commercial..... Varies
- POS - Parks/Open Space..... Varies
- PSP - Public/Semi-Public Varies
- REC - Recreation Overlay Varies

4. Sonoran Village

- HDR - High Density Residential..... 12+ Units/Acre
- MDR-2 - Medium Density Residential 2.. 8-12 Units/Acre
- LDR - Low Density Residential 1-4 Units/Acre
- CC - Community Commercial..... Varies
- NC - Neighborhood Commercial..... Varies
- POS - Parks/Open Space..... Varies
- PSP - Public/Semi-Public Varies
- OBP - Office/Business Park..... Varies

5. Desert Color Industrial Park

- CC - Community Commercial..... Varies
- NC - Neighborhood Commercial..... Varies
- OBP – Office/Business Park..... Varies
- E – Employment..... Varies
- PSP – Public/Semi-Public Varies

6. Painted Sky Village

- HDR – High Density Residential.....	12+ Units/Acre
- MDR-2 – Medium Density Residential 2 .	8-12 Units/Acre
- MDR-1 – Medium Density Residential 1 .	4-8 Units/Acre
- LDR – Low Density Residential	1-4 Units/Acre
- NC – Neighborhood Commercial.....	Varies
- POS – Parks/Open Space.....	Varies
- PSP – Public/Semi-Public	Varies
- OBP – Office/Business Park.....	Varies
- REC - Recreation Overlay	Varies

7. Desert Color Village Center

- HDR – High Density Residential.....	12+ Units/Acre
- MDR-2 – Medium Density Residential 2 .	8-12 Units/Acre
- MDR-1 – Medium Density Residential 1 .	4-8 Units/Acre
- LDR – Low Density Residential	1-4 Units/Acre
- NC – Neighborhood Commercial.....	Varies
- POS – Parks/Open Space.....	Varies
- PSP – Public/Semi-Public	Varies

8. Gila River Village

- HDR – High Density Residential.....	12+ Units/Acre
- MDR-2 – Medium Density Residential 2 .	8-12 Units/Acre
- LDR – Low Density Residential	1-4 Units/Acre
- RC – Regional Commercial.....	Varies
- NC – Neighborhood Commercial.....	Varies
- POS – Parks/Open Space.....	Varies
- PSP – Public/Semi-Public	Varies
- CC – Community Commercial	Varies
- OBP – Office/Business Park.....	Varies

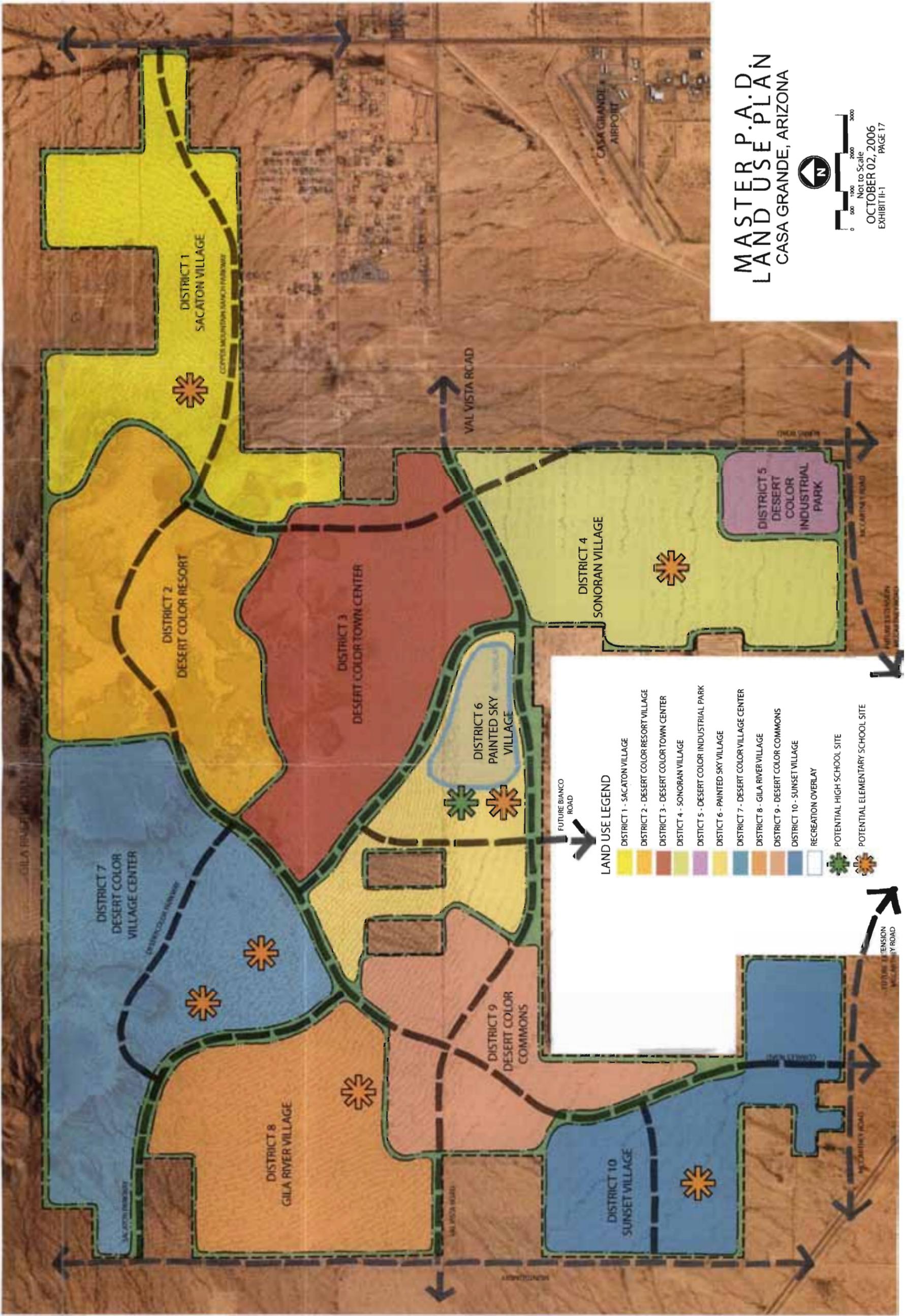
9. Desert Color Commons

- HDR – High Density Residential.....	12+ Units/Acre
- MDR-2 – Medium Density Residential 2 .	8-12 Units/Acre
- RC – Regional Commercial	Varies
- OBP - Office/Business Park.....	Varies
- PSP – Public/Semi-Public	Varies
- CC – Community Commercial	Varies

10. Sunset Village

- HDR – High Density Residential.....	12+ Units/Acre
- MDR-2 – Medium Density Residential 2 .	8-12 Units/Acre
- LDR – Low Density Residential	1-4 Units/Acre
- NC – Neighborhood Commercial.....	Varies
- OBP – Office/Business Park.....	Varies
- POS – Park/Office Space	Varies
- PSP – Public/Semi-Public	Varies

COPPER MOUNTAIN RANCH



MASTER P.A.D. LAND USE PLAN CASA GRANDE, ARIZONA

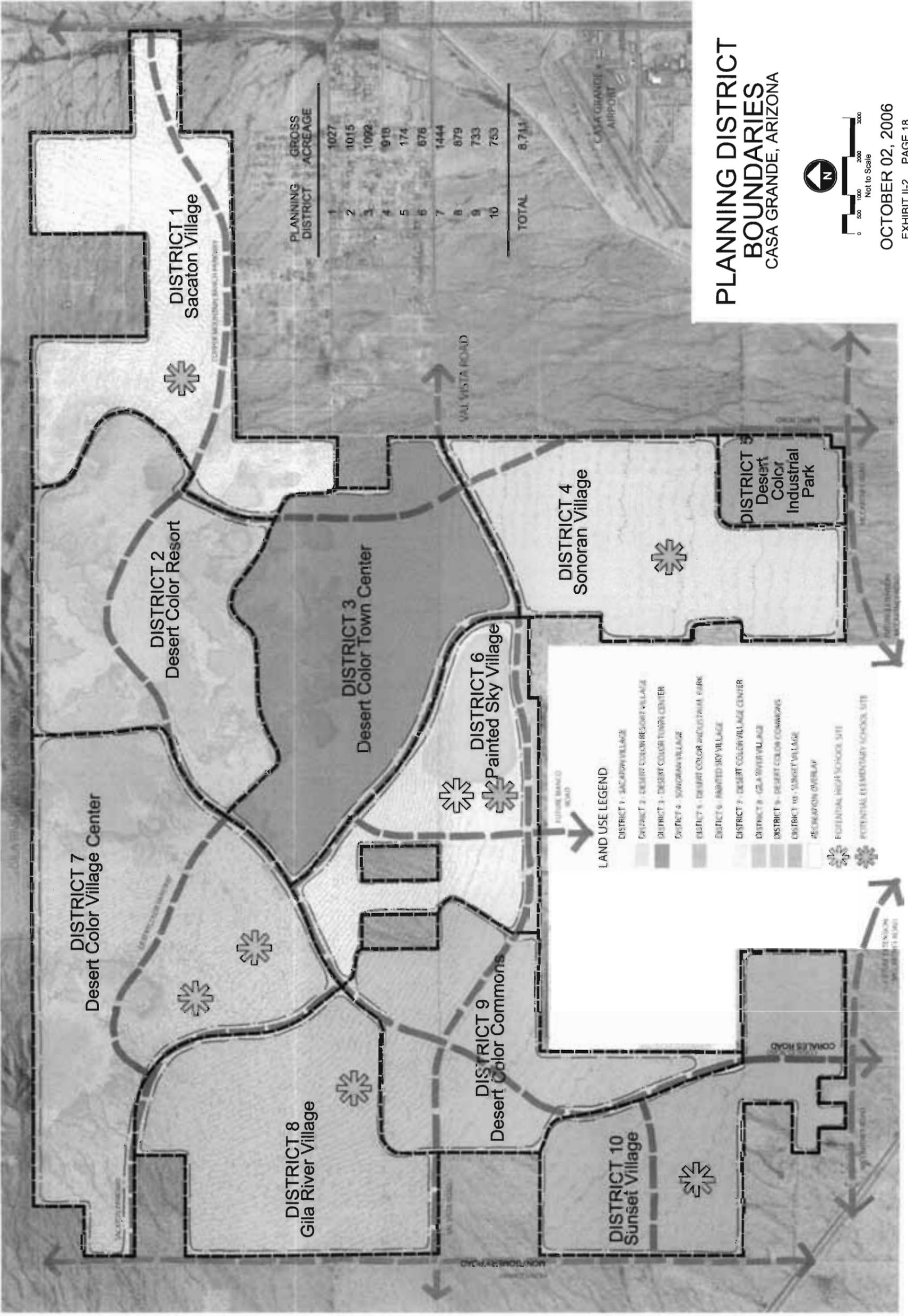
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OCTOBER 02, 2006
EXHIBIT II-1
PAGE 17



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COPPER MOUNTAIN RANCH



PLANNING DISTRICT BOUNDARIES CASA GRANDE, ARIZONA



 Not to Scale
OCTOBER 02, 2006
 EXHIBIT II-2 PAGE 18



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(Land Use Category Definitions have been stricken; see pages 15-17 of approved PAD by P&Z)

C. LAND USE CATEGORY DEFINITIONS

Each Planning District may contain the following land use development categories: (Refer to Section IV for land use design standards.)

Residential

- a. High (HDR)
The High Density Residential land use category denotes areas of density greater than 12 units per acre. These land uses are typically one to six story units such as condominiums, town homes or apartments.
- b. Medium (MDR-2)
The Medium Density Residential 2 land use category denotes areas of density ranging from 8 to 12 units per acre. These land uses are typically one to four story attached homes or condominiums clustered around open space or project amenity.
- c. Medium (MDR-1)
The Medium Density Residential 1 land use category denotes areas of density ranging from 4 to 8 units per acre. These land uses are typically one to three story detached or attached single family developments on medium to small sized lots.
- d. Low (LDR)
The Low Density Residential land use category denotes areas of density ranging from 1 to 4 units per acre. These land uses are typically one or two story detached single family developments on large to medium sized lots.

Commercial, Office, Business Park and Employment

- a. Regional Commercial (RC)
Primarily established as a major regional shopping center use to include retail power centers.
- b. Community Commercial (CC)
Primarily retail businesses serving the local market area.
- c. Neighborhood Commercial (NC)
Primarily retail businesses serving nearby neighborhoods in which it is located.

Office/Business Park (OBP)

- a. Office/Business Park
Primarily professional office complexes and high tech/research business parks. Most activities will be confined to daytime hours.
- b. Employment
Primarily light or heavy industrial manufacturing, distribution, and or assembly use conducted within large buildings.

Open Space (POS)

- a. Open Space
Public recreational facilities or nature preserves to include parks, natural open space, trails and mountains.

Public/Semi-Public (PSP)

- a. Public or semi-public land use that may include such uses as regional medical centers, police/fire stations, institutional centers, community centers and utility service parcels.

Recreation Overlay (REC)

- a. This land use category is an overlay land use district that is created for the development of a Major League Baseball spring training complex or other type of recreational sport facility. This overlay district may include uses such as stadiums, practice facilities, clubhouses, parking, field and parking lot lighting, and associated commercial and residential uses. This overlay district will be subject to the same site plan review and approval process as defined in Appendix C of this PAD document, that pertains to other planning districts. The intent and purpose for this overlay district is to help create areas that will support this specialized land use, while remaining compatible with the underlying planning districts and proposed land uses. If this land is not utilized for this purpose, then it reverts back to its underlying designated land use.

**TABLE II-1
PLANNING DISTRICTS TABLE**

Note: Refer to Exhibit II-2, Planning District Map – Page 18 for location of such.

Planning District	Land Use	Gross Acres	Total Maximum Allowable Units*	Total Gross Maximum Density*	Open Space (%) Minimum Per District
1 Sacaton Village***	HDR, MDR-2, MDR-1, LDR, CC, POS	1,027	3,081	3.0 U/AC	15%
2 Desert Color Resort Village	HDR, MDR-2, MDR-1, LDR, PSP, NC, POS	1,015	5,176	5.1 U/AC	15%
3 Desert Color Town Center	HDR, MDR-2, MDR-1, LDR, RC, CC, POS, PSP, REC	1,092	5,023	4.6 U/AC	15%
4 Sonoran Village	HDR, MDR-2, LDR, CC, PSP, NC, POS, PSP, OBP	918	3,671	4.0 U/AC	15%
5 Desert Color Industrial Park	CC, NC, OBP, E, PSP	174	0	0 U/AC	15%
6 Painted Sky Village	HDR, MDR-2, MDR-1, LDR, NC, POS, PSP, REC, OBP	676	2,501	3.7 U/AC	15%
7 Desert Color Village Center	HDR, MDR-2, MDR-1, LDR, NC, POS, PSP	1,444	6,642	4.6 U/AC	15%
8 Gila River Village	HDR, MDR-2, LDR, NC, POS, PSP, CC, RC, OBP	879	3,252	3.7 U/AC	15%
9 Desert Color Commons	HDR, RC, CC, OBP, PSP, MDR-2	733	2,712	3.7 U/AC	15%
10 Sunset Village	HDR, MDR-2, LDR, NC, OBP, POS, PSP	753	2,786	3.7 U/AC	15%
TOTALS		8,711	34,844	4.0 U/AC	20%**

* Total units and gross density within any planning district can not be increased by more than 10% through a transfer of density from other planning districts; transfers greater than 10% may be permitted with approval from City Council.

** Minimum Open Space will be 20% for the Overall Project, with each District maintaining a minimum of 15% Open Space.

*** No additional units shall be transferred into Sacaton Village without City Council Approval

D. SERVICES AND INFRASTRUCTURE

1. Water

Water services for the project will be provided for as stipulated in the Development Agreement. The primary option is service from an existing public service corporation by an expansion of their existing CCN. Master water infrastructure will be evaluated and sized to satisfy the jurisdictional/ service provider requirements for the development.

2. Wastewater

Wastewater services for the project will be provided for as stipulated in the Development Agreement. The primary option is service from the City of Casa Grande. Master wastewater infrastructure will be evaluated and sized to satisfy the jurisdictional/ service provider requirements for the development.

3. Other Utilities and Services

The various utilities and their respective providers are listed below:

Electric	APS
Gas	Southwest Gas Co.
Telephone	Qwest
Cable Television	Cox Communications
Police Protection	City of Casa Grande
Fire Protection/EMS	City of Casa Grande
Solid Waste Handling	City of Casa Grande

Most of the above mentioned providers already offer services in or near this area. Additional utility infrastructure required to serve Copper Mountain Ranch will be constructed as part of the Copper Mountain Ranch project. Copper Mountain Ranch reserves the right to negotiate with service providers in accordance with Arizona law, except for police, fire, EMS, and Solid Waste Handling.

4. Drainage

A Master Drainage Report was prepared in July of 1998 by Collins/Pina for Copper Mountain Ranch. That report was based on 3 main objectives:

- 1) To identify, within the project area, the points and quantities of concentration of storm water runoff for both existing and projected future (post-development) conditions.
- 2) To analyze the hydraulics of the 100-year peak runoff flows throughout the site for both existing and proposed conditions.
- 3) To propose the criteria for mitigation for the increase in storm water runoff from this development.

The quantification and delineation of major runoff within the project site and the preliminary design of the mitigation detention facilities assisted in the layout and design of the community. Master Drainage Reports will be modified over the course of the project with change in development planning.

An updated master drainage report will be prepared to incorporate the southern portion of the property, to determine the peak discharges of watersheds entering and exiting the site, and to accurately depict the floodplain limits.

The master planned community of Copper Mountain will be constructed in phases. Individual drainage reports will be generated as each phase is designed in detail. These individual drainage reports will detail specific offsite and onsite hydrology, onsite floodplain delineations, and specific drainage schemes.

5. Traffic

The transportation study will be modified to determine road designations throughout Copper Mountain Ranch and to identify impacts to existing and future roadways. In addition, as more detailed plans are prepared for each Planning District, individual traffic studies will be prepared and submitted for each Development Plan, if reasonably required by the City.

6. Street Design

Departures from the street design standards of the current City of Casa Grande City Codes, October 18, 2004, Title 16 Section 16.16.220 and Table 1 shall be applied to all Low Density Residential Districts (LDR), Medium Density Residential 1&2 Districts (MDR-1 & MDR-2), Employment/Business Park, and Regional Mixed Use Village District in this PAD, with the exception of the Resort District, Desert Color Town Center District, and Desert Color Village District, which will have modified street design standards identified in a subsequent submittal and will be subject to a City review process. The current City of Casa Grande street design standards shall be revised for the remainder of Copper Mountain Ranch as follows:

- Minimum approach tangent on local roads shall be a minimum of 50' as measured from intersection roadway centerline.
- Minimum lengths of tangents between reverse curves shall be 50 feet on local roads and 150 feet on collector roads.
- Maximum permanent Cul-de-sac length shall be 1,000 feet.
- Street design standards for development within Resort Zones, Desert Color Villages and Desert Color Town Center will be established especially for those development areas and will be submitted within the corresponding Planning District documents.
- Pavement width of local roads shall be a minimum of 24 feet and collector pavement width shall be a minimum of 38 feet.
- Minimum of 75 foot radius curve on Local roads.
- Local roads shall require sidewalks on both sides and shall be adjacent to curb or a minimum of 4 feet landscaping strip shall be provided.

- Alleys shall be paved with asphalt or concrete or other method approved by the City Public Works director.

7. Maintenance of Streets and Common Areas

The streets within the Copper Mountain Ranch development are anticipated to be both private and public. The public streets will be constructed in accordance with the current City of Casa Grande minimum standards with the right-of-way dedicated to the public, unless modified as identified in Item 6 above. Upon acceptance by the City of Casa Grande, the City will be responsible for maintenance of the public streets. The Parks within the Copper Mountain Ranch development are anticipated to be both private and public. The public parks will be constructed in accordance with the current City of Casa Grande minimum standards. Upon acceptance by the City of Casa Grande, the City will be responsible for maintenance of the public parks.

E. HILLSIDE PRESERVATION

The hillsides and mountain peaks within Copper Mountain Ranch shall be preserved, and development guidelines shall be established for these areas (See Exhibit II-3, Slope Analysis and Hillside Preservation)

1. Primary Protection Areas

- Limits vertical construction to slopes of 15% and less. Development proposed to occur on slopes greater than 15% will require a Hillside Exception as described following. Access roads may traverse greater slopes provided they are sensitively designed.
- Allows public and private recreation uses such as trails, parks, golf courses, public view areas, water tanks, etc.

2. Secondary Protection Areas

- Protection of hillside/mountain ridges and peaks which are primarily only visible from within the Copper Mountain Ranch property. Protected areas are not directly visible to existing residential structures on adjacent properties or existing roadways.
- The Sacaton Village, Desert Color Resort, Desert Color Town Center, and Desert Color Village Center Planning Districts, which contain resort designated districts, will be allowed in Secondary protection Areas to have vertical construction on slopes of 35% or less in areas to be used for resort, related resort use development and custom and semi-custom lot residential development in resort areas. This provision is not meant to apply to any production housing areas. Access roads may traverse greater slopes provided they are sensitively designed. The City shall not unreasonably withhold the use of this provision for other non-residential development uses upon a reasonable showing of suitability and innovativeness in design.
- Allows public and private recreation uses such as trails, parks, golf courses, public view areas, water tanks, etc.

Hillside Exceptions

Individual exceptions may be made on a case by case basis as deemed necessary due to specific site features. For example, if an isolated valley within a hillside has a surrounding slope of greater than 35%, but is itself less than 35% slope, development may occur within this area. Exceptions to the standards must be reviewed and approved by the Planning Director and City Council.

The project site has been analyzed for various slope categories. The analysis is based on 2 foot and 10 foot contour interval mapping. The areas shown on Exhibit II-3, Slope Analysis and Hillside Preservation, are summarized as follows:

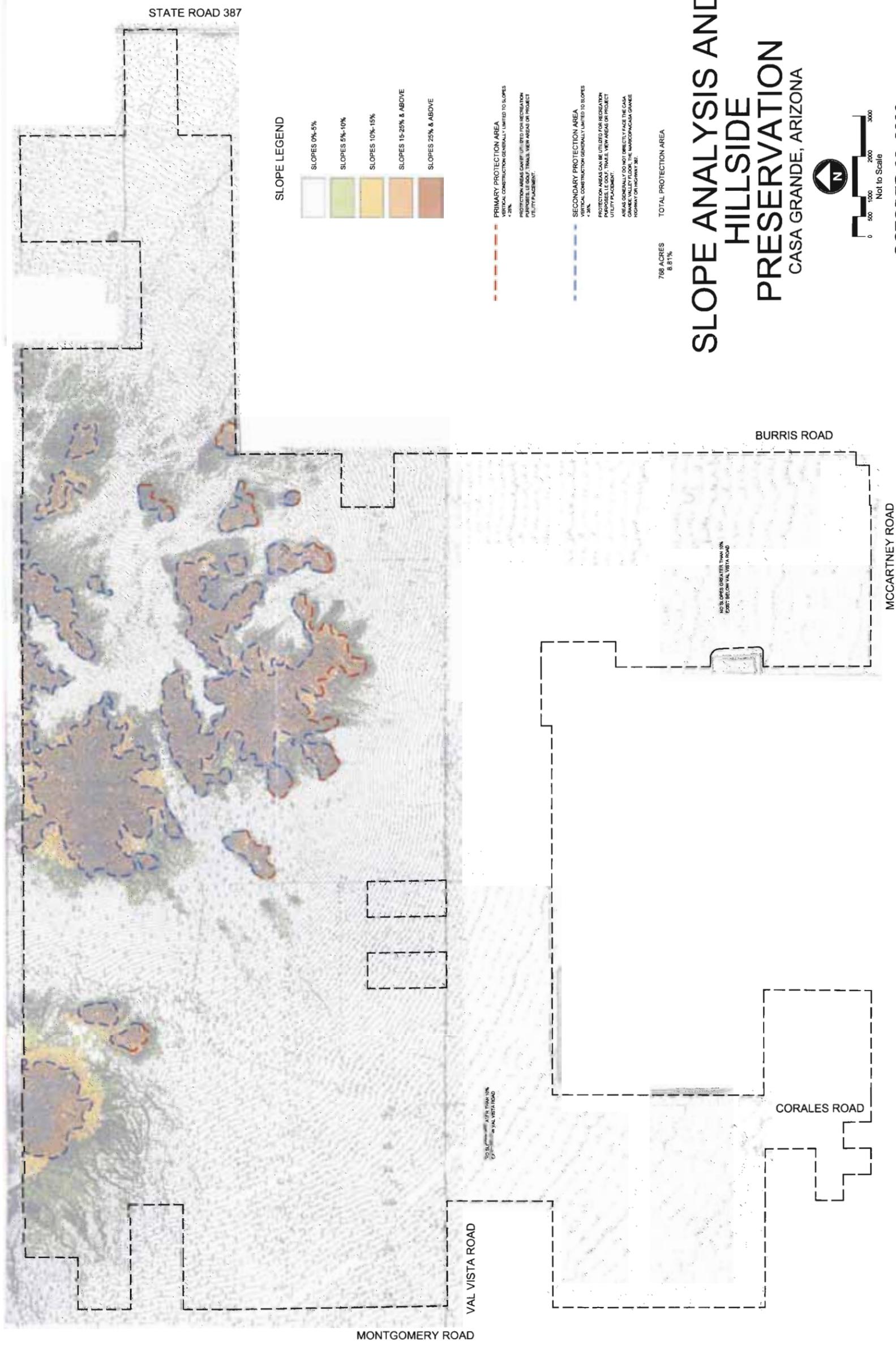
Table II-2
Slope Analysis

Slope Category	Area (Ac)
0-5 percent	7,042.79
5-10 percent	468.25
10-15 percent	235.86
15-25 percent	303.40
25 percent +	660.70
TOTAL	8,711.00

COPPER MOUNTAIN RANCH

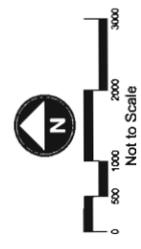


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SLOPE ANALYSIS AND HILLSIDE PRESERVATION

CASA GRANDE, ARIZONA



OCTOBER 02, 2006
 EXHIBIT II-3 PAGE 27

F. COMMUNITY OPEN SPACE AND RECREATION

The Copper Mountain Ranch master planned community is planned to provide residents with a quality lifestyle that includes a range of self-contained recreational activities. The intent of the Master Planned Community is to provide future residents with a variety of recreational opportunities. Many active recreational facilities will be developed and built, ranging from small neighborhood pocket parks to larger local and regional parks connected through an extensive trail system. Where feasible, large public recreation facilities should be combined and or adjacent to community school facilities to take advantage of shared uses and efficiencies associated with such. Recreation areas will provide linkages between communities, schools, parks and commercial areas through pedestrian and vehicular connections. The recreation and open space areas, besides providing areas for social interaction, will provide physical separation, buffer zones and transitions between areas of urbanization. This undeveloped open space is preserved to provide the communities with active and passive recreational opportunities, trail corridors, and drainage corridors and to maintain a buffer between adjacent uses. The largest open space component within the Master Planned Community will be made up of natural washes, native areas and the hillside preservation areas. A minimum 20% overall gross project acreage, and not less than 15% for any individual planning district will be dedicated as open space within Copper Mountain Ranch.

G. COMMUNITY FACILITIES

Schools

Copper Mountain Ranch is located within both the Casa Grande Elementary School District (K-8) and the Casa Grande Union High School District. Preliminary locations for school facilities necessary to meet the needs of students generated from the proposed development have been shown on the PAD Land Use Plan, Exhibit II-1. School parcel locations shall follow the general design guidelines as follows:

- Located away from Major and Minor Arterial roadways.
- Located outside areas designated as floodplains, flight paths, mining uses, etc.

Miscellaneous Community Facilities

It is anticipated that other community facilities will be located near or within the Copper Mountain Ranch Master Planned Community over the course of development. These facilities may include such uses as libraries, performing arts centers, police and fire stations, post offices, city services offices, health centers, etc. and will be planned as needed within the individual Planning Districts as they are brought in to the city.

H. LANDSCAPE CONCEPT

The purpose of the landscape concept plan will be to provide planning criteria and guidelines to insure the establishment of a safe and aesthetically appealing environment. The landscape concept strengthens the overall community theme and provides for a controlled transition between planned and indigenous open space areas.

The landscape guidelines are to be used by the City of Casa Grande and developers as a means of achieving the following project goals:

- Ensure that landscape design considerations strongly attempt to include reclaimed water consumption and erosion control measures.
- Re-establish natural conditions where terrain is modified for circulation and development when reasonably possible.
- Enhance site improvement within view corridors, on-site and off-site.
- Define and combine specific plant materials to achieve a community identity.
- Utilize plant materials visually to identify and separate development areas while blending them into the overall visual environment.

The landscape concept elements include circulation elements, open space/recreation elements and design guidelines to residential and commercial landscape applications and implementation.

To achieve a distinctive quality within the project environment, landscape concept plans for each planning area shall be required for the site plan submittal review process. Each Planning District will establish landscape concepts that provide a unique landscape environment while also enhancing the overall quality and theme of the master planned community.

I. SIGNAGE AND MONUMENTATION AND THEME WALLS

Entrances to the project and its individual communities and amenities will be designed with accent plant material, groupings of plants and enhanced paving treatments and a hierarchy of signage monumentation to create major entry statements. To maintain the design integrity of the major entry zones, the placement of structures at these key community entrances shall be carefully designed. Entry monumentation shall be scaled appropriately to the use for which it is intended to identify. Entry signage should be consistent with the overall project theme yet provide an identity to individual Planning Districts within the project.

Wall/Fences

Walls and fences within the PAD area shall be consistent with the architectural theme of the planned area. This theme should be reflected in materials, forms and design. The following are wall and fence design standards set for the Master Planned Community.

- Within residential areas – six feet maximum, except where partial retaining walls are required the wall height may be eight feet maximum (not within street setback requirements).
- Commercial and industrial areas – three feet minimum to screen parking areas and eight feet maximum on perimeter.
- Walls constructed at major community entry points and along community streets shall be consistent with the Planning District theme.
- Project fencing to include theme walls, view fences, and partial view fences within the separate Planning Districts shall reflect the architectural theme through consistent materials and design.
- Screen walls fronting on a street shall be designed using similar materials to appear as an integral part of the screened building.

J. CIRCULATION SYSTEM

Traffic Impact studies will be prepared as necessary throughout the planning process of Copper Mountain Ranch to ensure roadway infrastructure is designed properly to handle all proposed development uses.

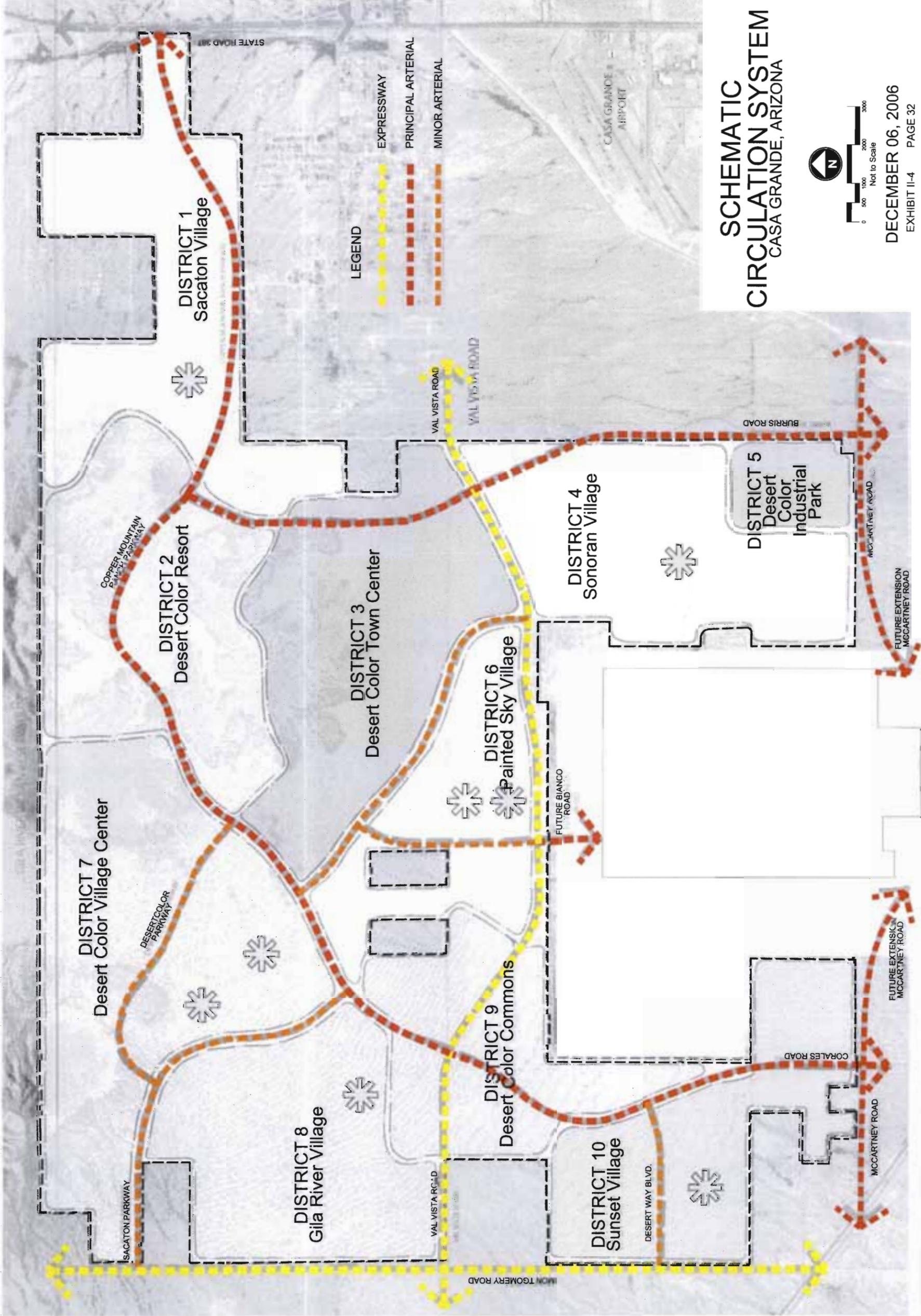
Several major and minor arterial roads exist to serve or are anticipated to serve the development within Copper Mountain Ranch (See Exhibit II-4, Schematic Circulation System). Currently, access to the property exists from the east off State Road 387. Val Vista Road, a principal arterial, runs east/west through the property from State Road 387

to the Maricopa/Casa Grande Highway and is planned to have an Interchange at Interstate 10. Montgomery Road currently borders the west property boundary of Copper Mountain Ranch and is slated to be a future expressway connecting the Maricopa/Casa Grande Highway to Interstate 10. Burris Road and McCartney Road currently border Copper Mountain Ranch to the southeast and may be utilized for future access to surrounding development areas.

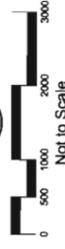
A hierarchy of roadways will serve the Copper Mountain Ranch Master Planned Community. The principal major and minor arterials will serve to deliver traffic to the project from the surrounding areas. Collector roads will disperse this traffic to individual neighborhoods within Planning Districts and local roads will make up the network of streets within these neighborhoods. General guidelines for the Copper Mountain Ranch circulation system are as follows:

- No driveway should back on any major collector or minor or major or principal arterial.
- Sidewalks/Paths should extend along all arterials and collectors in and adjacent to the project.
- Landscaped medians in arterials and collectors are encouraged whenever feasible.
- Arterials and collectors should provide neighborhoods with clear circulation routes and should limit the opportunity to “cut” through a neighborhood roadway system.

COPPER MOUNTAIN RANCH



SCHEMATIC CIRCULATION SYSTEM CASA GRANDE, ARIZONA



DECEMBER 06, 2006
EXHIBIT II-4 PAGE 32



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K. GENERAL PROVISIONS

1. This PAD may be amended in accordance with the Development Agreement. Each amendment shall include all sections or portions of the PAD that are affected by the change.
2. Whenever a use has not specifically been listed as being a permitted use in a particular zone classification within the PAD, it shall be the duty of the City of Casa Grande Planning Director to determine if said use is: 1) consistent with the intent of the zone; and 2) compatible with other listed permitted uses. Any person aggrieved by the determination may, within 15 days, appeal that decision to the City of Casa Grande City Council.
3. Copper Mountain Ranch Architectural Control Committee (CMRACC) – The developer will establish the CMRACC to implement the project's Covenants, Conditions and Restrictions (CC&R's).
4. Agricultural uses have been permitted on certain specific areas of the property. Until such time as those specific parcels are platted, the final plat is recorded and improvements are constructed, that specific parcel shall be and may remain usable as agricultural-land.



III. IMPLEMENTATION

A. PURPOSE

Development of Copper Mountain Ranch will be implemented in conformance with the regulations and guidelines contained within the Development Agreement and this PAD Guide. This section outlines the procedures for administration of the provisions contained herein. This process for implementation is intended to provide assurances for completion and flexibility as the project matures.

B. PHASING PROGRAM

The primary intention of the phasing program is to relate infrastructure requirements to site development.

The Copper Mountain Ranch PAD allows for flexibility in project phasing because the actual sequence of development may be affected by numerous factors, including site plan modifications, infrastructure accessibility or changes in the economic market.

C. PAD AMENDMENTS

(Refer to the Development Agreement for processing of these requests.)

D. PLANNING DISTRICTS

The PAD Land Use Plan consists of several individual Planning Districts. Planning Districts within the PAD serve to provide a manageable planning area that allows proper design, design review and phasing to occur on a project of this magnitude. (Exhibit II-2, Planning District Boundary)

To ensure the orderly growth of the community, designated Planning Districts within the PAD shall be developed at densities consistent with the density counts as designated for each Planning District within the PAD Land Use Plan, except as provided in a density transfer between Planning Districts. Minor modifications in the boundaries and acreage of Planning Districts or adjustments because of final road alignments, grading or hydrologic hazards, etc., will occur during technical refinements in the preliminary or final plat processes and shall not require an amendment to the Planning District documents or PAD. Maximum dwelling units overall for Copper Mountain Ranch will not thereby be affected.

The development requirements for each Planning District will follow the Design Standards for Planned Area Developments submittal requirements for Copper Mountain Ranch as outlined in Section IV of this document. If an issue is not addressed within Section IV of this document, the issue shall default to the development agreement and then to the City of Casa Grande Residential Design Standards for Planned Area developments as adopted on 2/3/2003 by Resolution No. 2694.2.

Planning District Density Transfers

A transfer of residential dwelling units from one Planning District to another shall be permitted in accordance with the following provisions:

In no case shall transfers of dwelling units result in:

1. An overall increase in the total number of dwelling units approved within the PAD.
2. An increase, in a receiving planning district up to but not greater than 10% in the number of dwelling units, received from one or more sending planning districts; transfers greater than 10% may be permitted with approval from City Council.
3. Materially exceeding the capacity of the circulation system or other public infrastructure systems within affected Planning Districts.
4. A by right increase of units in Sacaton Village without City Council Approval.



IV. DESIGN STANDARDS FOR COPPER MOUNTAIN RANCH

A. PURPOSE

The Copper Mountain Ranch Design Standards are statements expressing the desired character of future development within the Master Planned Community. The standards contained herein amend the *Casa Grande Residential Design Standards for Planned Area Developments* for Copper Mountain Ranch in order to address specific revisions necessary for a project of this magnitude and with this diversity. These standards are the foundation for the design criteria to be used to plan each of the following Planning Districts within the PAD. The developers and designers of each Planning District will draw from these standards to maximize the success of the community, while ensuring the flexibility of the development as it matures.

In order to assure residents that their investment in the project and their home will endure, Copper Mountain Ranch will be controlled by Covenants, Conditions, and Restrictions "CC&Rs." The CC&Rs will incorporate the design standards as outlined in this document and will promote diversity in home sites, color, texture, and streetscapes. The CC&Rs will be presented to the City Planning and Development Director for a conformity review to PAD standards prior to the approval of Final Subdivision Plats.

LDR – TRADITIONAL RESIDENTIAL LAND USE – DESIGN STANDARDS

Traditional Residential development within Copper Mountain Ranch will have densities that range from 1-4 DU's per acre. This standard generally follows the Casa Grande Residential Design Standards for Planned Area Developments, except as modified by this PAD, the Development Agreement, and Appendix "A". The following Table and notes provide development standards for the traditional housing at Copper Mountain Ranch.

**TABLE – 1
TRADITIONAL RESIDENTIAL LAND USE DESIGN STANDARDS**

Lot Size Categories (4)	Lot Area (In Square Feet) (3)	Minimum Lot Width	Minimum Yard Setbacks				Maximum Building Height	Minimum Distance Between Buildings
			Front (1)	Rear (5)	Side (Interior)	Side (Corner) (2)		
Large Lots	≥ 7,800	65'	15' – 23'	20'	5/10'	15'	30'	10'
Medium/Large Lots	≥ 7,000 – 7,999	60'	15' – 23'	20'	5/10'	15'	30'	10'
Medium/Large Lots	≥ 6,000 – 6,999	55'	15' – 23'	20'	5/10'	15'	30'	10'
Small/Medium Lots	≥ 5,499 - 5,999	45'	15' - 23'	20'	5/5'	15'	30'	10'
Active Adult Small/Medium Lots	> 4,950 - 5,499	45'	15' - 23'	20'	5/5'	15'	30'	10'

1. 15' to livable portion of the home or covered porches. 20' to 23' to front-loaded garage. Side-loaded garages 15' minimum.
2. Common area landscape tracts will be provided adjacent to entry corner lots. A minimum 10-foot tract and a minimum 5' building setback from the tract is required for a total of 15'. No wall will be allowed to be built within 5' of public utility easements (PUE) adjacent to corner lots.
3. A lot matrix will be provided on each preliminary plat that describes exact square foot calculations on each lot.
4. All, Small/Medium, Medium/Large and Large lot size categories can be developed anywhere within the Traditional Residential land use designations in accordance with good land use planning principles and as shown on the Copper Mountain Ranch Land Use Plan.
5. Rear to patio minimum of 10'.

MDR-1 – MEDIUM DENSITY RESIDENTIAL 1 LAND USE – DESIGN STANDARDS

The Medium Density Residential land use category denotes development with densities ranging from 4 to 8 units per acre. These land uses are typically one to four stories, detached or attached single family units on medium to small sized lots.

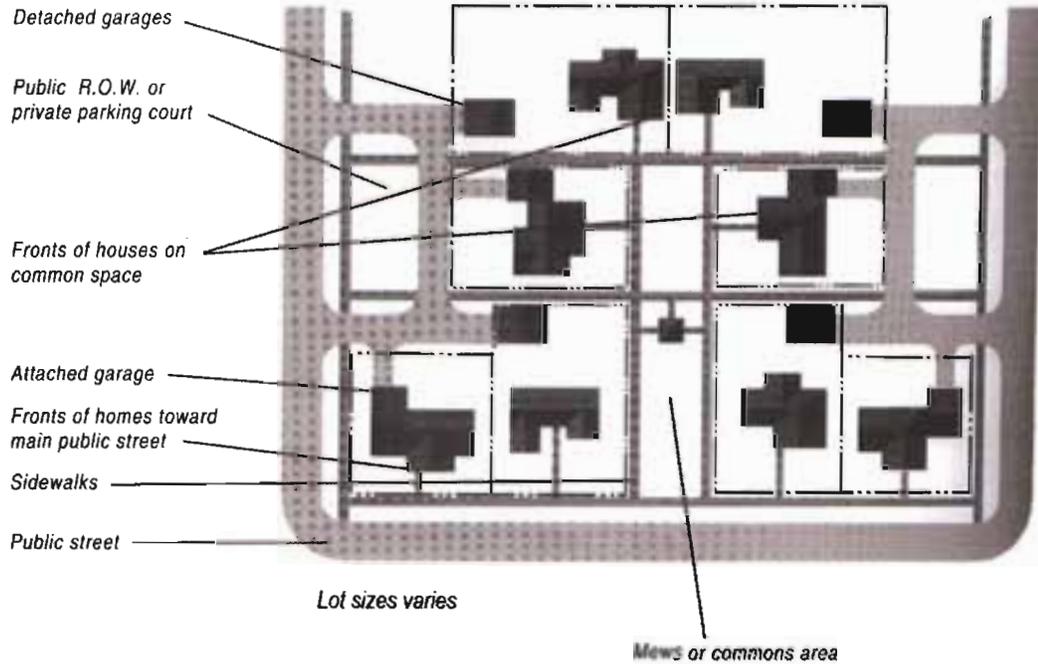
**TABLE – 2
MDR-1 RESIDENTIAL LAND USE DESIGN STANDARDS**

Lot Size Categories	Lot Area (Square Feet) (2)	Minimum Lot Width	Minimum Yard Setbacks				Maximum Building Height (3)	Minimum Distance Between Buildings
			Front (1)	Rear	Side (Interior)	Side (Corner)		
Medium/Large Lots	≥ 5,000 – 8,400	50'	10'	15'	5'/5'	10'	40'	10'
Small/Medium Lots	≥ 3,200 – 4,999	40'	10'	10'	Zero Lot Line	5'	50'	10'
Clustered Housing	1,950 – 3,199	30'	5'	10'	Zero Lot Line	5'	50'	10'
Condominiums	N/A	N/A	15'	15'	10'	10'	N/A	10'

1. Front-loaded garages or carports will have a minimum setback of 20' from the property line.
2. A lot matrix will be provided on each preliminary plat that describes exact square foot calculations on each single family detached lot.
3. Two, three and four story units and mixed use buildings will be encouraged at key locations within the project to create spatial enclosure at the street/pedestrian level and to form architectural massing which will emphasize high activity corners and community gathering spaces.
4. Setbacks apply to residential units adjacent to perimeter road Public ROW's only. Setbacks from common paved parking or internal roads/driveways shall be reviewed as part of the parcel site plan approval.

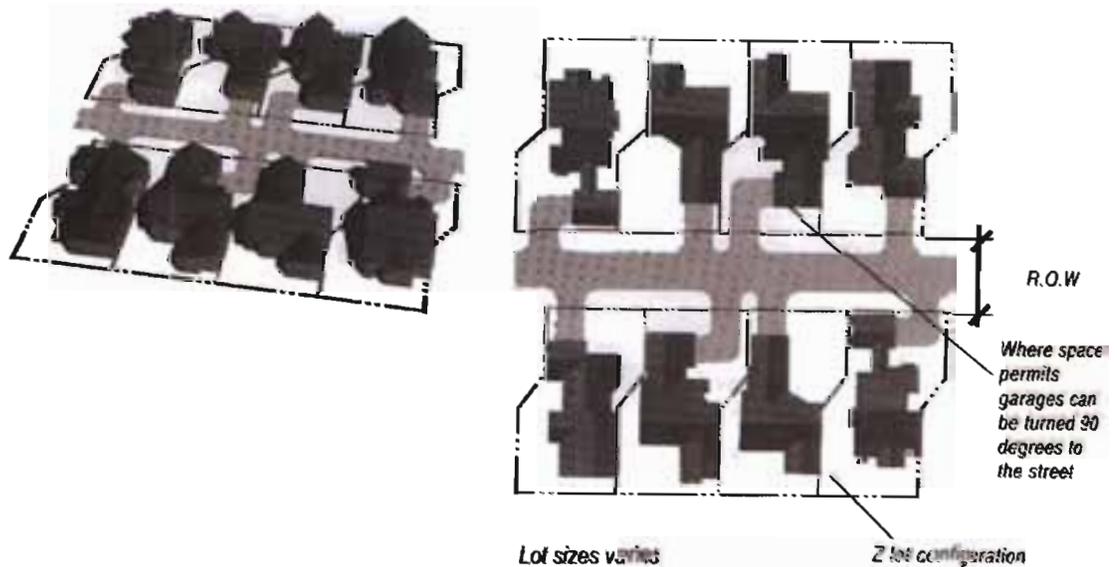
MDR-1 – MEDIUM DENSITY RESIDENTIAL 1 – DESIGN ILLUSTRATIONS

Detached Homes With Commons



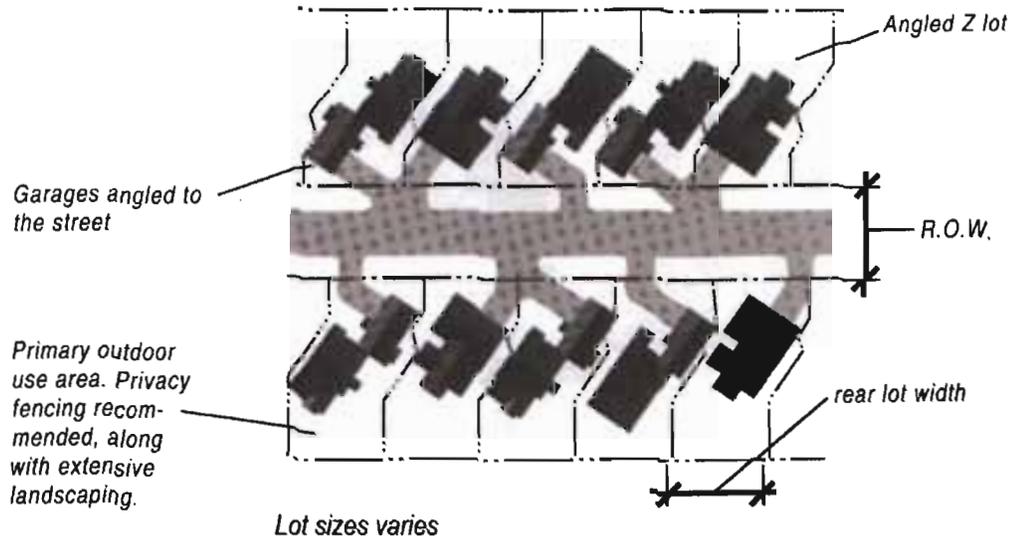
This approach to clustering emphasizes open space by orienting the front doors of houses to a formal common space. This product type can include homes with carports or integral or separate garages.

Detached "Z" Lot Homes



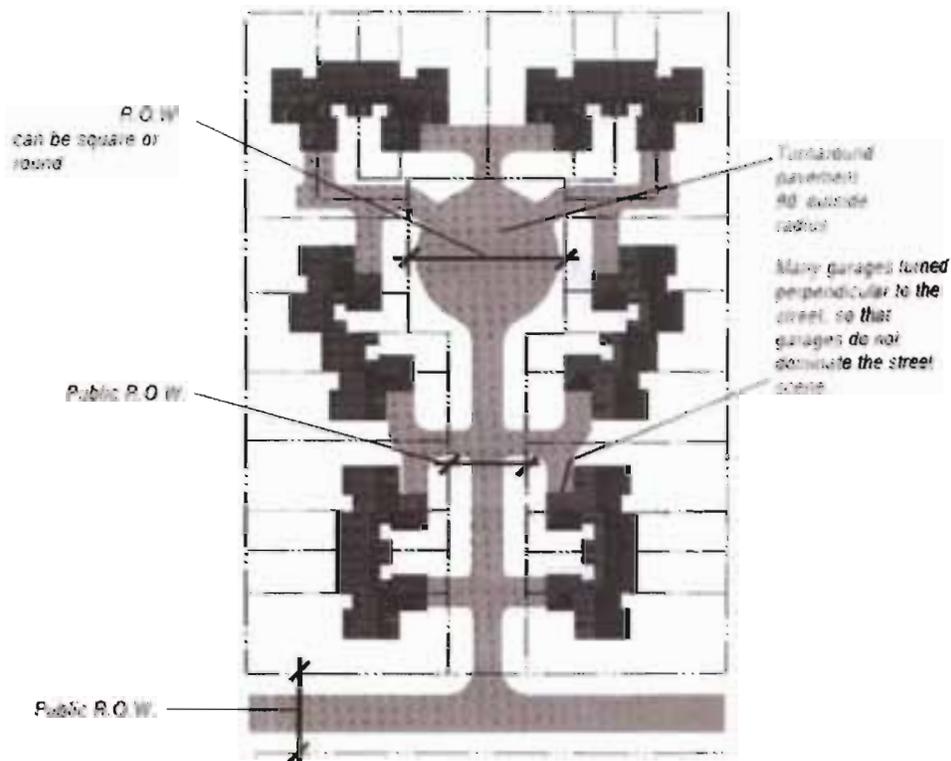
The "Z" lot home is designed to have windows on all four sides and is to be sited along the lot's diagonal axis so that the structure appears larger. Large expanses of glass admit natural light and integrate interior and exterior living spaces.

Detached Angled "Z" Lot Homes



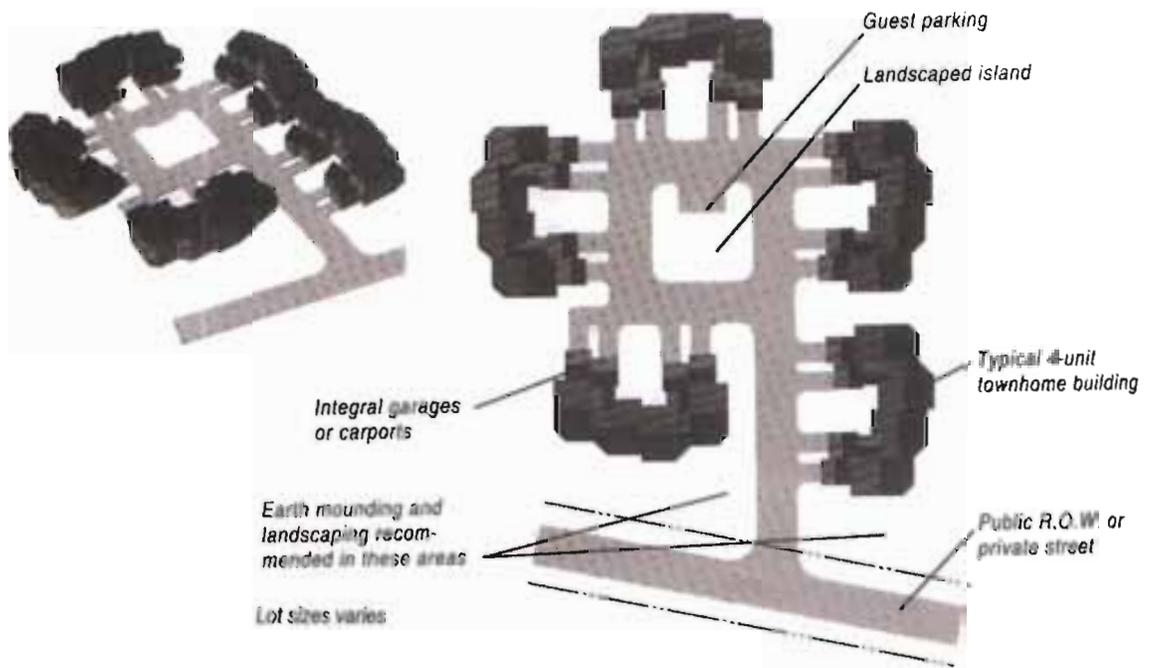
Another variation of the zero lot-line house is the angled "Z" lot home, which is modified "Z" lot home placed at an angle to the street. Angling the home creates landscaping pockets that help reduce the visual impact of the closely spaced homes.

Attached Homes with Turnaround Streets



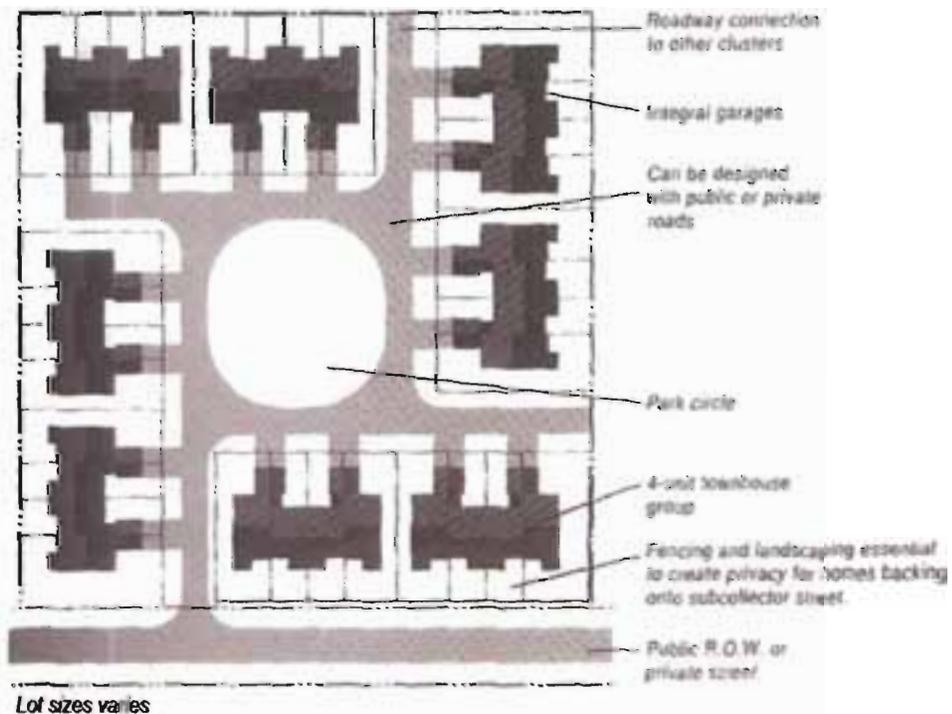
A variation of the private courtyard scheme, this pattern conveys more of a single-family image and works best when garages/carports are combined with surface parking.

Attached Homes with Automobile Courtyard



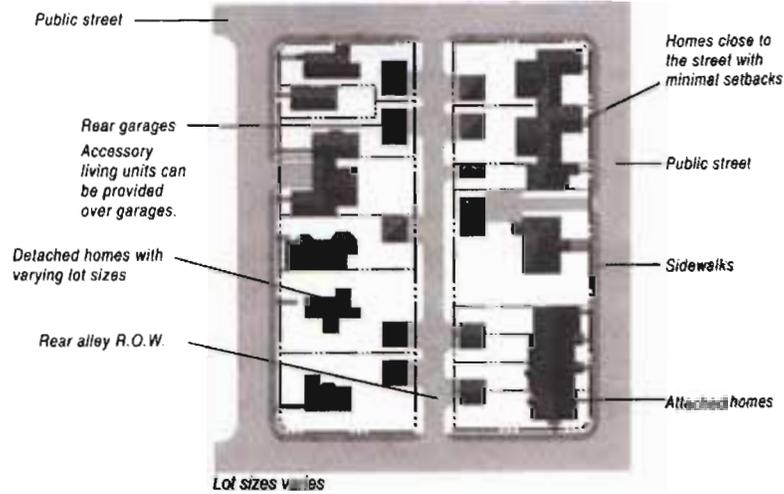
This pattern conveys a single-family image but at a slightly higher density than that permitted by the public street configurations.

Attached Homes With Park Circle

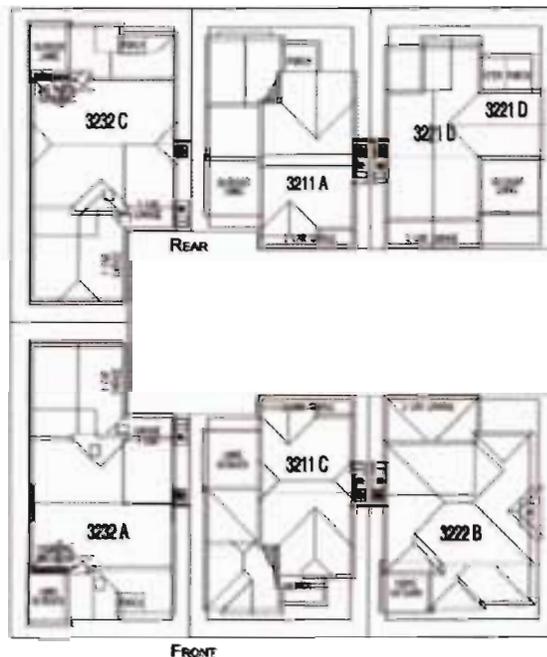


A variation of the private courtyard scheme, this pattern illustrates how a larger turnaround circle can create a small park or open space area and become the focal point of a cluster.

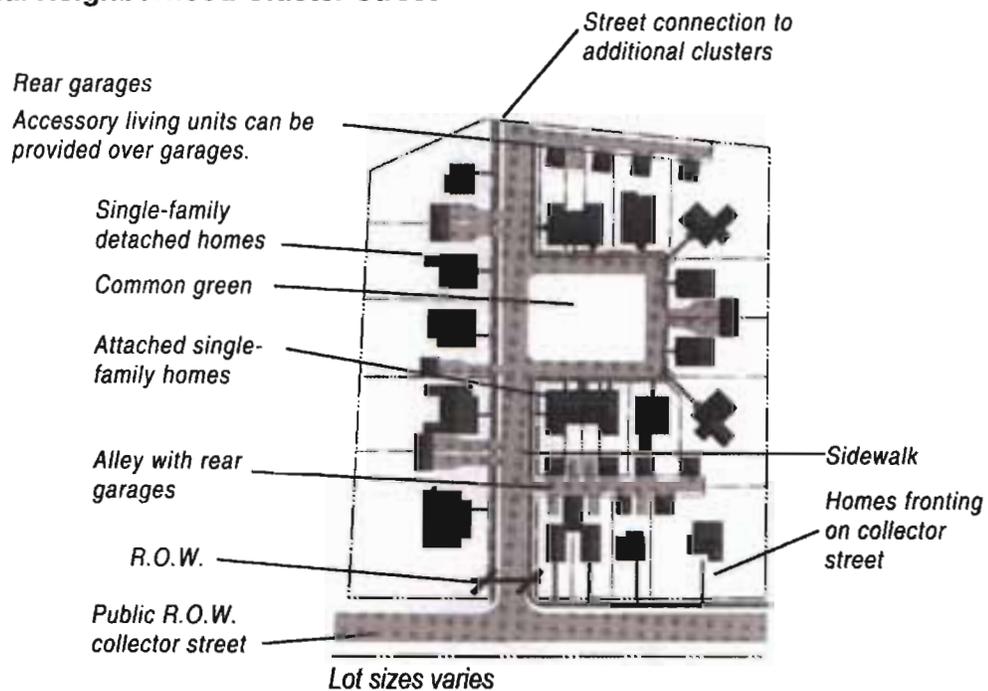
Single-Family Detached and Attached Homes in Traditional Neighborhood Block



This pattern allows a fuller integration of residential product types and creates a sense of neighborhood. The layout of this pattern is organized around gridded streets and alleys.



Traditional Neighborhood Cluster Street



A variation of the conventional neighborhood block, the street and alley scheme is the traditional neighborhood cluster pattern. This particular pattern is more adaptable to rolling topography.

MDR-1 MEDIUM DENSITY RESIDENTIAL 1 – UNACCEPTABLE PRODUCT TYPE



Too many garages on the public street dominate the street scene and restrict views of the pedestrian access to the homes.

MDR-2 – MEDIUM DENSITY RESIDENTIAL 2 LAND USE – DESIGN STANDARDS

The Medium Density Residential 2 land use category denotes areas of density ranging from 8 to 12 units per acre. These land uses are typically one to four story attached homes or condominiums clustered around open space or project amenity.

TABLE – 3
MDR-2 RESIDENTIAL LAND USE DESIGN STANDARDS

Lot Size Categories	Lot Area (2) (Square Feet)	Minimum Lot Width	Minimum Yard Setbacks (5)				Maximum Building Height (3)	Minimum Distance Between Buildings
			Front (1)	Rear	Side (Interior)	Side (Corner)		
Small/Medium Lots	> 2,450 - 3,200	35'	10'	15'	Zero Lot Line	10'	40'	10'
Small Lots	≥ 1,950 – 2,449	30'	10'	10'	Zero Lot Line	5'	40'	10'
Clustered Housing(4)	N/A	N/A	5'	10'	5'	5'	50'	10'
Condominiums	N/A	N/A	15'	15'	10'	10'	N/A	10'

1. Front-loaded garages or carports will have a minimum setback of 20' from the street side property line.
2. A lot matrix will be provided on each preliminary plat that describes exact square foot calculations on each single family detached lot.
3. Two, three and four story units will be encouraged at key locations within the project to create spatial enclosure at the street/pedestrian level and to form architectural massing which will emphasize high activity corners.
4. Clustered housing may consist of attached and detached single family and multi-family residential units.
5. Setbacks apply to residential units adjacent to perimeter road Public ROW's only. Setbacks from common paved parking or internal roads/driveways shall be reviewed as part of the parcel site plan approval.

HDR – HIGH DENSITY RESIDENTIAL LAND USE – DESIGN STANDARDS

The High Density Residential land use category denotes areas of density greater than 12 units per acre. These land uses are typically one to six story units such as condominiums, town homes or apartments.

**TABLE – 4
HDR RESIDENTIAL LAND USE DESIGN STANDARDS**

Lot Size Categories	Lot Area (Square Feet)	Minimum Lot Width	Minimum Building Setbacks (3,4)					Maximum Building Height (2)	Minimum Distance Between Buildings
			Front (1)	Rear	Side (Interior)	Side (Corner)	Adjacent Residential Parcel		
Clustered Housing	N/A	N/A	5'	10'	5'	5'	15'	N/A	10'
Condominiums	N/A	N/A	15'	15'	N/A	10'	15'	N/A	10'
Apartments	N/A	N/A	15'	15'	N/A	15'	15'	N/A	15'

1. Front-loaded garages or carports will have a minimum setback of 20' from the back of curb. Alley loaded garages have a minimum setback of 5' from pavement or alley edge.
2. Multi-story mixed use buildings will be encouraged at key locations within the project to create spatial enclosure at the street/pedestrian level and to form architectural massing which will emphasize high activity corners and community gathering spaces.
3. Setbacks apply to residential units adjacent to perimeter road Public ROW's only. Setbacks from common paved parking or internal roads/driveways shall be reviewed as part of the parcel site plan approval.
4. A minimum 45' setback from any LDR land use shall be required for residential units exceeding 2 stories in height.

NC – NEIGHBORHOOD COMMERCIAL LAND USE – DESIGN STANDARDS

This land use designation refers to retail, commercial and office which serves the immediate neighborhood in which it is located and mixed-use residential units centered around public gathering places, amenities or centers. Typical tenants may occupy the ground floor with residential units above. Small scale shared parking lots are primarily located behind mixed-use buildings. Neighborhood commercial uses should be scaled to fit with the surrounding residential and/or public uses.

**TABLE – 5
NC COMMERCIAL LAND USE DESIGN STANDARDS**

Lot Size Categories	Lot Area (Square Feet)	Minimum Lot Width	Minimum Building Setbacks (3,4)					Maximum Building Height (2)	Min. Distance Between Building	Max FAR(1)
			Front (1)	Rear	Side (Interior)	Side (Corner)	Adjacent Residential Parcel			
Retail/Commercial	N/A	N/A	15'	10'	10'	10'	15'	40'	10'	0.80
Condominiums	N/A	N/A	15'	15'	10'	10'	12'	N/A	10'	N/A
Lofts/Flats/TH	N/A	N/A	15'	10'	10'	10'	12'	N/A	10'	N/A
Apartments	N/A	N/A	15'	15'	10'	10'	12'	N/A	10'	N/A
Hotel/Motel	N/A	150'	15'	15'	10'	10'	12'	60'	10'	N/A
Office	N/A	150'	15'	15'	10'	10'	12'	60'	10'	0.80
Mixed Use Buildings	N/A	N/A	15'	15'	10'	10'	12'	60'	10'	0.80

1. Shared use parking shall be encouraged
2. Two, three and four story units and mixed use buildings will be encouraged at key locations within the project to create spatial enclosure at the street/pedestrian level and to form architectural massing which will emphasize high activity corners and community gathering spaces
3. Setbacks apply to buildings adjacent to perimeter road Public ROW's only. Setbacks from common area parking, "main street" parking or internal roads/driveways shall be reviewed as part of the parcel site plan review.
4. A minimum 45' setback from any MDR-1 or LDR land use shall be required for buildings exceeding 30' in height.

CC – COMMUNITY COMMERCIAL LAND USE – DESIGN STANDARDS

This land use designation refers to retail businesses serving the local market area.

**TABLE – 6
CC COMMUNITY COMMERCIAL LAND USE DESIGN STANDARDS**

Lot Size Categories	Lot Area (Square Feet)	Minimum Lot Width	Minimum Building Setbacks (3)					Max. Building Height (2)	Min. Distance Between Building	Max FAR(1)
			Front	Rear	Side (Interior)	Side (Corner)	Adjacent Residential Parcel			
Retail/Commercial	N/A	N/A	25'	15'	15'	20'	15'	40'	20'	0.80
Condominiums	N/A	N/A	15'	15'	10'	10'	12'	N/A	10'	N/A
Lofts/Flats/TH	N/A	N/A	15'	15'	10'	10'	12'	N/A	10'	N/A
Apartments	N/A	N/A	15'	15'	10'	10'	12'	N/A	10'	N/A
Hotel/Motel	N/A	N/A	20'	15'	10'	15'	12'	120'	10'	N/A
Office	N/A	N/A	20'	15'	10'	15'	12'	120'	10'	0.80
Mixed-Use Buildings	N/A	N/A	20'	15'	10'	15'	12'	120'	10'	0.80

1. Shared use parking shall be encouraged
2. Multi-story mixed use buildings will be encouraged at key locations within the project to create spatial enclosure at the street/pedestrian level, and to form architectural massing which will emphasize high activity corners and community gathering spaces
3. Setbacks apply to buildings adjacent to perimeter road Public ROW's only. Setbacks from common area parking, "main street" parking or internal roads/driveways shall be reviewed as part of the parcel site plan review.
4. A minimum 45' setback from any MDR-1 or LDR land use shall be required for buildings exceeding 30' in height.

RC – REGIONAL COMMERCIAL LAND USE – DESIGN STANDARDS

This land use designation refers to the establishment of a major regional shopping center use to include retail power centers and related uses as described below.

**TABLE – 7
RC REGIONAL COMMERCIAL LAND USE DESIGN STANDARDS**

Lot Size Categories	Lot Area (Square Feet)	Minimum Lot Width	Minimum Building Setbacks (3)					Max. Building Height (2)	Min. Distance Between Building	Max FAR(1)
			Front	Rear	Side (Interior)	Side (Corner)	Adjacent Residential Parcel			
Retail/Commercial	N/A	N/A	0'	0'	0'	0'	20'	80'	20'	0.80
Lofts/Flats/TH	N/A	N/A	N/A	N/A	N/A	N/A	N/A	80'	10'	N/A
Apartments	N/A	N/A	25'	25'	25'	25'	12'	N/A	15'	N/A
Hotel/Motel	N/A	N/A	20'	15'	10'	15'	12'	120'	20'	N/A
Office	N/A	N/A	20'	15'	10'	15'	12'	120'	10'	0.80
Mixed Use Buildings	N/A	N/A	20'	15'	10'	15'	12'	120'	10'	0.80

- Up to eight story mixed-use buildings will be encourage at key locations within the land use to create spatial enclosure at the street/pedestrian level, and to form architectural massing which will emphasize high activity areas and community gathering spaces.
- Lofts/flats or townhouses may be located above retail or office uses in buildings that may be up to eight stories or 120' in height.
- Multi-story mixed use buildings will be encouraged at key locations within the project to create spatial enclosure at the street/pedestrian level and to form architectural massing which will emphasize high activity corners and community gathering spaces
- Setbacks apply to buildings adjacent to perimeter road Public ROW's only. Setbacks from common area parking, "main street" parking or internal roads/driveways shall be reviewed as part of the parcel site plan review.
- A minimum 45' setback from any MDR-1 or LDR land use shall be required for buildings exceeding 30' in height.
- Shared use parking shall be encouraged.

OBP – OFFICE/BUSINESS PARK LAND USE – DESIGN STANDARDS

This land use designation refers to professional office complexes and high tech/research business parks, whose activities primarily occur during daytime business hours.

TABLE – 8
OBP - OFFICE/BUSINESS PARK LAND USE DESIGN STANDARDS
(Non-Residential Uses)

Land Use	Land Area (Acres)	Minimum Yard Setbacks				Max. Building Height (1,2)	Minimum Distance Between Buildings	Max FAR
		Front	Rear	Side (Interior)	Side (Corner)			
Business Park	1 to 5 Acre Parcels	20'	20'	10'	15'	120'	10'	0.8
Hotel/Motel	5 to 10 Acre Parcels	20'	20'	10'	15'	120'	10'	N/A
Office	1 to 10 Acre Parcels	20'	20'	10'	15'	120'	10'	0.8
Deli/Restaurant(3)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

1. Hotels/Motels may be a maximum of 8 stories or 120' in height.
2. Office Buildings may be a maximum of 8 stories or 120' in height.
3. Deli/restaurant or other support service may be allowed as part of or stand alone, within the OBP land use category.
4. A 45' foot building setback is required from all residential boundaries.

E – EMPLOYMENT LAND USE – DESIGN STANDARDS

This land use designation refers to light or heavy industrial manufacturing, distribution, and or assembly use conducted within large buildings.

**TABLE – 9
E - EMPLOYMENT LAND USE DESIGN STANDARDS**

Land Use	Land Area (Acres)	Minimum Yard Setbacks				Maximum Building Height (1)	Minimum Distance Between Buildings	Max FAR
		Front	Rear	Side (Interior)	Side (Corner)			
Industrial	1 to 40 Acre Parcels	20'	20'	10'	15'	40'	10'	0.4
Office	1 to 10 Acre Parcels	20'	20'	10'	15'	120'	10'	0.8
Deli/Restaurant(2)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

1. Office Buildings may be a maximum of 8 stories or 120' in height.
2. Deli/restaurant or other support service may be allowed as part of or stand alone within the (E) land use category.
3. A 45' foot building setback is required from all residential boundaries.

POS – PARKS/OPEN SPACE LAND USE – DESIGN STANDARDS

The Parks/Open Space land use denotes areas that are to be precluded from development except for public recreational facilities or natural open space preservation areas. Some open space areas will be left in their natural state in order to preserve topographic, drainage, vegetative, or land form constraints or to provide buffers between land uses. The master land use plan strives to create a linked open space system through the preservation of these natural areas and the creation of well placed, functional public open spaces. A minimum 20% overall gross project acreage, and not less than 15% for any individual planning district, will be dedicated as open space within Copper Mountain Ranch.

PSP – PUBLIC/SEMI-PUBLIC FACILITIES LAND USE – DESIGN STANDARDS

This land use designation denotes acreage dedicated for public or semi-public uses that may include regional medical centers, police/fire stations, schools, libraries, city or county government buildings, community centers and all public and private utility facilities.

TABLE – 10
PSP – PUBLIC/SEMI-PUBLIC FACILITIES LAND USE DESIGN STANDARDS

Land Use (4)	Min. Land Area (Acres)	Minimum Yard Setbacks (2,3,5)				Maximum Building Height (1)	Minimum Distance Between Buildings
		Front (2)	Rear	Side (Interior)	Side (Corner)		
Medical/Health	N/A	25'	15'	15'	15'	100'	10'
Institutional	N/A	25'	25'	25'	25'	50'	10'
Community	N/A	20'	20'	10'	12'	40'	10'
Utility	N/A	25'(5)	30'(5)	15'(5)	25'(5)	N/A(5)	N/A(5)

1. Up to six story buildings will be encouraged at key locations within the land use to create spatial enclosure at the street/pedestrian level and to form architectural massing which will emphasize high activity areas and community gathering spaces.
2. Setbacks apply to buildings adjacent to perimeter road Public ROW's only. Setbacks from common area parking, "main street" parking or internal roads/driveways shall be reviewed as part of the parcel site plan review.
3. A minimum 45' setback from any MDR-1 or LDR land use shall be required for structures exceeding 2 stories in height.
4. Shared use parking shall be encouraged.
5. Setback as dictated by public health, safety and welfare for specific use proposed. .

REC – RECREATIONAL LAND USE OVERLAY – DESIGN STANDARDS

This land use category is an overlay land use district that is created for the development of a Major League Baseball spring training complex or other types of recreational sport facilities. This overlay district may include uses such as stadiums, practice facilities, clubhouses, parking, field and parking lot lighting, and associated commercial and residential uses. This (REC) Overlay district will be subject to the same site plan review and approval process as defined in Appendix C of this PAD document, which is consistent and applicable for all planning districts. The intent and purpose for this overlay district is to establish potential areas that will support this specialized land use, while remaining compatible with the underlying planning districts and proposed land uses. If this land is not utilized for this purpose then it shall revert back to its underlying designated land use.



V. DESIGN VERNACULAR AND VISION

A. Copper Mountain Ranch Vision

Copper Mountain Ranch is a distinctive community defined by artfulness and beauty. The site, which has extraordinary views and beautiful landscape, is the perfect setting for the harmonious convergence of these ideas. Copper Mountain Ranch is a meaningfully different new master planned community of distinctive residential Villages and human-scale neighborhoods. It is linked by social, recreational, and innovative technological connections to enable residents to benefit from the past, thrive in the present, and confidently greet the future.

Community. It's a word that invokes feelings of being at home, neighbors, friends, and a return to humanity. Through the following development goals Copper Mountain Ranch will embrace the essence of community and expand on its vision to create a lifestyle that is unmatched anywhere else.

B. Development Goals

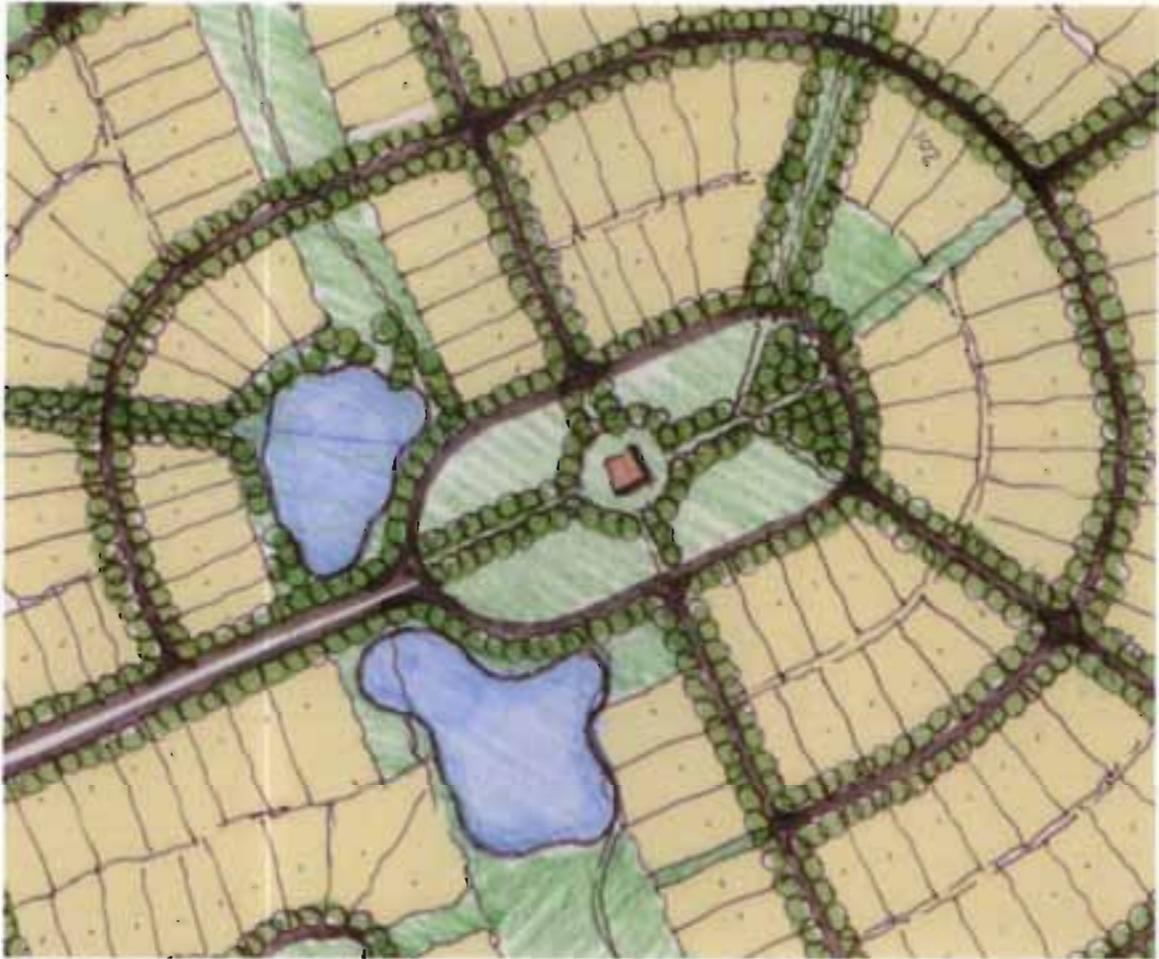
- Be one of the finest master planned communities in the United States.
- Create, a balanced community: places to live, work, learn, shop, recreate, play and fellowship.
- Be a model for the City of Casa Grande's future mixed-use growth.
- Create a community with a strong identity.
- Respect and enhance the natural environmental features: land, flora, fauna, water, and air.
- Develop a thriving community within the Legacy of the Land.
- Generate distinctive villages and create diversity with harmony.
- Enhance the local community.

Vision Statement:

- ❖ *Connecting neighbors*
- ❖ *To build friendships*
- ❖ *Share experiences*
- ❖ *And shape futures*
- ❖ *... together*

The Following pages 54 through 100 intend to portray the design quality and vision for Copper Mountain Ranch.

DISTRICT 1 – Sacaton Village



Conceptual Residential Site Plan

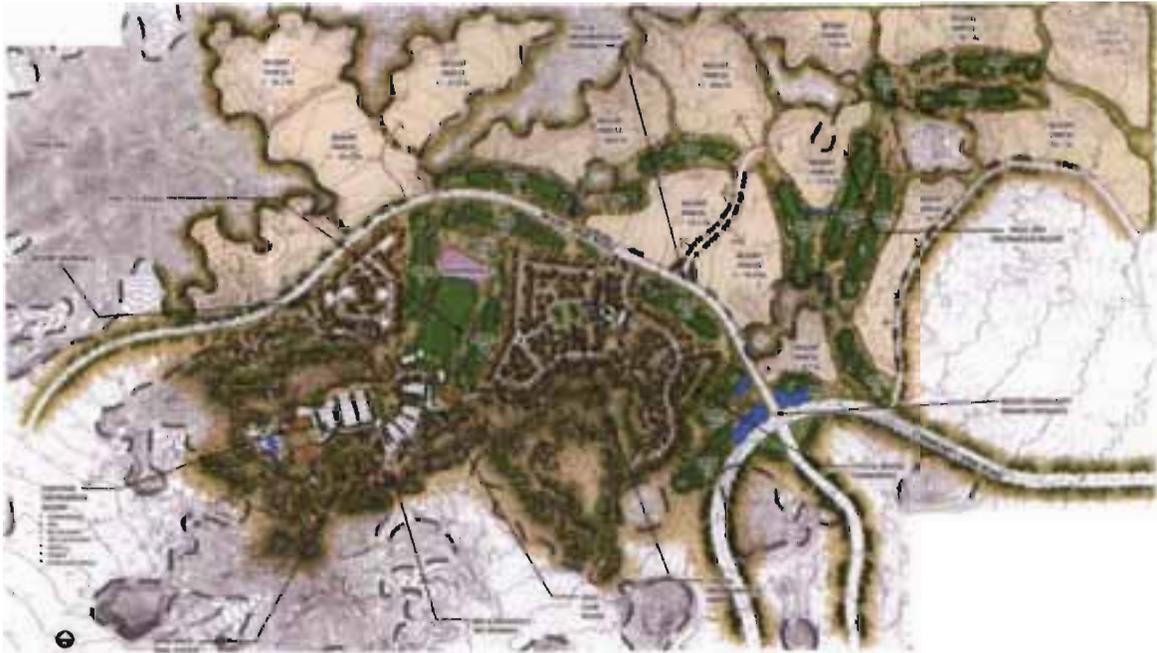








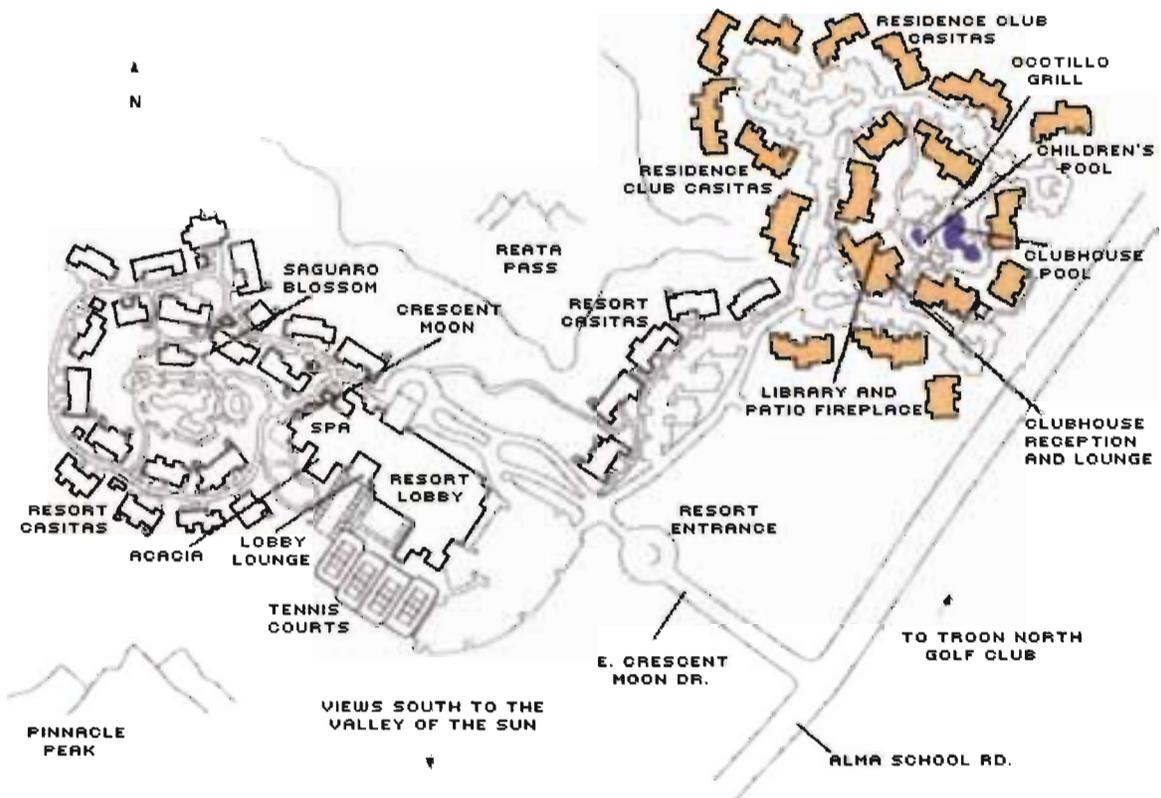
DISTRICT 2 – Desert Color Resort Village



Conceptual Resort Village Master Plan







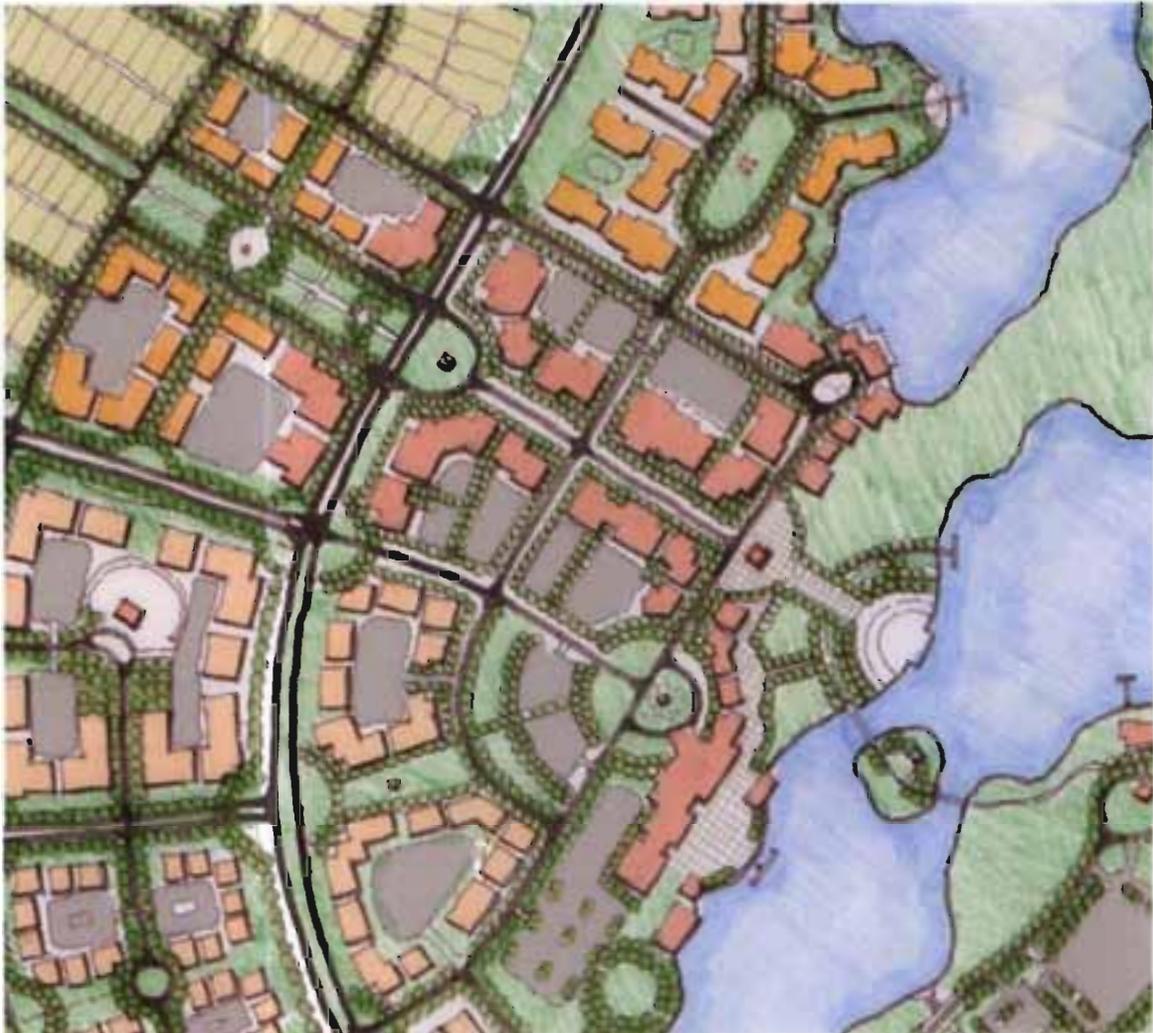








DISTRICT 3 – Desert Color Town Center



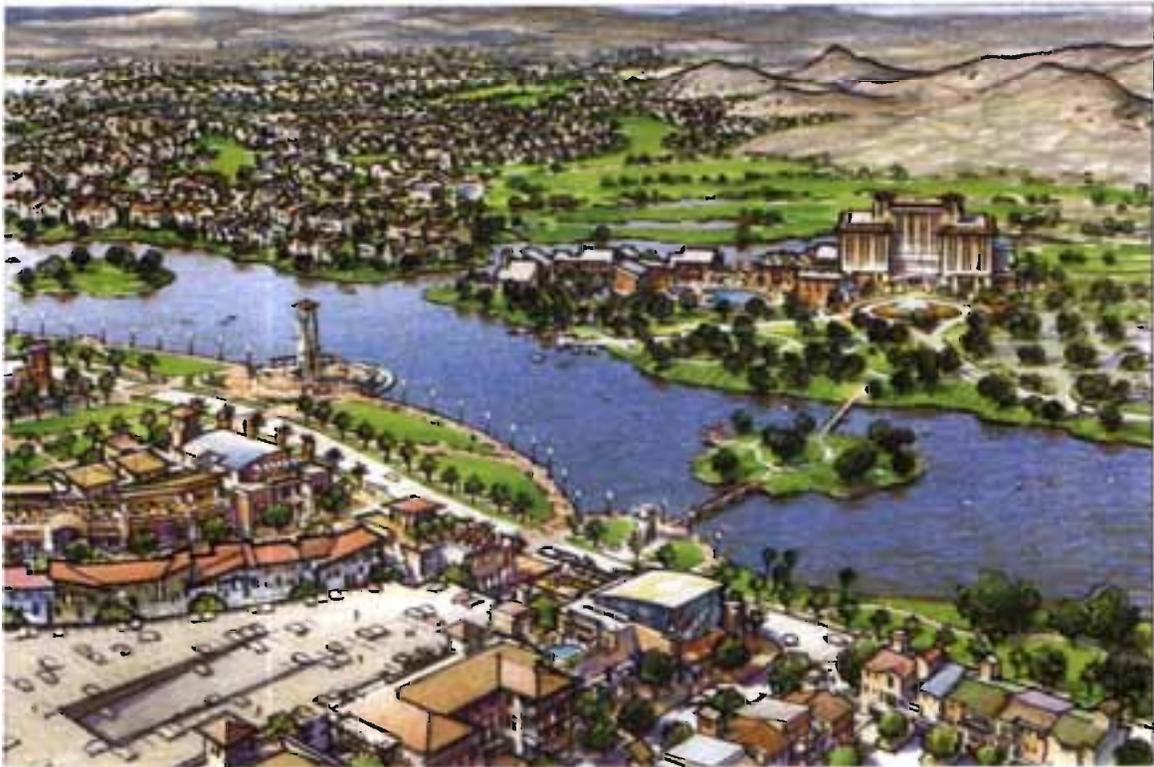
Conceptual Master Plan for Desert Color Town Center

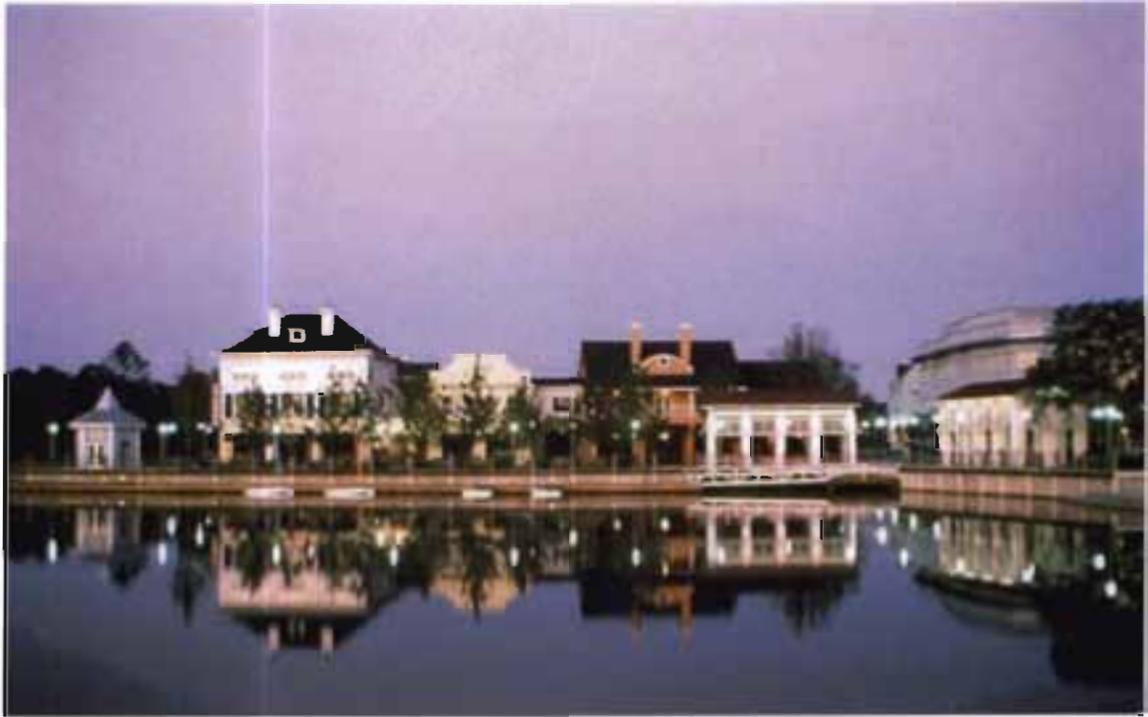




Conceptual Town Center Master Plan









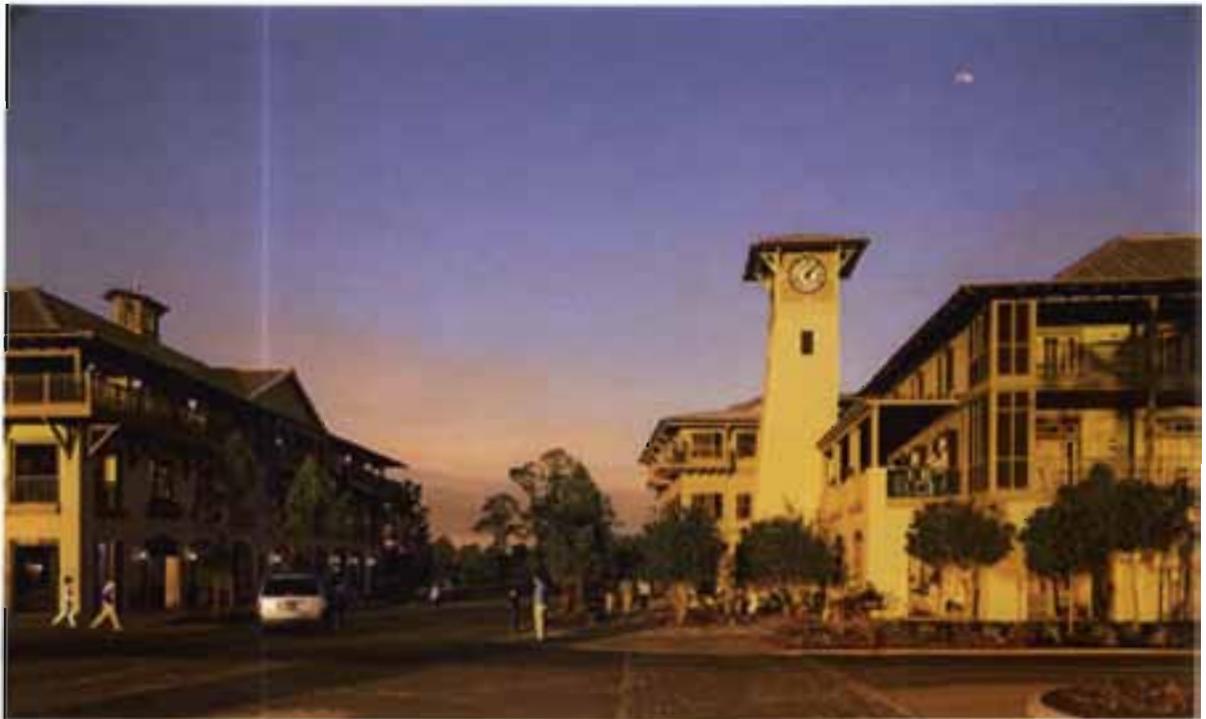


DISTRICT 4 – Sonoran Village



Conceptual Town Center Master Plan





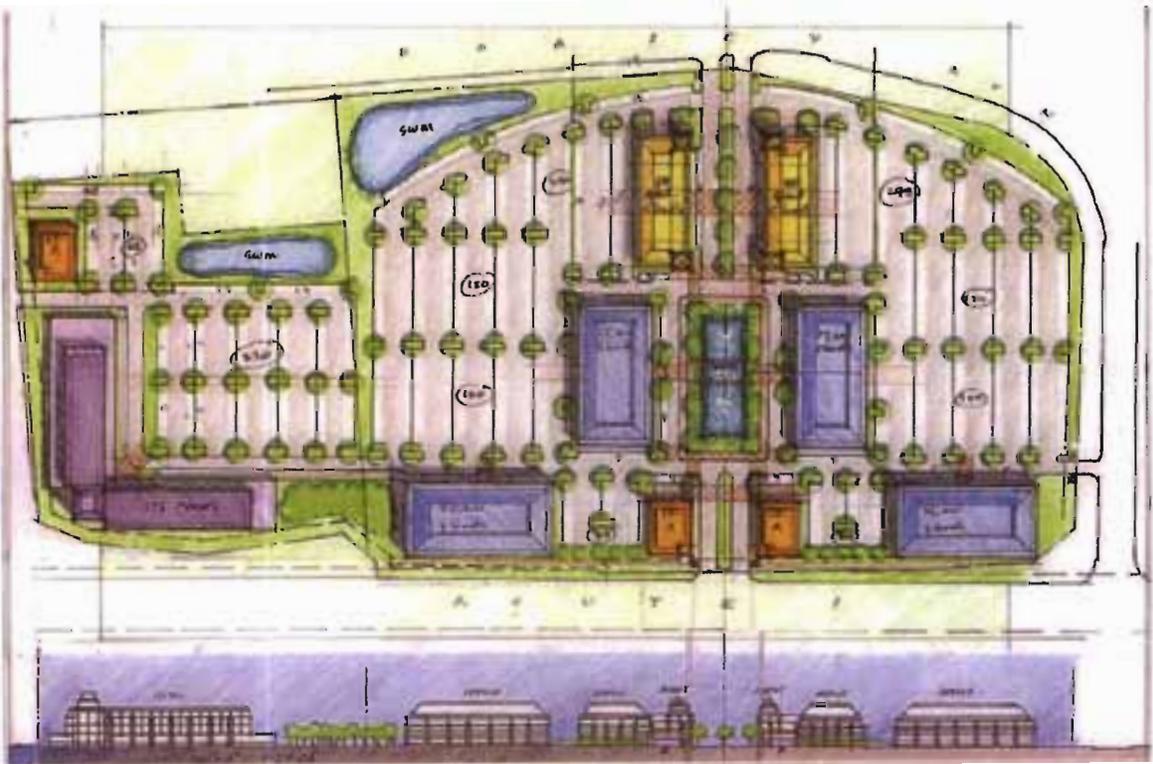




DISTRICT 5 – Desert Color Industrial Park









Typical Employment Elevations and Imagery





DISTRICT 6 – Painted Sky Village

Typical Cluster Residential Layout

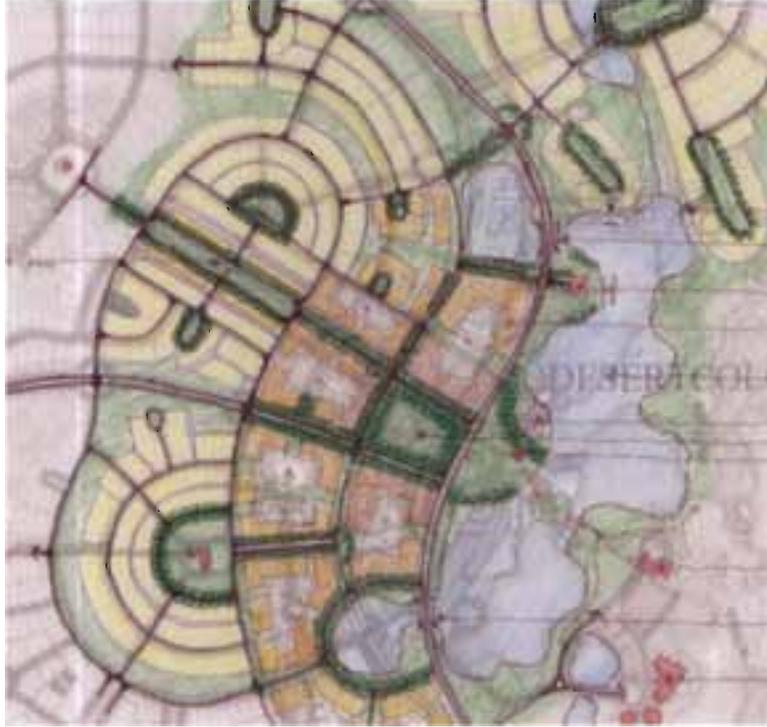




DISTRICT 7 – Desert Color Village Center



Desert Color Village Center Site Plan





Desert Color Village Center Single Family









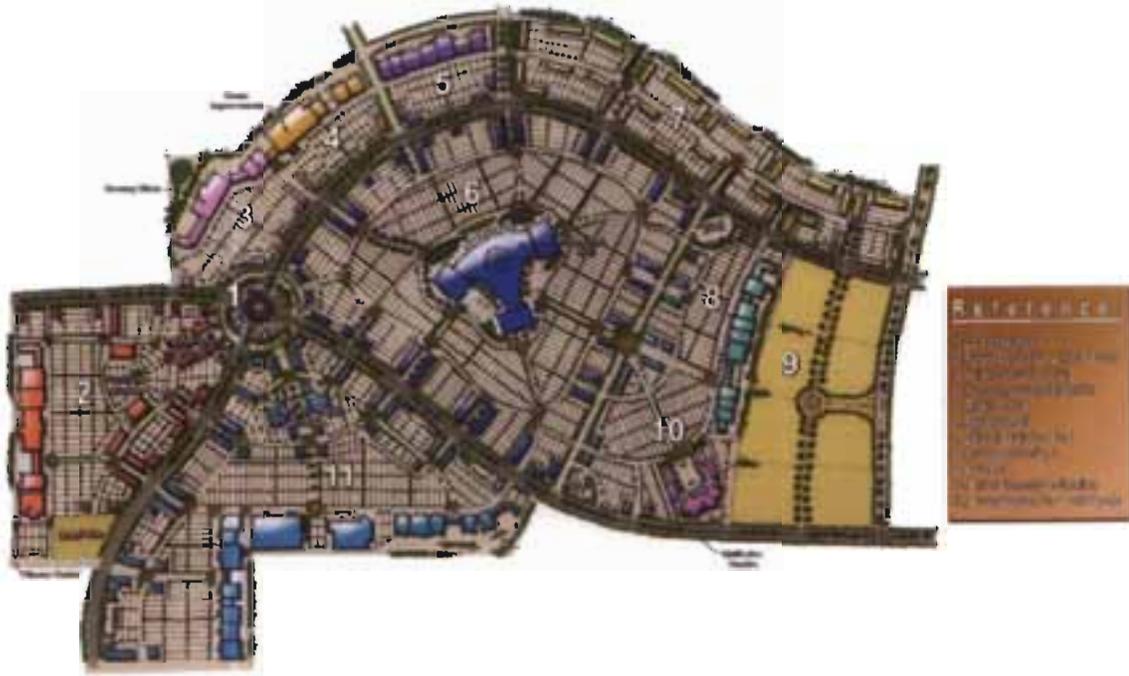
DISTRICT 8 – Gila River Village







DISTRICT 9 – Desert Color Commons



Conceptual Site Plan



Conceptual Aerial of Master Plan

Conceptual Sketches

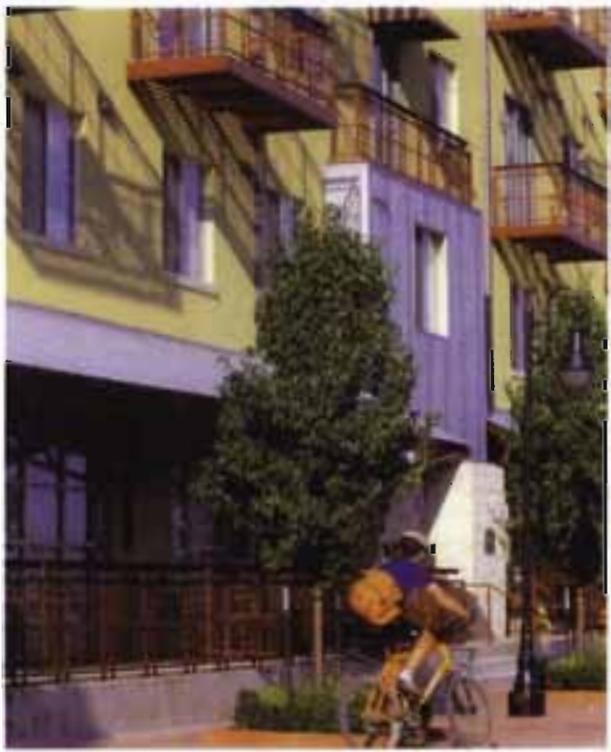




Design Imagery

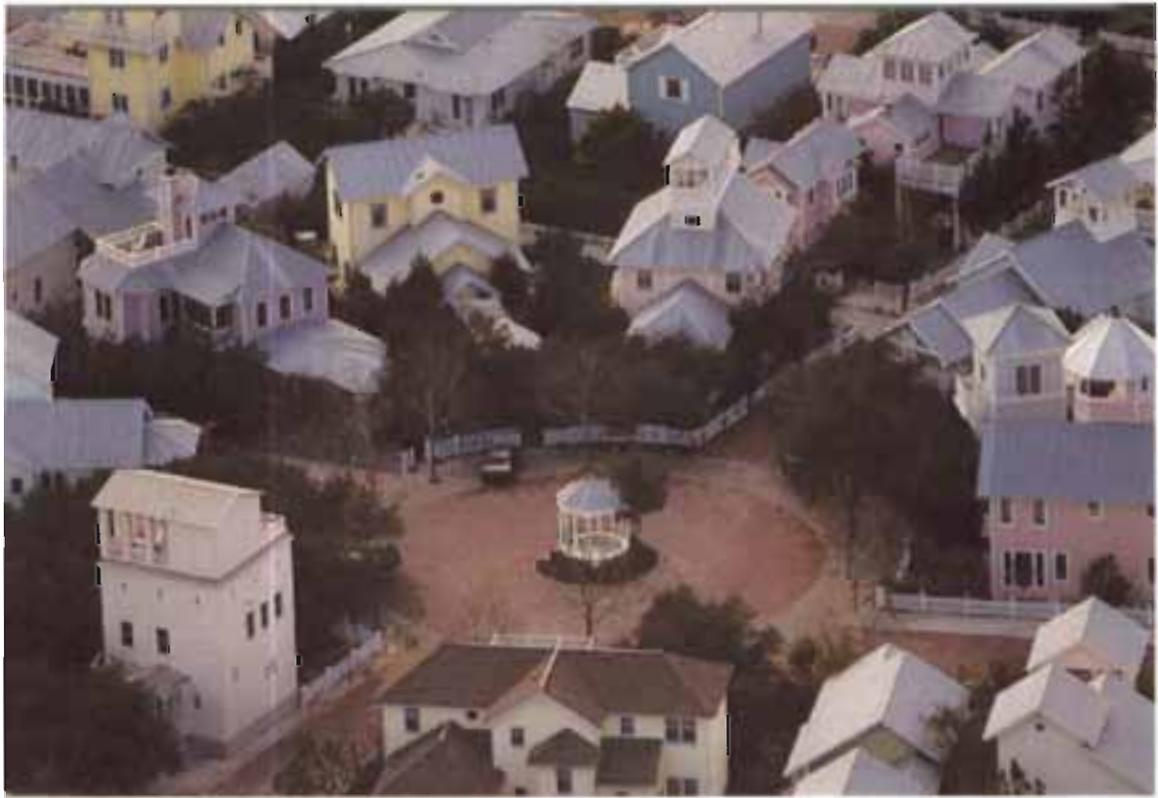


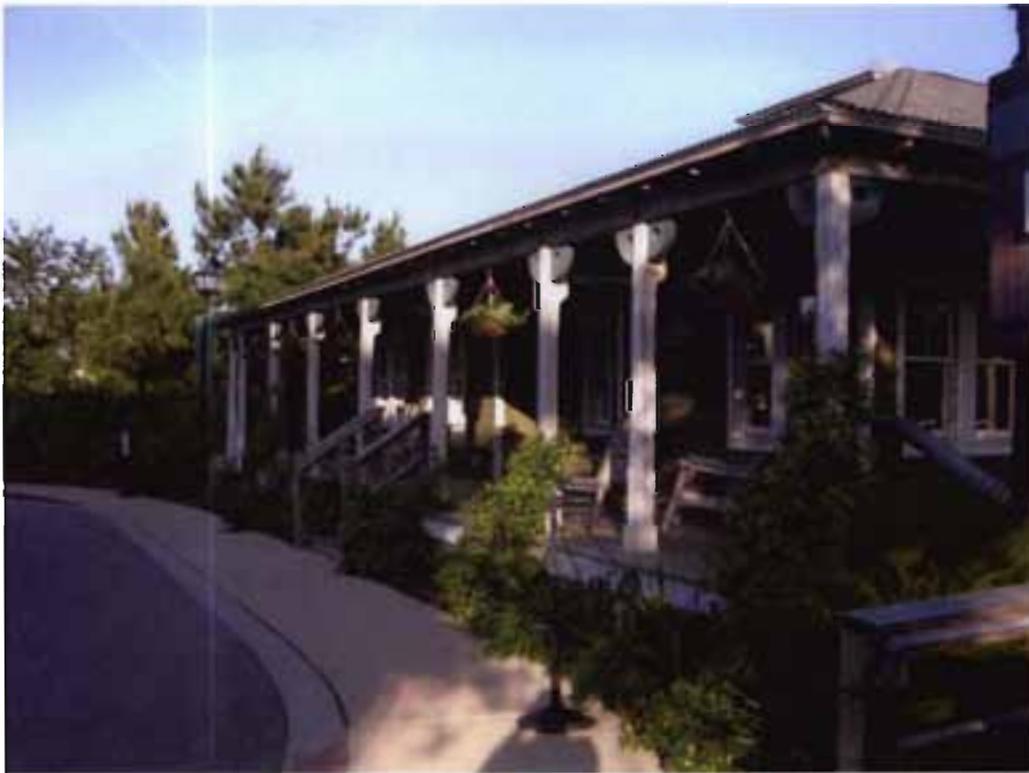




DISTRICT 10 – Sunset Village









Appendix “A” - Residential Design Guidelines

A. Residential Design Standards for Low Density Residential (LDR)

1.0 RESIDENTIAL DEVELOPMENT STANDARDS

Copper Mountain Ranch has been designed to incorporate many of the City of Casa Grande's Residential Design Standards for Planned Area Developments. Copper Mountain Ranch, however, is asking for a modification in lot widths and lot sizes to enhance and allow more controlled common open space and City-wide amenities by clustering some homes to increase the amenity spaces. Copper Mountain Ranch believes that this modification from the Design Standards is justified based on Exception C and that Copper Mountain Ranch is so unique to the City that strict conformance with all of the requirements of the Residential Design Standards for Planned Area Developments would be counter-productive to achieving the diversity, creativity, and sustainability sought for by the PAD classification.

2.0 MANDATORY PROJECT LAYOUT AND DESIGN STANDARDS

The following development standards have been created to provide a flexible framework for Copper Mountain Ranch's development. The standards assure that a high level of quality is established and maintained throughout the project. They have been designed to address the low and medium density residential uses that occur within a master planned development, anticipating while allowing the market realities of development and ensuring timeless elements of design are realized throughout the project's life.

The following development descriptions and standards are intended to direct the nature of residential uses and open space at Copper Mountain Ranch. If a provision(s) of the Copper Mountain Ranch Development Standards conflicts with the City of Casa Grande's Residential Design Standards for Planned Area Developments, Zoning Ordinance or City Code, the provisions of the Copper Mountain Ranch Residential Development Standards shall govern and control. The elements include but are not limited to: streetscapes, architectural details, as well as enhanced entry features, and roof elements.

2.1 LOW DENSITY RESIDENTIAL (LDR) OPEN SPACE REQUIREMENTS

Low Density Residential (LDR) will comply with the following requirements:

- 2.1.1 A minimum 20% overall gross project acreage, and not less than 15% for any individual planning district, will be dedicated as open space within Copper Mountain Ranch.
- 2.1.2 Clubhouses, indoor recreation centers, parking lots, street right-of-way, and cement built retention areas and drainage channels shall not count towards the open space requirement.
- 2.1.3 A significant percentage of the required open space will include parks, multi-use trails, bike paths, landscaped retention areas, tot lots, and/or other outdoor active or passive recreational improvements. Counted

toward this requirement are preservation of areas with natural washes, hillsides left natural and substantial native vegetation and/or unique landscape features.

- 2.1.4 When retention areas are designed for recreational usage at least fifteen percent of the basin shall be elevated above a twenty-five year flood water surface elevation.
- 2.1.5 Reasonable amounts of appropriate areas of open space not considered natural preservation areas may be landscaped according to an approved water-conserving final landscape plan.
- 2.1.6 Golf courses and hillside areas are included in full towards open space calculations
- 2.1.7 Landscape, landscape lighting, and open space amenity plans shall be subject to the review and approval of the Planning and Development Director and Community Services Director, which approval will not be unreasonably withheld.

Open space must be provided in a manner where it is reasonably accessible. Pocket parks and access to open space from cul-de-sac ends are highly encouraged. Open space shall be located and designed as a community amenity where appropriate. Improved open space shall be provided within each phase of a development where appropriate and be reasonably visible to the public to the extent practicable to encourage community utilization and awareness.

2.2 ADDITIONAL REQUIREMENTS FOR PROJECT LAYOUT AND DESIGN

The following additional development standards will be utilized within Low Density Residential Design (LDR).

- 2.2.1 Curvilinear street system. The project shall be designed with a curvilinear street system for collector streets. Where possible all other streets within the Project shall be curvilinear or otherwise designed to limit a perpendicular grid system. This will discourage cut-through traffic and help as a traffic calming measure on local streets.
- 2.2.2 Stagger front yard setbacks. Front-loaded garages will vary in setback, and no more than three (3) consecutive homes will be setback at the minimum distance. The minimum setback for front porches, side-entry garages and livable areas may be reduced to encourage street variety and limit garage impact on the streetscape. Livable areas that project beyond garage and porch will be setback a minimum of 15'; please see Planning District Design Standards Tables for exact application of setbacks per land use designation. Lot development standards are noted as part of the Copper Mountain Ranch Development Standards Matrix included within this document.
- 2.2.3 Enhanced Subdivision Entries. The main entrances into subdivisions at Copper Mountain Ranch shall be designed to create a sense of arrival. This will be accomplished with the use of one or more of the following techniques:

monument signs, increased landscaping, gates, water features, sculptures, brick walls, lighting or a number of other creative elements. Entry monumentation will be installed by the builder/developer and will create a sense of high quality residential, office, and commercial development.

- 2.2.4 Landscape Buffers. Landscape tracts/buffers are provided along all arterial and collector roadways. A minimum average of 15' wide landscape tract shall be provided adjacent to collector and arterial roadways.
- 2.2.5 Open space corridors shall be designed and constructed at the end of cul-de-sacs where appropriate to create path and trail connections and allow for open view corridors.
- 2.2.6 Enhanced Perimeter Wall Design and Thematic Elements. The perimeter wall design and thematic elements at Copper Mountain Ranch will consist of varied materials that may include but will not be limited to: slump block, smooth and split-face block, and stone elements. The theme will consist of color, sign, wall and landscape elements that are in harmony with one another. The development team will work with City staff to develop unique and cohesive themes for the project and all walls, signs, gang mailboxes and other thematic elements. The final thematic plans will be submitted for review and approval of the City Planning and Development Director.

3.0 MANDATORY RESIDENTIAL PAD ARCHITECTURAL STANDARDS

The residential product for Copper Mountain Ranch will include a diverse mix of builders and housing type, tied together with various themes. Cohesive architectural themes, will be created that will define the Copper Mountain Ranch styles while still providing diverse product offerings for the family buyer. The builders at Copper Mountain Ranch will incorporate architectural elements that will help create a diverse and aesthetically pleasing street scene. Product elevations and floor plans will be presented to the City of Casa Grande Planning and Zoning Commission for review and approval prior to issuance of building permits, such approval will not be unreasonably withheld. The following standards will be followed when developing the product for the Project:

3.1 FLOOR PLANS AND ELEVATIONS

- 3.1.1 The developer/homebuilder will not allow two homes with the same exact front elevation or exact color schemes to be located on adjacent lots or directly across from each other.
- 3.1.2 There will not be more than three consecutive exact rear home elevations for homes backing on arterials or expressways.
- 3.1.3 Emphasis (covered front porches, bay windows, etc.) will be placed on the front elevations of homes.
- 3.1.4 Emphasis will be placed on all elevations facing roadways and open space areas. Window pop-outs and/or similar architectural embellishments will be required for highly visible front, rear and side elevations.
- 3.1.5 A minimum of five home floor plans, each with three distinct elevations, will be offered within each single family detached lot size category.
- 3.1.6 A minimum of five color schemes will be offered within each single family detached lot size category.

3.2 ROOFS

- 3.2.1 A variety of home roofing colors, shapes and/or textures will be offered. A variation of ridgelines and designs will be provided. All roofing shall be of durable, long-lasting materials as determined by the Uniform Building Code and Planning and Development department.
- 3.2.2 The Planning and Development Department may give consideration to alternate durable roof materials that are consistent with the housing themes of Copper Mountain Ranch.
- 3.2.3 Unique and harmonious roof colors will be matched to each home color scheme.
- 3.2.4 Single Family Detached Residential dwelling units and other necessary buildings/structures will have no roof-mounted or wall-mounted mechanical equipment including HVAC or evaporative coolers. All such equipment must be ground-mounted.
- 3.2.5 Covered patio and porch areas will be encouraged to be designed into the architecture of the home.
- 3.2.6 Patio cover columns will be encouraged to be finished in stucco or an accent material that is compatible with the materials of the home. Alternative complementary materials and designs for patio covers shall be subject to the review and approval of the Planning Director, which approval will not be unreasonably withheld.

3.3 GARAGES

- 3.3.1 No garage will extend forward of a home's livable area or covered front porch by more than ten feet (10').
- 3.3.2 At least one elevation per parcel will have the livable area of the home forward of the garage.
- 3.3.3 Within subdivisions with lots that are at least typically sixty-five (65') feet or wider, at least one elevation per floor plan will be designed with a standard side entry garage.
- 3.3.4 For lots that are 50-feet wide or less, no home shall have more than a standard two-car garage, unless the garage dominance of the additional garage bay(s) is significantly minimized by using a tandem garage design, side-entry garage design, and/or other creative methods approved by the Planning and Development Director.
- 3.3.5 Mitigate Garage Dominance. The visual impact of garages on Small Lots (i.e., lots of less than 4,950 square feet) shall be minimized with these design guidelines:
 - a. Garage door colors and reflectivity shall be similar to the adjoining walls.
 - b. Garage doors shall be recessed a minimum of four (4) inches.
 - c. Fascias over garage doors shall be a minimum of 12".
 - d. Flat roofed homes (or any area of a flat roof) shall have parapets to add massing above the garage doors.
 - e. Or utilize other creative design solutions to mitigate garage dominance.

3.4 ADDITIONS AND MODIFICATIONS

- 3.4.1 All additions to homes shall be constructed of the same building materials as the principle residence and painted to complement the home.

- 3.4.2 Accessory buildings (non-livable) shall be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence and shall not exceed the height of the primary residence.
- 3.4.3 Garages may be partially converted to livable space, but automobile parking for at least 2 vehicles shall be maintained within the garage. Any addition or conversion shall be constructed of the same building materials as the principle residence and painted to complement the home and must be approved by the HOA. Converted garage plans will need to be submitted and approved by the Planning and Development Department, as well as the Fire and Building Departments of the City of Casa Grande.

4.0 ADDITIONAL REQUIREMENTS FOR PAD RESIDENTIAL ARCHITECTURE

(The Homebuilder must implement a minimum of six of the following unless otherwise reviewed and approved by the Copper Mountain Ranch architectural review board, in which case the Homebuilder will be required to implement a minimum of four of the following.)

- 4.0.1 Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
- 4.0.2 Provide unique architecture styles for all homes within various districts of the Project. Depart from currently popular architectural styles to use other unique house styles, such as Craftsman, Prairie, Territorial, Ranch, Tudor, Mission and Pueblo.
- 4.0.3 Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and/or dormers as standard features.
- 4.0.4 Reduce the impact of two-story homes by limiting the second story portion of the home to 75% of the first floor area.
- 4.0.5 Provide second story plane changes, multiple roof changes, and/or other effective means.
- 4.0.6 Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.
- 4.0.7 Provide one elevation per project or product type that uses flat roof, e.g. Sante Fe or Pueblo architectural style elements.
- 4.0.8 Provide front yard or street facing porches and patios and alley loaded garages/carports.
- 4.0.9 Applicant's choice. An opportunity for creativity and design innovation is provided here.

5.0 LOT DEVELOPMENT STANDARDS FOR COPPER MOUNTAIN RANCH

Diversity of residential home types is a key component in the success of any master planned project. As noted above, the creation of community and strong neighborhoods is a major goal of Copper Mountain Ranch, how a neighborhood is formed and how the homes that are built within these neighborhoods contribute greatly to the perception of Casa Grande as a community. There are many architectural and design elements that influence the final outcome of both site design and the homes themselves that aid in the

creation of a successful and quality master planned project. In order to achieve diversity and flexibility, the following design standards have been created. See Section IV, Land Use Design Standards for further Residential Design Criteria.

- 5.0.1 No single-family detached lot shall be less than 1,950 square feet. No more than 30 percent of the total residential lots at Copper Mountain Ranch will be less than 5,000 square feet with the exception of Active Adult Communities which can be 4,950 square feet. See Table-1 and the Development Standards notes for further restrictions and standards.
- 5.0.2 Front yard setbacks shall be no less than fifteen feet, measured from the edge of the right-of-way to the front of the main building. Front-loaded garages shall have no less than a 20-foot setback, measured from back of sidewalk or back of curb if no sidewalk is present. No more than three consecutive homes may have the minimum setback. If three consecutive homes are setback at 20' the fourth must be setback 23'.
- 5.0.3 Corner setbacks shall be no less than 15 feet in the event there is no landscape tract. HOA-maintained landscaped tracts adjacent to corner lots shall count towards the setback providing the tracts are a minimum of ten feet wide and the home maintains a minimum five-foot setback from the adjacent tract, for a total setback from the roadway of 15'.
- 5.0.4 Adjacent single-story single-family units shall have no less than a combined ten-foot distance between buildings.

6.0 FRONT- YARD LANDSCAPE

The builder will offer the single family detached homebuyer a selection of front-yard landscape packages. The front-yard landscaping will be installed by the builder within thirty days of home occupancy to be maintained by the individual homeowner. Front-yard landscape packages will include a variety of water conserving plants. A minimum of two-fifteen gallon trees, eight five gallon shrubs or accent plants, and six one gallon ground cover plants, plus an automated irrigation system and rock topping is required for each lot. Turf may be offered by the developer/builder as front-yard option. The turf shall not exceed 20% of the front yard area and shall be separated from rock dressing by a concrete, brick, or metal header. Decomposed granite or river rock will cover all exposed areas. A minimum of four standard landscape plans shall be offered. All landscape plans will be submitted to the Planning and Development Department for approval which approval will not be unreasonably withheld.

B. Residential Design Standards for Medium Density Residential - 1 (MDR-1), Medium Density Residential – 2 (MDR-2), and High Density Residential (HDR)

1.0 RESIDENTIAL DEVELOPMENT STANDARDS

Copper Mountain Ranch has been designed to incorporate many of the City of Casa Grande's Residential Design Standards for Planned Area Developments. Copper Mountain Ranch, however, is asking for a modification in lot widths and lot sizes to enhance and allow more controlled common open space and City-wide amenities by clustering some homes to increase the amenity spaces. Copper Mountain Ranch believes that this modification from the Design Standards is justified based on Exception C and that Copper Mountain Ranch is so unique to the City that strict conformance with all of the requirements of the Residential Design Standards for Planned Area Developments would be counter-productive to achieving the diversity, creativity, and sustainability sought for by the PAD classification.

2.0 MANDATORY PROJECT LAYOUT AND DESIGN STANDARDS

The following development standards have been created to provide a flexible framework for Copper Mountain Ranch's development. The standards assure that a high level of quality is established and maintained throughout the project. They have been designed to address the low and medium density residential uses that occur within a master planned development, anticipating while allowing the market realities of development and ensuring timeless elements of design are realized throughout the project's life.

The following development descriptions and standards are intended to direct the nature of residential uses and open space at Copper Mountain Ranch. If a provision(s) of the Copper Mountain Ranch Development Standards conflicts with the City of Casa Grande's Residential Design Standards for Planned Area Developments, Zoning Ordinance or City Code, the provisions of the Copper Mountain Ranch Residential Development Standards shall govern and control. The elements include but are not limited to: streetscapes, architectural details, as well as enhanced entry features, and roof elements.

2.1 MEDIUM DENSITY RESIDENTIAL 1 & 2 (MDR 1 & 2) AND HIGH DENSITY RESIDENTIAL (HDR) OPEN SPACE REQUIREMENTS

Medium Density Residential (MDR 1 & 2) will comply with the following requirements:

- 2.1.1 A minimum 20% overall gross project acreage, and not less than 15% for any individual planning district, will be dedicated as open space within Copper Mountain Ranch.
- 2.1.2 Clubhouses, indoor recreation centers, parking lots, street right-of-way, and cement built retention areas and drainage channels shall not count towards the open space requirement.

- 2.1.3 A significant percentage of the required open space will include parks, multi-use trails, bike paths, landscaped retention areas, tot lots, and/or other outdoor active or passive recreational improvements. Counted toward this requirement are preservation of areas with natural washes, hillsides left natural and substantial native vegetation and/or unique landscape features.
- 2.1.4 When retention areas are designed for recreational usage at least fifteen percent of the basin shall be elevated above a twenty-five year flood water surface elevation.
- 2.1.5 Reasonable amounts of appropriate areas of open space not considered natural preservation areas may be landscaped according to an approved water-conserving final landscape plan.
- 2.1.6 Golf courses and hillside areas are included in full towards open space calculations
- 2.1.7 Landscape, landscape lighting, and open space amenity plans shall be subject to the review and approval of the Planning and Development Director, which approval will not be unreasonably withheld.

Open space must be provided in a manner where it is reasonably accessible. Pocket parks and access to open space from cul-de-sac ends are highly encouraged. Open space shall be located and designed as a community amenity where appropriate. Improved open space shall be provided within each phase of a development where appropriate and be reasonably visible to the public to the extent practicable to encourage community utilization and awareness.

2.2 ADDITIONAL REQUIREMENTS FOR PROJECT LAYOUT AND DESIGN

The following additional development standards will be utilized at Copper Mountain Ranch.

- 2.2.2 Curvilinear street system for single family detached housing. The project shall be designed with a curvilinear street system for collector streets. Where possible all other streets within the Project shall be curvilinear or otherwise designed to limit a perpendicular grid system. This will discourage cut-through traffic and help as a traffic calming measure on local streets.
- 2.2.2 Stagger front yard setbacks for single family detached housing. Front-loaded garages will vary in setback, and no more than three (3) consecutive homes will be setback at the minimum distance. The minimum setback for front porches, side-entry garages and livable areas may be reduced to encourage street variety and limit garage impact on the streetscape. Livable areas that project beyond garage and porch will be setback a minimum of 15'; please see Planning District Design Standards Tables for exact application of setbacks per land use designation. Lot development standards are noted as part of the Copper Mountain Ranch Development Standards Matrix included within this document.
- 2.2.3 Enhanced Subdivision Entries. The main entrances into subdivisions at

Copper Mountain Ranch shall be designed to create a sense of arrival. This will be accomplished with the use of one or more of the following techniques: monument signs, increased landscaping, gates, water features, sculptures, brick walls, lighting or a number of other creative elements. Entry monimentation will be installed by the builder/developer and will create a sense of high quality residential, office, and commercial development.

- 2.2.7 Landscape Buffers. Landscape tracts/buffers are provided along all arterial and collector roadways. A minimum average of 15' wide landscape tract shall be provided adjacent to collector and arterial roadways.
- 2.2.8 Enhanced Perimeter Wall Design and Thematic Elements. The perimeter wall design and thematic elements at Copper Mountain Ranch will consist of varied materials that may include but will not be limited to: slump block, smooth and split-face block, and stone elements. The theme will consist of color, sign, wall and landscape elements that are in harmony with one another. The development team will work with City staff to develop unique and cohesive themes for the project and all walls, signs, gang mailboxes and other thematic elements. The final thematic plans will be submitted for review and approval of the City Planning and Development Director.

3.0 MANDATORY RESIDENTIAL PAD ARCHITECTURAL STANDARDS

The residential product for Copper Mountain Ranch will include a diverse mix of builders and housing type, tied together with various themes. Cohesive architectural themes, will be created that will define the Copper Mountain Ranch styles while still providing diverse product offerings for the family buyer. The builders at Copper Mountain Ranch will incorporate architectural elements that will help create a diverse and aesthetically pleasing street scene. Product elevations and floor plans will be presented to the City of Casa Grande Planning and Zoning Commission for review and approval prior to issuance of building permits, such approval will not be unreasonably withheld. The following standards will be followed when developing the product for the Project:

3.1 FLOOR PLANS AND ELEVATIONS

- 3.1.1 There will not be more than three consecutive exact rear home elevations for homes backing on arterials or expressways.
- 3.1.2 Emphasis (covered front porches, bay windows, etc.) will be placed on the front elevations of homes.
- 3.1.3 Emphasis will be placed on all elevations facing roadways and open space areas. Window pop-outs and/or similar architectural embellishments will be encouraged for highly visible front, rear and side elevations.
- 3.1.4 A minimum of three home floor plans, each with two distinct elevations, will be offered within each single family detached lot size category.
- 3.1.5 A minimum of three color schemes will be offered within each single family detached lot size category.

3.2 ROOFS

- 3.2.1 A variety of home roofing colors, shapes and/or textures will be offered. A variation of ridgelines and designs will be encouraged. All roofing shall be of durable, long-lasting materials as determined by the Uniform Building Code and Planning and Development department.
- 3.2.2 The Planning and Development Department may give consideration to alternate durable roof materials that are consistent with the housing themes of Copper Mountain Ranch.
- 3.2.3 Unique and harmonious roof colors will be matched to each home color scheme.
- 3.2.4 Single Family Detached Residential dwelling units and other necessary buildings/structures will have no roof-mounted or wall-mounted mechanical equipment including HVAC or evaporative coolers. All such equipment must be ground-mounted.
- 3.2.5 Covered patio and porch areas will be encouraged to be designed into the architecture of the home.
- 3.2.6 Patio cover columns will be encouraged to be finished in stucco or an accent material that is compatible with the materials of the home. Alternative complementary materials and designs for patio covers shall be subject to the review and approval of the Planning Director, which approval will not be unreasonably withheld.

3.3 GARAGES

- 3.3.1 No attached garage will extend forward of a home's livable area or covered front porch by more than ten feet (10').
- 3.3.2 At least one elevation per single family detached unit will have the livable area of the home forward of the garage.
- 3.3.3 For lots that are 50-feet wide or less, no home shall have more than a standard two-car garage, unless the garage dominance of the additional garage bay(s) is significantly minimized by using a tandem garage design, side-entry garage design, and/or other creative methods approved by the Planning and Development Director.
- 3.3.4 Minimize Garage Dominance. The visual impact of garages on Small Lots (i.e., lots of less than 1,950 square feet) shall be minimized with these design guidelines:
 - a. Garage door colors and reflectivity will be encouraged to be similar to the adjoining walls.
 - b. Garage doors shall be recessed a minimum of four (4) inches.
 - c. Fascias over garage doors shall be a minimum of 12".
 - d. Flat roofed homes (or any area of a flat roof) shall have parapets to add massing above the garage doors.
 - e. Or utilize other creative design solutions to minimize garage dominance, i.e. such as alley loaded garages or parking courts.

3.4 ADDITIONS AND MODIFICATIONS

- 3.4.1 All additions to homes shall be constructed of the same building materials as the principle residence and painted to complement the home.
- 3.4.2 Accessory buildings (non-livable) shall be located within walled rear yards.

Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence and shall not exceed 12' unless approved by the Copper Mountain Ranch Architectural Review Board.

- 3.4.3 Garages may be partially converted to livable space, but automobile parking for at least 1 vehicle shall be maintained within the garage in non-traditional residential areas. Any addition or conversion shall be constructed of the same building materials as the principle residence and painted to complement the home and must be approved by the HOA. Converted garage plans will need to be submitted and approved by the Planning and Development Department, as well as the Fire and Building Departments of the City of Casa Grande.

4.0 ADDITIONAL REQUIREMENTS FOR PAD RESIDENTIAL ARCHITECTURE

(The Homebuilder must implement a minimum of six of the following unless otherwise reviewed and approved by the Copper Mountain Ranch Architectural Review Board, in which case the Homebuilder will be required to implement a minimum of four of the following.)

- 4.0.1 Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
- 4.0.2 Provide unique architecture styles for all homes within various districts of the Project. Depart from currently popular architectural styles to use other unique house styles, such as Craftsman, Prairie, Territorial, Ranch, Tudor, Mission and Pueblo.
- 4.0.3 Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and/or dormers as standard features.
- 4.0.4 Reduce the impact of two-story homes by limiting the second story portion of the home to 75% of the first floor area.
- 4.0.5 Provide second story plane changes, multiple roof changes, and/or other effective means.
- 4.0.6 Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.
- 4.0.7 Provide one elevation per project or product type that uses flat roof, e.g. Sante Fe or Pueblo architectural style elements.
- 4.0.8 Provide front yard or street facing porches and patios and alley loaded garages/carports/parking courts.
- 4.0.9 Applicant's choice. An opportunity for creativity and design innovation is provided here.

5.0 LOT DEVELOPMENT STANDARDS FOR COPPER MOUNTAIN RANCH

Diversity of residential home types is a key component in the success of any master planned project. As noted above, the creation of community and strong neighborhoods is a major goal of Copper Mountain Ranch, how a neighborhood is formed and how the homes that are built within these neighborhoods contribute greatly to the perception of Casa Grande as a community. There are many architectural and design elements that

influence the final outcome of both site design and the homes themselves that aid in the creation of a successful and quality master planned project. In order to achieve diversity and flexibility, the following design standards have been created. See Section IV, Land Use Design Standards for further Residential Design Criteria.

- 5.0.1 No single-family detached lot shall be less than 1,950 square feet. No more than fifty percent of the total residential lots at Copper Mountain Ranch will be less than 4,950 square feet. See Table-1 and the Development Standards notes for further restrictions and standards.
- 5.0.2 Front yard setbacks shall be no less than fifteen feet, measured from the edge of the right-of-way to the front of the main building. Front-loaded garages shall have no less than a 20-foot setback, measured from back of sidewalk or back of curb if no sidewalk is present. No more than three consecutive homes may have the minimum setback.
- 5.0.3 Corner setbacks shall be no less than 5 feet in the event there is no landscape tract. HOA-maintained landscaped tracts adjacent to corner lots shall count towards the setback providing the tracts are a minimum of 5 feet wide.
- 5.0.4 Adjacent single-story single-family units shall have no less than a combined ten-foot distance between buildings.

6.0 FRONT- YARD LANDSCAPE

The builder will offer the single family detached homebuyer a selection of front-yard landscape packages. The front-yard landscaping will be installed by the builder within thirty days of home occupancy to be maintained by the individual homeowner. Front-yard landscape packages will include a variety of water conserving plants. A minimum of two-fifteen gallon trees, eight five gallon shrubs or accent plants, and six one gallon ground cover plants, plus an automated irrigation system and rock topping is required for each lot. Turf may be offered by the developer/builder as front-yard option. The turf shall not exceed 20% of the front yard area and shall be separated from rock dressing by a concrete, brick, or metal header. Decomposed granite or river rock will cover all exposed areas. A minimum of three standard landscape plans shall be offered. All landscape plans will be submitted to the Planning and Development Department for approval which approval will not be unreasonably withheld.

Appendix “B” - Commercial and Business Design Standards

The Commercial and Business Design Standards proposed in this PAD pertain to the areas being set aside for commercial, business, office, and mixed-use development within Copper Mountain Ranch. The purpose of establishing architectural design guidelines within these areas is to ensure quality development that reinforces a consistency throughout the PAD. All architecture is intended to appear as an integrated part of the overall site design concept. Designs for individual projects will be submitted as part of the site plan review process in the City of Casa Grande.

The architectural elements selected will provide the probability of economic success, aesthetic satisfaction and flexibility in design through build-out. Quality and design elements for commercial buildings include:

- Richness of surface and texture
- Light Play (Shapes and Shadows)
- Equal/Balance void to solid building wall ratios
- Multi-planed roofs
- Varying wall articulation

Contemporary commercial architecture can be characterized by simple multi-story, geometric floor plate-type structures typically faced with materials as listed below. These relatively low profile simple shapes can comprise a strong element of continuity throughout the area, and it is the materials, variations and fenestration detail which provide the necessary variety, such as:

- Wall surfaces, textures, patterns
- Openings (windows, balconies, pedestrian entrances)
- Graphics (colors, letter styles, clarity)

The diversity of architectural products available for use in the commercial development includes:

Building Materials:

- Masonry (concrete, glass, or brick)
- Textured or exposed aggregate
- Stucco
- Stone
- Pre-cast or tilt-up concrete

Building Façade Treatments:

- Openings
- Windows
- Recessed or projected entries
- Arcades

Building Color & Signage:

- Vibrant to subtle warm tones to create harmony
- Informative Signage
- Building Address

- Glass, with standard tints
- Directional/Locational
- Graphical
- Company Names/Logos

The following design elements should be consulted when reviewing architecture for commercial design:

Layout:

Exterior components of plumbing, processing, heating, cooling, and ventilation systems (including but not limited to piping, tanks, stacks, collectors, heating, cooling, and ventilation equipment fans, blowers, duct-work, vents, louvers, meters, compressors, motors, incinerators, ovens, etc...) shall not be visible to an individual standing on the ground or ground floor elevation from a distance of 200'.

Exterior junction receptacles for electrical or irrigational purposes use should be located in shrub bed areas and landscaped to screen from view.

Conceal all service areas and storage areas within the building, or screen those exterior areas with solid masonry or stucco stud walls with architecturally-coordinating vernacular.

Buildings should be sited in a manner that will complement the adjacent building and landscape within Copper Mountain Ranch. Building sites should be developed in a coordinated manner to provide order and diversity and avoid a confused streetscape.

Design:

Avoid long, unarticulated building facades. Buildings with long, extensive facades are strongly encouraged to have varied and staggered massing to provide visual relief.

Commercial developments should incorporate street furniture and pedestrian spaces where appropriate. Pedestrian amenities incorporate the overall commercial design scheme and are compatible in scale, form, materials and color with architectural elements. Street furnishing should be simple in design and functional, and be placed so as not to obstruct entrances, exits, or pedestrian paths.

Covered or shaded and/or shade/palm trees must be provided along commercial storefronts to provide for a more pedestrian friendly environment.

Streetscapes:

Service utilities will be located underground within the PAD area, except for major power sources and connections with possible future substation facilities.

Minimize the width and number of travel lanes so that vehicle design speeds are compatible with pedestrian travel.

Maximize the use of on-street parking on all streets. On street parking calms traffic, buffers pedestrians from moving vehicles, gives retail uses ample “priority” front-door parking spaces, and allows for more efficient development of building sites

Use expanded landscape area to transition from the on-street parking to the pedestrian areas. Amenities such as landscape beds, tree wells, benches or other street furniture may be included in this area.

Expanded sidewalks, where significant areas for through pedestrian traffic remain, may create areas for street activities related uses in the building, such as sidewalk sales, outside dining or seating areas, and kiosks.

Street trees should be spaced at regular intervals to provide shade for pedestrians. Species should be selected to achieve canopy heights and crown heights that maintain visibility of the street level uses and building facades.

Parking and Loading:

The intent of these regulations is to assure the adequate provision of parking and loading facilities for the commercial design standards within the Copper Mountain Ranch PAD so as to minimize the potential for user conflicts and hazardous pedestrian/vehicular interaction. These standards shall replace and supersede all provisions within the City of Casa Grande which define parking or maneuvering standards.

General Parking and Access Regulations:

1. All parking spaces shall be located on the lot or a contiguous lot upon which the land use is located.
2. Where access to a parking lot or space for uses other than single family detached residential land use is provided by an alley, the alley shall be a minimum of twenty feet wide and paved to the nearest intersecting street.
3. Minimum driveway width shall be twenty-five feet for two-way drives and fourteen feet for one-way drives.

Improvements:

1. All parking areas and driveways shall have a surface of masonry, concrete, or asphalt except for temporary parking areas where a dust palliative treatment may be utilized subject approval by the Copper Mountain Ranch Development Review Board.
2. All off-street parking lots shall be screened from the street view and landscaped

Required Parking and Loading:

1. The number of parking spaces required shall be as specified in the following table:

Table B-1: Commercial Parking Requirements (*)

Copper Mountain Ranch PAD Land Uses	Require Parking
Commercial/Retail: Less than 150,000 sq. ft.	3.5 spaces per 1,000 sq. ft. of gross floor area
Commercial/Retail: more than 150,000 sq. ft.	4.0 spaces per 1,000 sq. ft. of gross floor area
Restaurants, Convenience Food	1.0 space per 75 sq. ft. of serving/seating area
Medical/Dental	4.0 spaces per 1,000 sq. ft. of gross floor area less kitchen, restroom, and storage
Manufacturing/General Industrial	1.0 spaces per 1,000 sq. ft. of gross floor area less kitchen, restroom, and storage
Warehousing/Mini-Warehousing	0.5 spaces per 1,000 sq. ft. of gross floor area less kitchen, restroom, and storage
Public Assembly	3.0 spaces per 1,000 sq. ft. of gross floor area less kitchen, restroom, and storage

(*) In the case of mixed uses, the total number of required parking spaces will be based upon the parking demand as determined by a shared parking analysis. Current industry standard for shared parking ratios shall be used during the analysis to determine the number of parking spaces required based on the mix of uses.

Open Space:

Plazas or courtyards should be located at key focal points along the streetscape with high accessibility and visibility, and may be consolidated to maximize the impact on a single block.

Open space should be designed to provide a balance of “hardscape” for public gathering and “landscape” for ornamental purposes.

Open spaces should include elements of public art and civic displays.

APPENDIX C

Neighborhood Commercial (NC), Community Commercial (CC), Regional Commercial (RC), Office-Business Park (OBP) and Employment (E) Permitted Uses					
<i>* Conditional Permitted Uses</i>	NC	CC	RC	OBP	E
Animal hospital, clinic and kennel providing the establishment and animal runs are completely enclosed in the building		o	o	o	
Antique Shop	o	o	o		
Appliance sales, service		o	o		
Appliance repair		o	o		
Art Gallery/Museum	o	o	o		
Athletic clubs	o	o	o	o	o
Automobile, boat or recreational vehicle sales, maintenance and rental		o	o	o	o
Automobile, auto body repair, boat, recreational vehicle repair			o	o	
Bakery for on-site sales, less than 3,500 square feet	o	o	o	o	
Bakery greater than 3,500 square feet				o*	o
Banks and other savings and lending institutions	o	o	o	o	o
Bed & Breakfast	o				
Blueprint shop and photo processing		o	o	o	o
Book/Stationery store	o	o	o		
Bottling plant				o*	o
Bowling alley	o	o	o	o	
Brewery Micro/Bar and Grill	o	o	o		
Building material sales yard, including sand and gravel			o*	o*	o
Bus terminals			o	o	
Business and office machine sales, service and repair shop	o	o	o	o	
Business, technical or vocational school	o*	o	o	o	o

* Conditional Permitted Uses	NC	CC	RC	OBP	E
Cabinet shop and furniture manufacture				o	o
Candy and ice cream store	o	o	o	o	
Churches/Synagogues	o	o			
Cigar and tobacco store	o	o	o		
Clock and Watch Repair	o	o	o		
Clothing and costume rental shop	o	o	o		
Coffee Shop	o	o	o	o	
Commercial recreation		o	o		
Community center or meeting hall	o	o	o		
Computer Sales and Service	o	o	o	o	
Contractors storage yard			o*	o*	o
Convenience food store of not more than 3,500 square feet	o	o	o		
Copy and Postal Stores	o	o	o	o	o
Convenience food store of more than 3,500 square feet		o	o		
Costume dressmaking, furrier, millinery or tailor shop employing five persons or less		o	o		
Dancing or theatrical studio	o	o	o	o	
Delicatessen and catering establishment	o	o	o	o	
Dry cleaning and laundry establishment	o	o	o	o	
Electrical, electronic or electro mechanic machinery manufacture				o	o
Electronic/Music Stores	o	o	o		
Equipment rental or storage yard			o*	o*	o
Essential public service or utility installation	o	o	o	o	o
Exterminator shop			o	o	o
Exterior storage of goods and materials provided that all goods and materials are screened from view from adjacent properties and rights-of-way			o*	o*	o
Feed store, including yard			o*	o*	o

<i>* Conditional Permitted Uses</i>	NC	CC	RC	OBP	E
Fertilizer manufacture, subject to Section 17.36.030(Q)					o
Florist	o	o	o	o	
Food processing, not including meat packing				o*	o
Frozen food locker			o*	o*	o
Game rooms, pool halls	o	o	o		
Garden supply store	o	o	o	o	
General service uses including business, personal and professional service establishments	o	o	o	o	o
General retail businesses engaged in direct sales to the ultimate consumer	o	o	o	o	
Granary, elevator storage					o*
Greenhouse			o*	o	o
Hair Salon/Beauty Parlor/Barber Shop	o	o	o	o	
Hardware Store (Includes Paint, Wallpaper and Plumbing)	o	o			
Home and Garden	o	o	o		
Home Furnishings	o	o	o		
Hospital		o	o		
Hotel or motel		o	o	o	
Ice and cold storage plant			o*	o*	o
Interior decorator's shop	o	o	o	o	
Impound yard				o*	o
Jewelry Shop	o	o	o	o	
Laundromat, self service	o	o	o		
Liquor store	o	o	o		
Liquefied petroleum gas storage and similar storage areas pursuant to uniform building and fire codes as adopted				o*	o
Lock and key shop	o	o	o	o	
Machine shop			o*	o*	o

* Conditional Permitted Uses	NC	CC	RC	OBP	E
Mail order catalog store		o	o	o	o
Manufacture of pharmaceutical products and food products including soft drinks, but not including production of fish or meat products, sauerkraut, vinegar or rendering or refining of fats or oils					o
Manufacturing					o
Manufacturing, light				o*	o
Medical, dental or health clinic	o	o	o	o	
Medical Urgent Care Center	o	o	o	o	
Mobile Phone Sales and Service	o	o	o	o	
Monument sales and engraving shop			o*	o*	o
Mortuary		o	o		
Museum		o	o	o	
Music studio	o	o	o	o	
Newsstand	o	o	o	o	
Offices	o	o	o	o	o
Optician	o	o	o	o	
Pawn shop		o	o		
Pet Shop	o	o	o		
Photographic studio	o	o	o		
Pool Supply Store		o	o	o	
Printing and publishing house (including newspapers)			o*	o	o
Private or Charter Schools	o	o	o	o	
Private club, fraternity, sorority or lodge		o	o		
Product development and product testing activities				o*	o
Public buildings	o	o	o	o	o
Public utility service yard				o*	o
Radio and television studio		o	o	o	
Real Estate/Sales Office	o	o	o	o	
Recycling center				o*	o

<i>* Conditional Permitted Uses</i>	NC	CC	RC	OBP	E
Restaurant, greater than 3,500 square feet	o	o	o		
Restaurants of not more than 3,500 square feet, excluding convenience food restaurant	o	o	o	o	
Sexually oriented businesses subject to licensing requirements of Chapter 5.24				o*	o*
Shoe repair and service shop	o	o	o		
Spa	o	o	o		
Sporting Goods Store	o	o	o		
Swap meet, flea market			o*	o	
Tanning Salon	o	o	o	o	
Tavern, bar or lounge	o	o	o	o	
Taxidermist	o	o	o	o	o
Theatre, excluding drive-in theatre	o	o	o		
Theatre, drive-in			o*	o*	o*
Tire sales, repair and mounting		o	o	o	o
Truck repairing and overhauling				o*	o
Truck stop				o*	o
Truck washing establishment				o*	o
Trucking yard terminal				o*	o
Upholstery shop			o	o	o
Video arcade			o		
Video sales and rental	o	o	o		
Warehousing				o	o
Warehousing, limited (not to cover more than 40% of floor area)			o	o	o
Watch repair shop	o	o	o	o	
Water Sales, conditioning	o	o	o	o	
Wireless telecommunication facilities	o*	o*	o*	o*	o

APPENDIX D

PROCESS AND PROCEDURES FOR COPPER MOUNTAIN RANCH DEVELOPMENT PLAN AND PLAT APPROVALS.

The purpose of Appendix C is to outline the process for Development Plan and Plat approvals for Copper Mountain Ranch. Specific development phase(s) will go through the following process as outlined below. Due to the size of Copper Mountain Ranch it will be broken-down into more specific development plan submissions. More than one submission may be submitted and processed at one time.

1. Development Plan submittal requirements.

The Development Plan shall take the Copper Mountain Ranch PAD to the next level of design development. These Development Plan(s) will be scaled to an appropriate scale based on the acreage of the submission. These Development Plan(s) shall indicate proposed land uses, general circulation patterns, property boundaries, existing land uses on adjacent properties and/or special site conditions. A computation table showing proposed land use allocations in acres and percent of total site area shall be included on the Development Plan. A pre-submission meeting with the City Planning Director showing intent of the proposed Development Plan submission is recommended.

2. Preliminary Platting and Development Plan submittal requirements.

The Preliminary Platting Procedure and Requirements will follow the established procedures and requirements outlined in Section 16.12.020 through Section 16.12.050 of the Casa Grande Zoning Code. An approved preliminary plat will however have a lifespan of two years with an optional one year extension. The Development Plan Procedures may run concurrent with a Preliminary Plat review as outlined by the following.

A Development Plan to be submitted at least 6 weeks prior to the hearing by the Planning and Zoning Commission. The following information shall be submitted to the Planning Director:

- A. Legal description of property and indication of gross area;
- B. Nature of the applicant's interest in the land to be developed;
- C. A generalized location map showing surrounding land use and traffic circulation patterns;
- D. Site conditions - an analysis of the existing site conditions which indicates at a minimum:
 1. Topographic contours with intervals of no more than two feet, to a distance of one hundred feet beyond the property boundary,
 2. Location and extent of major vegetative cover (if any),

3. Location and extent of perennial or intermittent streams and water ponding areas,
 4. Existing drainage patterns,
 5. Other information considered relevant by the applicant or city staff;
- E. Proposed allocations of land use expressed as a percentage of the total area, as well as in acres. Uses to be indicated include:
1. Arterial streets,
 2. Open space (public),
 3. Open space (private),
 4. Residential (if appropriate),
 5. A stratification of residential uses in terms of single-family detached units, patio homes, townhouses, garden apartments, etc.
 6. Commercial (if appropriate),
 7. Industrial (if appropriate);
 8. Office (if appropriate);
 9. Mixed-Use (if appropriate)
- F. A land use plan at a scale not smaller than one inch equals two hundred feet, indicating land uses, acres and development densities of each land use and the most nearly equivalent zoning categories; all arterial and collector street circulation elements, pedestrian and/or bicycle circulation elements, exact perimeter locations of any/all arterial streets and major collector streets; open spaces; and recreational areas;
- G. Plans indicating the approximate alignment and sizing of water lines, sanitary sewers, and storm sewers (if any), as well as easements for all utilities, if necessary. Also indicated should be proposed surface drainage patterns;
- H. Conceptual architectural renderings indicating the elevations and exterior wall finishes of proposed buildings types;
- I. Conceptual landscaping plans, indicating landscaping theme character of the development;
- J. A Traffic Impact Analysis report, if deemed necessary by the City;
- K. Phasing Plan, if development is to take more than one year.
- L. The Developer may be able to proceed with: at risk grading, at risk major backbone infrastructure construction and in tract construction.

3. Planning Commission Consideration and Hearing

- A. The Commission shall hold a meeting to take action on the Development Plan and/or Preliminary Plat.
- B. In considering applications for Development Plan approval, the Commission shall consider the following:
 - 1. Interrelationship with the plan elements to conditions both on and off the property;
 - 2. Conformance to the P.A.D.;
 - 3. The impact of the plan on the existing and anticipated traffic and parking conditions;
 - 4. The adequacy of the plan with respect to land use;
 - 5. Pedestrian and vehicular ingress and egress, including handicapped accessibility;
 - 6. Architectural design;
 - 7. Landscaping;
 - 8. Provisions for utilities;
 - 9. Site drainage;
 - 10. Open space and/or public land dedications;
 - 11. Grading;
 - 12. Other related matters.
- C. The Commission shall consider oral or written statements from the applicant, the public, city staff, or its own members. It may question the applicant and approve, disapprove, or table the Development Plan and/or Preliminary Plat until the next Planning and Zoning meeting. The application may not be continued for more than two regular meetings of the Commission without Owner's consent.
- D. If the Planning Commission shall determine by motion that the proposed Development Plan and/or Preliminary Plat will not be detrimental to the health, safety, or welfare of the community, will not cause traffic congestion or depreciate surrounding property values and, at the same time, is in harmony with the purposes and intent of this title, the plan for the area, and the general planning guide, the Commission may recommend granting Development Plan and/or Preliminary Plat approval, along with necessary

conditions and safeguards, including provisions, as applicable, for public land dedications.

- E. Any decision of the Planning Director and/or Planning Commission is appealable by the Applicant to the City Council.
- F. The Planning Commission shall notify the Council, in writing, of its recommendation. (Ord. 1178 § 7.8.4(B), 1987)

4. City Council consideration and hearing— Development Plan Review and approval.

- A. **Consideration and Hearing.** The City Council, after receipt of the report and recommendation of the Planning and Zoning Commission, shall consider the Development Plan request. If requested in writing by any member of the public or the City Council, the Council shall hold a public hearing on the request. A notice of the time, date, place and purpose of the hearing shall be published in the official newspaper of the city at least fifteen days prior to the date of the hearing. A Development Plan which has been recommended for denial by the Commission shall not be reviewed by the Council except upon written request by the applicant and shall require a public hearing.
- B. **Review and Approval.** In its deliberations on the Development Plan, the City Council shall consider oral or written statements from the applicant, city staff, the public, and its own members. The City Council's review shall encompass the same spectrum of considerations as did the Planning Commission's. The City Council shall approve the Development Plan, deny the request, or table the request. The application may not be continued for more than two meetings in succession without Owner's consent. Conditions may be applied to the approval and/or periodic review of the approval may be required. Approvals, if granted, shall be for a particular development, not for a particular applicant.
- C. **Duration of Approvals.** Approval of a Development Plan and/or Preliminary Plat shall be conditioned upon the recording of the Final Subdivision Plat and any related material within two years or three years if an extension is granted from the date of approval action taken by the City Council. If, at the expiration of this period, the Final Subdivision Plat and any related material have not been recorded, the property may ~~shall~~ revert to its former P.A.D. zoning classification after proper notice and hearing.
- D. The city may authorize extensions when deemed necessary. (Ord. 1178 § 7.8.4(C), 1987)

5. Final Plat

A. Except where modified by the Development Agreement or this PAD, final platting procedures and requirements will follow the established procedures and requirements outlined in Section 16.12.060 through Section 16.12.280, with a modification to the time allowed for recordation being within two years or three years if a one year extension is granted from the date of approval action taken by the City Council. Posting of financial assurances are to follow the provisions as outlined in the Development Agreement. Public notice shall be given on all plats and public reports stating that Copper Mountain Ranch is located in the Casa Grande Municipal Airport Influence Area.