

Casa Grande Mountain Ranch

Planned Area Development

Casa Grande, Arizona

Prepared for:
Casa Grande Mountain Ranch
LTD Partnership
&
Mr. George Chasse

Prepared By:
Gilmore Parsons Land Design Group

December 15, 2006
February 15, 2007 - First Revision
February 22, 2007 - Second Revision

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1. PURPOSE OF REQUEST

The purpose of this application is to obtain a Minor General Plan Amendment and change of zoning for Casa Grande Mountain Ranch (CGMR), a master planned mixed use community to be developed on 734 acres situated at the southwest quadrant of Interstates 8 and 10 on the south side of Casa Grande, Arizona. This property fronts onto the south side of Interstate 8 between the alignments of Henness Road on the west, and Lamb Road on the east. The project site is located entirely within the corporate limits of the City of Casa Grande (see Exhibit 'A' Vicinity Map). The Minor General Plan Amendment is requested to change the current land use designation from Low Density Residential (LDR) to Master Planned Community (MPC). In accordance with the City's Policy for MPC Applications, there is also a joint change of zoning application for a Planned Area Development (PAD). The PAD zoning category provides the structure for the phased development of a master planned community, enabling a mixture of residential product types to develop in conjunction with common area open space amenities and other non residential uses. The proposed land uses within the PAD for Casa Grande Mountain Ranch include a mix of single family residential product types, a significant common area open space network, and commercial development at strategic locations on the arterial frontages.

Since this MPC/PAD was filed in December 2006, ADOT has released a final version of the system interchange that will be incorporated into their Design Concept Report. That final version places elevated ramps and eastbound frontage roads within the original CGMR Master Plan. The estimated impact encroaches into the project as much as 520' and represents approximately 34 acres of impacted land area that has now been removed from the original study area. Acknowledging that these 34 acres will eventually convert to ADOT ownership reduces the project area from 768.1 acres to 734 acres. All land use exhibits and land area calculations have since been modified with

this revised Narrative to reflect 734 acres of Ownership or under contract by CGMR.

2. OWNERSHIP

Casa Grande Mountain Ranch is under the ownership of the Casa Grande Mountain Ranch Limited Partnership. Mr. George Chasse, General Partner, has been representing the project since its first assemblage in 1978. A portion of the project, approximately 378 acres situated along the west property line, is still under the ownership of the City of Casa Grande, but under contract to the Limited Partnership.

Situated immediately north of Interstate 8 and opposite this MPC site is an additional 453 acres under the same ownership as Casa Grande Mountain Ranch. This north parcel is identified as the **Regional Gateway Commerce Park**. It is currently zoned Light Industrial I-1 and is not a part of this MPC Application. Its proposed use is intended for major corporate campus user(s) who would seek this location because of its frontage onto Interstates 8 and 10, and its regional position between Phoenix and Tucson. Other potential uses include, flex-tech industrial, light industrial, and business park uses. The potential to attract a variety of corporate users and/or high-tech research and development users will directly influence and benefit the character of the residential development within CGMR. It may ultimately justify an additional grade separated crossing allowing a direct link between work and home.

3. PROJECT OVERVIEW

The proposed land uses for this property are directly influenced by their proximity to Interstates 8 & 10 and the Casa Grande Mountains. The natural character of the desert environment combined with the gently sloping terrain on the east slope of the Casa Grande Mountains provides a unique opportunity to promote hillside residential development with panoramic views

(See Exhibits 'D-1' and 'D-2'). Densities will vary based on relative elevation and proximity to other land uses. Generally, the lower density single family parcels will be placed on the upper slopes with the average density increasing as the elevation drops toward the east and north. Medium density residential and high density residential will be situated to buffer the single family neighborhoods from the interstate traffic and non-residential uses. The average density for CGMR is 4.0 dwellings per acre.

The presence of the Casa Grande Mountains offers some unique opportunities for combining residential development with natural common area open spaces. Of the 734 gross acres, 164 acres, approximately 22% of the property, has an average slope greater than 15%. The majority of this designated natural area open space is situated on the upper slopes along the west side of the property, providing some unique development opportunities not currently found anywhere else in Casa Grande. The residential development standards prepared for this application offer a variety of lot sizes designed to meet the differing interests of home buyers. At the higher elevations, interested home buyers may select from large estate lots that back onto the City's new regional park sharing distant views of Picacho Peak. As the property drops in elevation, home buyers may select from a mixture of traditional single family homes that may vary in both livable floor space and lot size. At the lower elevations, approaching the proximity of the interstate and Lamb Road, higher density developments will occur to buffer the single family neighborhoods from the commercial parcels and interstate traffic. In these higher density areas, residents may potentially choose from a variety of product types including: cluster homes, Z-lots, patio homes, courtyard homes, townhouse/condominiums or renting apartments.

Based on meetings with Mary Johnson, the Community Services Director for the City of Casa Grande, CGMR will include a trail network that will link with the City's plan for a new Regional Park within the Casa Grande Mountains. These links are intended to provide access points into the regional park as

well as provide alternate pedestrian trail routes through CGMR, linking the mountain peaks with the trail network (see Exhibit 'K' Open Space / Trail Plan). Initial plans for the Regional Park include primary access points for equestrian, hiking, and biking users at the north and southwest ends of the proposed Park. Both of these trail heads are located outside of the planning area for CGMR.

Of critical importance to this project is the proposed Henness Road interchange with Interstate 8. ADOT is currently planning the expansion of Interstate 10 to five lanes of traffic in each direction, along with parallel one way frontage roads. The study area extends from Tangerine Road north of Tucson, to the system interchange with Interstate 8. A second planning effort will extend the study area to the City of Phoenix in the near future. Because of the proximity to the system interchange of Interstates 8 and 10, ADOT expanded their initial study area to include the existing adjacent and proposed interchanges located at Henness Road, Sunland Gin Road, Jimmie Kerr Boulevard, and Selma Highway. On September 19, 2006, ADOT sponsored a public meeting at Casa Grande's City Hall to present their initial design concepts for the improvements along Interstate 10. While all of ADOT's design concepts have included this Henness Road interchange, there were variations based on the type of frontage roads.

Casa Grande Mountain Ranch is ideally positioned for development as a mixed-use master planned community. Given its proximity to the Casa Grande Mountains and Interstates 8 and 10, the property is well positioned to take advantage of expedient regional access as well as the potential high end employment opportunities located within the proposed **Regional Gateway Commerce Park**. The variety of residential product types are intended to accommodate the full spectrum of home buyers, from first time buyers to those seeking to move upwards without moving out of the larger community. The combination of these features, with an elementary school and the significant open space opportunities related to the Casa Grande Mountains,

will help CGMR assume the long term characteristics of a sustainable community.

4. EXISTING LAND USE

This 734 acre parcel is currently undeveloped and exists in its native condition. The most significant natural feature of this property is the presence of the Casa Grande Mountains, which shares the west property line. These mountains provide Casa Grande Mountain Ranch with a unique opportunity to develop hillside residential homes with panoramic views to the north and east. There is also the opportunity to link common area open spaces within the project to the City's proposed Regional Park Facility which will extend hiking and equestrian trails throughout these mountains. The existing vegetation includes a large concentration of saguaros and palo verde trees with other native species including ironwoods and acacias.

There are a series of existing drainage washes that carry storm runoff down this mountain slope. Additional drainage analysis will be required to determine what portions of these washes shall remain in place or be modified to increase the development potential for the property. Initial site investigations have determined that none of the existing washes qualify as Jurisdictional Waters requiring 404 permitting (see Appendix '1' Jurisdictional Waters / 404 Analysis). Near the northeast corner of the property is an approximate 24 acre borrow pit that was previously excavated for material used in the construction of the Interstates. This borrow pit averages 12-15 feet in depth. The development master plan calls for this site to be developed as a Community Park and retention basin.

5. EXISTING ZONING

The existing zoning on this property is Urban Ranch (UR), which permits agricultural uses and single family homes on one and one-quarter acre lots. This UR district also serves as a "holding district" for areas within the City that

are expected to transition from historical agricultural uses to urban development (see Exhibit 'G').

6. GENERAL PLAN CONFORMANCE

The current General Plan 2010 for the City of Casa Grande designates the entire study area as Low Density Residential (LDR) with the Casa Grande Mountains designated as Parks/Open Space.

This application seeks to amend the General Plan designation from LDR to Master Planned Community (MPC) with the proposed land uses defined within the accompanying Planned Area Development. The approval of this MPC amendment will establish the long term conformance for CGMR to develop in accordance with the approved PAD. Refer to Exhibits 'E' & 'F' titled "Existing General Plan" and "Minor General Plan Amendment" respectively that illustrate the existing and proposed General Plan land use designations.

7. PRELIMINARY DEVELOPMENT PLAN

The proposed land uses for this property are directly influenced by their proximity to Interstates 8 & 10 and the Casa Grande Mountains. Expedient access to these interstates provides an opportunity for commercial development and a range of residential product types. The natural character of the desert environment combined with the gently sloping terrain on the eastern slope of the Casa Grande Mountains provides a unique opportunity to promote hillside residential development. The proposed development Plan (see Exhibit 'H') clearly illustrates the proposed land uses within the PAD. The wide variety of housing incorporated within the site clearly depicts the intent of the Owner to create diversity within the site and to preserve the native hillside environment. Multiple underlying uses are proposed in strategic areas, primarily along the interstate frontage, to buffer the lower residential density areas. Densities will vary based on relative elevation and proximity to other land uses. The larger single-family estate lots are planned

for hillside areas generally situated along the upper west side of the property, where relative elevations provide panoramic views. These parcels may develop as gated communities featuring custom homes, typically appealing to higher end residential customers seeking a more exclusive environment.

Single family residential includes 330 acres and is the predominant land use within Casa Grande Mountain Ranch representing 45% of the total project, or 52% of the gross residential area. The native hillside areas above the 15% slope boundary includes 152 acres and is the second largest single land use representing nearly 24% of the gross residential area. Although these 152 acres far exceed the minimum 15% open space requirement, additional common area open space will be developed to provide both active and passive recreational amenities as well as trail corridors as referenced in the "Recommended Amended Design Guidelines for Parks Land" prepared by the City of Casa Grande's Community Services Department. Improved common area open space is initially estimated at 10% of the LDR - Single Family and MDR Medium Density Parcels, representing an additional 35 acres of park space which will be divided within these parcels. The former borrow pit situated near the northeast corner of the property will be developed as a 19 acre Community Park. Improvements will be phased in conjunction with the phased development of CGMR and will include soccer fields, baseball and softball fields, basketball court(s), sand volleyball, multi-use playground area, ramadas with picnic facilities, and off street parking for league sports and group activities.

An Elementary School site on 12 net acres has been located immediately south of the 19 acre Community Park to take advantage of shared facilities and after school programs. This location provides immediate cross access between the school and the park without forcing students to cross a street. CGMR has met with Mr. Frank Davidson, the District Superintendent for the Casa Grande Unified School District, who has agreed that a single elementary school facility would provide the necessary support for CGMR.

Mr. Davidson has reviewed the master land use plan and has provided his preliminary approval for the location (see Appendix '3'). Subdivision planning will feature pedestrian circulation that leads to neighborhood parks which also link with trails/paths leading to the Community Park and Elementary School as well as the City's Regional Park in the Casa Grande Mountains. All of the common area open spaces, including the Community Park, will be maintained by a Home Owners Association (HOA).

Since architectural diversity is a goal of the MPC, a range of residential product types with compatible architectural features developed on a mix of lot sizes are proposed within the single-family residential areas. As discussed previously, the low density Estate lots will be situated at the higher elevations with residential densities increasing as elevations fall to the north and east. The single family lots that buffer the Estate lots will be a minimum of 10,000sf and will transition to 6,050sf adjacent to the parcels designated for Medium Density. Patio/cluster homes, zero-lot line homes, Z-lots, and townhomes will make up the majority of the medium density residential areas. Higher density multi-family residential areas are proposed near arterial roads and commercial areas to improve interstate buffering and to limit conflicts with the single family neighborhoods.

The first phase of residential development may precede the construction of the Henness Road Interchange with Interstate 8. This first phase will be highly dependent on the extension of sanitary sewer service from the north, which ultimately will establish the schedule for implementation. Although both Arica Road and Lamb Road satisfy the access requirements for the Phase 1 development, CGMR believes that the extension of an arterial street from Arica Road north along Lamb Road, then paralleling the south right-of-way of Interstate 8 to Peart Road, will substantially improve residential access as well as police and fire response. Development will be phased to maximize the efficient expansion of street and utility services, but will generally follow a pattern where traditional single family homes on minimum 6,050 square foot lots will be developed in Phase 1 towards the northeast corner of the

property. The Community Park will be partially developed with this first residential phase. The schedule for subsequent phases will again be highly dependent on a commitment to construct the Henness Road Interchange with Interstate 8 as well as general confidence that the housing market has recovered. The Phase 2 development is projected to include the Henness Road Interchange, which CGMR believes will generate significant interest from the merchant home builders. The northern single family parcels as well as some of the medium density parcels will then develop along with the elementary school, additional improvements to the Community Park, and some of the support commercial sites. As this lower eastern area fills in, interest for larger hillside homes on the upper slopes will gain momentum, especially as the employment area on the north side of the Interstate begins to attract higher end corporate users. The later phases of development will include the higher density residential parcels, additional commercial/office and a resort/convention facility near the Henness Road interchange. Depending on the type of corporate users developing in the Regional Gateway Commerce Park directly north of I-8, there may be justification to construct a grade separated crossing near the center of the project, providing a direct link between CGMR and this employment area.

Commercial uses including support retail, office, and potentially a resort facility, are all concentrated along the Interstate frontage, and are predominately centered around the proposed Henness Road interchange. Smaller commercial parcels are situated further east along this interstate frontage and are intended as small retail sites providing goods and services. These commercial sites will benefit the neighborhoods within CGMR and those further south along both sides of Lamb Road and Arica Road. These various commercial uses total 96 acres, representing 13% of the project area.

Elementary School

An elementary school site on 12 net acres has been located immediately south of the 19 acre Community Park. This location provides immediate

cross access between the school and the park without having to cross a street. CGMR has met with Mr. Frank Davidson, the District Superintendent for the Casa Grande Unified School District, who has agreed that a single elementary school facility would provide the necessary support for CGMR. Mr. Davidson has reviewed the master land use plan and has provided his preliminary approval for the location (see Appendix 'C').

8. LAND USE SUMMARY (gross acreage)

Residential

VLDR - Estate Lots	64 Ac. (14.1%)	
LDR - Single Family Residential:	266 Ac. (58.6%)	
MDR-1 - Patio/Cluster Homes	62 Ac. (13.7%)	
MDR-2 - Townhomes/Condominiums	19 Ac. (4.2%)	
HDR - Multi-Family Apartments	43 Ac. (9.4%)	
	454 Ac. (100%)	454 Ac

Dedicated Open Space

Natural Area Open Space (>15% slope)	152 Ac. (88.9%)	
Community Park	19 Ac. (11.1%)	
	171 Ac. (100%)	171 Ac

Elementary School	13 Ac.	13 Ac
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GROSS RESIDENTIAL AREA:		638 Ac
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Commercial

Neighborhood Commercial	28 Ac. (29.2%)	
Mixed Use Comm/Office	37 Ac. (38.5%)	
Resort / Conference	31 Ac. (32.3%)	
	96 Ac. (100%)	96 Ac

PROJECT TOTAL		734 Ac
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9. Parcel Descriptions

<u>Parcel</u>	<u>Land Use</u>	<u>Gross Acres</u>	<u>Density</u>	<u>Max. Unit Count</u>
1.	Open Space	11	N/A	N/A
2.	Commercial	6	N/A	N/A
3.	Commercial	3	N/A	N/A
4.	Mixed Use Comm.	37	N/A	N/A
5.	Resort	31	N/A	N/A
6.	Open Space	49	N/A	N/A
7.	HDR – Apts.	25	17 du/ac	425
8.	Commercial	8	N/A	N/A
9.	Commercial	3	N/A	N/A
10.	HDR – Apts.	18	17 du/ac	306
11.	MDR-2	19	8.9 du/ac	169
12.	Commercial	8	N/A	N/A
13.	MDR-1 Cluster	25	6.7 du/ac	168
14.	Community Park	19	N/A	N/A
15.	Elem. School	13	N/A	N/A
16.	MDR-1 Cluster	23	6.7 du/ac	154
17.	MDR-1 Cluster	14	6.7 du/ac	94
18.	LDR - Single Fam.	73	4.0 du/ac	292
19.	LDR - Single Fam.	103	4.0 du/ac	412
20.	Open Space	49	N/A	N/A
21.	VLDR - Estate	46	1.0 du/ac	46
22.	Open Space	23	N/A	N/A
23.	Open Space	20	N/A	N/A
24.	LDR - Single Fam.	90	4.0 du/ac	360
25.	VLDR - Estate	18	1.0 du/ac	18
TOTAL		734	4.0 du/ac	2,444

Project Density

Gross Site Area:	734 Ac.
Less Net Commercial Area:	89 Ac.
Less Net School Site:	12 Ac.
Less Arterial ROW:	<u>22 Ac.</u>
Net Residential Area:	611 Ac

Density = Total Res. Units (2444) / Net Res. Area (611 Ac) = 4.0 Du/Ac

OPEN SPACE AREA

Required Open Space:

Gross Residential Area (638 acres) x 15% = **95.7 acres**

Minimum Open Space Area Proposed:

Native Hillside > 15% slope: 152 acres

Neighborhood Parks: 35 acres

(Estimated at 10% of LDR, MDR-1, MDR-2)

Community Park: 19 acres

206 acres

Proposed Open Space Percentage: 206 acres / 638 acres = **32%**

10. SITE DEVELOPMENT STANDARDS

Development Standards have been prepared with this PAD application that establish a comprehensive design theme for residential site planning, the project landscape, entry monuments, project walls, and common area open spaces. The design guidelines are intended to establish a methodology for the Owner to promote compatibility among the various home builders as well as establishing more uniform design standards for the common area open spaces and streetscape.

CGMR will be developed under the Development Standards discussed below. Conditions Covenants and Restrictions will be prepared to guide home builders with more specific criteria to control the size, type, and quality of development, to require proper maintenance, to eliminate activities that may be objectionable to neighbors, to protect property values, and to enhance community appeal. In order to realize these project expectations and development standards, an architectural review committee will be established to enforce continued quality throughout CGMR. A homeowners association will be established to provide further maintenance and quality control throughout CGMR. In addition to these Development Standards, all development within CGMR shall comply with the following standards:

- The preparation of this PAD uses for reference the Casa Grande Zoning Ordinance, the Residential Design Standards for PAD's dated 2003, and the Community Services Department's Recommended Amended Design Guidelines for Parks Land in effect at the date of approval of this PAD. All future references and interpretations shall consider the requirements of these resources.
- All commercial uses are subject to Site Plan approval through the City of Casa Grande.

- No use is permitted which will create or is likely to create conditions detrimental to the health, safety, and general welfare of the community, as determined by the Planning Director or his designee.
- No use is permitted that will emit any offensive odor, dust, noxious gas, noise vibration, smoke, heat, or glare beyond the boundaries of the lot on which such use is conducted.
- The subdivision planning for the LDR Single Family parcels and VLDR Estate Home parcels, together, shall comply with the City's current PAD standard requiring an equal number of 8000 square foot lots for those under 7000 square foot lots.

10a.) Very Low Density Residential - Estate Homes

The higher elevated parcels along the west side of the project will feature estate hillside homes. These parcels total approximately 64 acres and will develop with a maximum density of 1.5 dwelling units per acre. Estate lots will have a minimum area of 32,000sf or approximately $\frac{3}{4}$ acre up to more than one acre based on the site and topographical conditions.

Permitted Uses

- A. Single family detached unit on any lot.
- B. Common Area Open Space for CGMR.
- C. Accessory buildings including, but not limited to, private swimming pools, ramadas, guest quarters, and home occupations.
- D. Residential Facility

Conditionally Permitted Uses

- A. Temporary offices, construction sheds, appurtenant signs and storage incidental to a construction project, not to exceed 24 months. Additional extensions may be requested by application to the City of Casa Grande.
- B. Temporary model homes with parking.
- C. Water pump station or other use approved with the process of Site Plan Approval and as required and approved with the Final Plat.

Permitted Accessory Uses

As permitted and referenced in the Casa Grande Zoning Ordinance;
Table 17.16.030 – C.

Estate Homes - Minimum Development Standards

Minimum Lot Depth	125'
Minimum Lot Width	110'
Minimum Lot Area	32,000 square feet
Maximum Height	25'/ 1 story
Lot Coverage	25 %

Setbacks

	Front Setback	Side Setback	Corner Setback	Rear Setback
Single Family Dwelling	25'*	15'*	25'*	40'*
Single Family Res. Accessory Structures	NA (Located in side, corner, or rear yards only)	15'	20'	20'

* For all front porches and side entry garages, allow a 5' encroachment. There must be 20' between the face of the garage and the adjacent edge of the public sidewalk. A 3' encroachment for bay windows, entertainment niches, fireplaces, and other architectural elements is allowed within all required setbacks.

10b.) Low Density Residential - Single Family

Excluding the parcels designated for estate lots, LDR single family residential represents the primary land use within CGMR, totaling approximately 266 acres. There will be four categories of single family development: SF-1 (6,050sf), SF-2 (6,600sf), SF-3 (7,000sf), and SF-4 (8,050sf). By establishing minimum lot sizes and setbacks for each type, CGMR can address the City's current requirement to encourage architectural diversity in the neighborhoods. The combined average density of these three types of detached single family homes shall not exceed 4.0 dwelling units per acre. These single family lots are intended to generally comply with the City's R-I Zoning District except as follows:

Permitted Uses

- A. Single family detached unit on any lot.
- B. Common Area Open Space for CGMR.
- C. Public Schools.
- D. Accessory buildings including, but not limited to, private swimming pools, ramadas, and home occupations.
- E. Residential Facility

Conditionally Permitted Uses

- A. Temporary offices, construction sheds, appurtenant signs and storage incidental to a construction project, not to exceed 24 months. Additional extensions may be requested by application to the City of Casa Grande.
- B. Temporary model homes with parking.
- C. Water pump station, sewer lift station, or other use approved with the process of Site Plan Approval and as required and approved with the Final Plat.

Permitted Accessory Uses

As permitted and referenced in the Casa Grande Zoning Ordinance; Table 17.16.030 – C.

LDR Single Family Minimum Development Standards

Minimum Lot Depth	110'
Minimum Lot Width	55'
Minimum Lot Area	6,050sf
Maximum Height	35'/ 2 story
Lot Coverage	45 %

Minimum Lot Dimensions

	SF-1	SF-2	SF-3	SF-4
Minimum Depth	110'	110'	115'	115'
Minimum Width	55'	60'	60'	70'
Minimum Lot Area	6,050sf	6,600sf	7,000sf	8,050sf

Setbacks

	Front Setback	Side Setback	Corner Setback	Rear Setback
Single Family Dwelling	15'/20' (1) (4)	5'/10' (2) (4)	20' (3) (4)	20' (4)
Schools, civic, cultural and religious institutions (including accessory structures)	50'	50'	50'	50'
Single Family Residence Accessory Structures	20'	3'	20'	3'
Structures for all other principal, conditional, accessory uses	20'	10'	20'	20'

1. 15' for all front porches, side entry garages, and living spaces. 20' to face of garage. No more than three homes in a row shall share the same front yard setback. Minimum offsets shall be 3'.
2. Minimum 5' setback on one side yard and minimum 10' setback on other side. Selected 5' side yard shall be clear of encroachments (4), including ground mounted AC unit.
3. May include an adjacent 10' wide landscape tract.
4. Encroachments. Elements including fireplaces and bay windows may encroach into the front yard, 10' side yard, and rear yard a maximum of 3 feet. Covered patios may encroach a maximum of five (5) feet into street side yard, and rear yards. Open steps and decks shall be permitted to extend a distance of not more than five (5) feet in the case of the front and side yards and not closer than five (5) feet to the property line in the case of side yards.

10c.) Medium Density Residential

Medium density residential includes a broad range of residential unit types that are intended to serve as both a transition and buffer between the single family neighborhoods and the higher density multi-family apartments, commercial uses and interstate traffic. Medium density parcels situated within CGMR are generally located along the north and east boundaries adjacent to the minor arterial frontages. In addition to buffering the single family areas, vehicular traffic from these medium density parcels may also be directed onto the perimeter arterial, minimizing circulation conflicts with the single family neighborhoods. Medium density development within CGMR has been classified accordingly:

- Medium Density Residential-1 (MDR-1): This classification can represent both attached and detached single family homes with densities ranging from 4.0 – 8.0 dwelling units per acre. These homes could be designed as clustered patio homes around an auto court, zero lot line, 'Z' lot, or other similar product type such as a duplex, where smaller individual lots facilitate a life style for first time home buyers, or those residents seeking to reduce yard maintenance.
- Medium Density Residential-2 (MDR-2): This classification generally represents attached residential units typically referred to as Cluster Homes or Condominium/Townhouse with densities ranging from 8.0 – 12.0 dwelling units per acre. The organization of residential units that share common walls and driveways allows for higher density single family homes that may share common area maintenance as well as common recreational amenities.

Permitted Uses

Those principally permitted uses which are allowed in the City's conventional R-1, R-1a, and R-2 zoning districts will be allowed in MDR designated areas. Primary uses include, but are not limited to the following:

- A. Single family detached unit conforming to SFR/LDR Development Standards.
- B. Single family detached/attached unit including: patio homes clustered around an auto court, z-lots, duplexes, 3 and 4-plex units, or other similar arrangement of attached residential units.
- C. Townhome or condominium.
- D. Common Area Open Space for CGMR.
- E. Accessory uses and buildings including, but not limited to, private swimming pools, and home occupations.
- F. Residential facility.

Conditionally Permitted Uses

- A. Temporary offices, construction sheds, appurtenant signs and storage incidental to a construction project, not to exceed 24 months. Additional extensions may be requested by application to the City of Casa Grande.
- B. Temporary model homes with parking.
- C. Water pump station, sewer lift station, or other use approved with the process of Site Plan Approval and as required and approved with the Final Plat.

Permitted Accessory Uses

As permitted and referenced in the Casa Grande Zoning Ordinance; Table 17.16.030 – C.

Casa Grande Mountain Ranch
MPC / PAD

Medium Density Residential - Minimum Development Standards

	Z - Lot	Zero Lot Line	Two Family Dwelling Structure	Three and Four Family Dwelling Structure	Townhouse Cluster
Minimum Lot Depth	90'	90'	90'	90'	90'
Minimum Lot Width	50	55'	70'	80'	90'
Minimum Lot Area	5,000sf	5,000sf	3,000sf	3,000sf	3,000sf avg.
Maximum Height	35'	35'	35'	35'	35'
Outdoor Living Area	n/a	n/a	600sf	450sf	400sf*

* Minimum outdoor living area per unit must be provided on the same lot as the unit and be easily accessible by the occupants. Driveways, parking areas, required front or side yards, and landscape areas less than 20' in width shall not be considered as outdoor living space. Interior townhouse units less than 20' in width may have outdoor living areas less than 20' in width.

Setbacks

	Front Setback	Side Setback	Corner Setback	Rear Setback
Z - Lot	15'/20' (1) (4)	5'/10' (2)	20' (3)	20' (4)
Zero Lot Line	15'/20' (1) (4)	0'/10'	20' (3)	20' (4)
Two Family Dwelling Structure	12'/20' (1) (4)	10'	20' (3)	20' (4)
Three and Four Family Dwelling Structure	20'	10'	20' (3)	20' (4)
Townhouse Cluster	20'	10'	20' (3)	20' (4)

1. Minimum 15' for all front porches, side entry garages, and living spaces. 20' to face of garage. No more than three homes in a row shall share the same front yard setback. Minimum offsets shall be 3'.
2. Minimum 5' setback on one side yard and minimum 10' setback on the other side. Selected 5' side yard shall be clear of encroachments (4), including ground mounted AC unit.
3. May include an adjacent 10' wide landscape tract.
4. Encroachments. Elements including fireplaces and bay windows may encroach into the front yard, 10' side yard, and rear yard a maximum of 3 feet. Covered patios may encroach a maximum of five (5) feet into street side yard, and rear yards. Open steps and decks shall be permitted to extend a distance of not more than five (5) feet in the case of the front and side yards and not closer than five (5) feet to the property line in the case of side yards.
5. 10' minimum between principal structures on adjacent lots.

10d.) High Density Residential

High Density Residential (HDR): There are two parcels intended for multi-family housing, both of which are located towards the Interstate 8 frontage. These parcels are situated where they can buffer both the single family neighborhoods and medium density residential areas to the south and where they have more expedient access to the arterial streets. Under this PAD format, the residential density would be increased from a maximum of 16 dwelling units per acre to 18 to accommodate more traditional apartment projects.

Permitted Uses

Those principally permitted uses which are allowed in the City's conventional R-2 and R-3 zoning districts will be allowed in CGMR.

Primary uses include, but are not limited to the following:

- A. Townhomes, condominiums, and apartments.
- B. Common Area Open Space for CGMR.
- C. Accessory uses and buildings including, but not limited to, private swimming pools, and home occupations.

Conditionally Permitted Uses

- A. Temporary offices, construction sheds, appurtenant signs and storage incidental to a construction project, not to exceed 24 months. Additional extensions may be requested by application to the City of Casa Grande.
- B. Temporary model homes with parking.
- C. Water pump station, sewer lift station, or other use approved with the process of Site Plan Approval and as required and approved with the Final Plat.

Permitted Accessory Uses

As permitted and referenced in the Casa Grande Zoning Ordinance; Table 17.16.030 – C.

High Density Residential - Minimum Development Standards

	Three and Four Family Dwelling Structure	Townhouse /Cluster				
Minimum Lot Depth	90'	85'				
Minimum Lot Width	80'	80'				
Minimum Lot Area	3,000sf	2,500sf avg.				
Maximum Height	35'	35'				
Outdoor Living Area	450sf	350sf				

Setbacks

	Front Setback	Side Setback	Corner Setback	Rear Setback
Three and Four Family Dwelling Structure	20'	15' (3)	20' (1)	20' (2)
Townhouse Cluster	20'	15' (3)	20' (1)	20' (2)
Multi-Family Structure	20' (4)	20'	20' (4)	20'
Multi-Family Accessory Structures	20'	3'	20'	3'

1. May include an adjacent 10' wide landscape tract.
2. Encroachments. Elements including fireplaces and bay windows may encroach into the front yard, 10' side yard, and rear yard a maximum of 3 feet. Covered patios may encroach a maximum of five (5) feet into street side yard, and rear yards. Open steps and decks shall be permitted to extend a distance of not more than five (5) feet in the case of the front and side yards and not closer than five (5) feet to the property line in the case of side yards.
3. Parking shall not be allowed within the front or corner side setbacks unless screened from public view by a 3 ½ ' berm or block wall, or as approved by the City.

10e.) Commercial

The Commercial areas within CGMR have been located at key intersections of arterial roads where they may support the separation between the single family neighborhoods and the interstate traffic. While these locations are easily accessible for CGMR residents, they also encourage pass through traffic to stay on the arterial and help to minimize non-project traffic from entering the community.

The construction of the proposed Henness Road interchange with I-8 will establish the viability for the mixed use commercial and office development as illustrated on the Master Land Use Plan. The type and character of employment projects that develop immediately north of I-8 will also influence the type of commercial users at these locations. This relationship will be especially sensitive to the ability to attract a resort project with conference facilities. The mixed use commercial development proposed for the area at the Henness Road interchange may be more oriented to highway commercial, and it could include hotels, restaurants, and convenience/fuel. The Mixed Use Commercial – Office referenced on the Master Land Use Plan as parcel 4 should be a very desirable location for a business park offering expedient regional access from the interstates, immediate proximity to a large employment base at the **Regional Gateway Commerce Park**, as well as local housing for employees.

The proposed neighborhood commercial uses will be concentrated within the two commercial parcels identified as 8 and 13 on the Master Land Use Plan. These commercial uses are intended to provide support retail and businesses providing goods and services oriented to residential neighborhoods.

Permitted Uses

- a. Animal hospital, clinic, and kennel run entirely indoors.
- b. Appliance sales, service.
- c. Athletic clubs.

- d. Accessory single-family residential uses when occupied by the owner, lessee, or watchman employed on the premises.
- e. All ages book/video store.
- f. Bakery for on-site sales less than 3,500 square feet.
- g. Banks and other savings and lending institutions
- h. Barber shop.
- i. Beauty parlor.
- j. Blueprint shop and photo processing.
- k. Bowling alley.
- l. Business and office machine sales, service and repair shop.
- m. Clothing and costume rental shop.
- n. Commercial recreation.
- o. Community center or meeting hall.
- p. Convenience food store.
- q. Costume dressmaking, furrier, millinery, or tailor shop employing five persons or less.
- r. Dance or theatrical studio
- s. Delicatessen and catering establishment.
- t. Dry cleaning establishment.
- u. Essential (as determined by the City) public service installation.
- v. Florist.
- w. Game rooms, pool halls.
- x. Garden supply store.
- y. Gas station, fast-food restaurant, automotive (excluding auto body) repair, tire sales/repairs, and/or car wash uses shall be limited to commercial parcels with primary arterial roadway frontage.
- z. General service uses including business, personal and professional service establishments.
- aa. General retail businesses engaged in direct sales to the ultimate consumer.
- bb. Greenhouse
- cc. Hardware store
- dd. Hotel or motel
- ee. Interior decorator's shop
- ff. Lock and key shop
- gg. Medical, dental, or health clinic
- hh. Museum
- ii. Music studio
- jj. Neighborhood Commercial and/or Convenience Commercial
- kk. Offices
- ll. Photographic studio
- mm. Printing and publishing house
- nn. Public buildings
- oo. Radio and Television studio
- pp. Restaurants
- qq. Sports equipment sales and service
- rr. Tavern, bar or lounge

- ss. Theater, excluding drive-in.
- tt. Upholstery shop
- uu. Video sales and rental
- vv. Watch repair shop

Conditionally Permitted Uses

As permitted and referenced in the Casa Grande Zoning Ordinance, Article II General Business (B-2) Section 17.24.120

Permitted Accessory Uses

As permitted and referenced in the Casa Grande Zoning Ordinance, Article II General Business (B-2) Section 17.24.120

Development Standards

Commercial development within CGMR shall comply with all applicable regulations and provisions for Article II General Business (B-2) zoning per Sections 17.24.100, to 17.24.150, 17.24.170 Table 17.24.240, and Table 17.16.030B (except as noted above in list of allowed uses) of the Casa Grande Zoning Code.

11. OPEN SPACE

CGMR will dedicate 171 acres as common area open space in order to help meet the outdoor recreational and leisure demands of Community residents, and preserve sensitive natural features, which represents approximately 27% of the total residential development area. The majority of this area, 152 acres, is situated on hillsides exceeding 15% slope. Except for hiking trail improvements, these hillside areas will be preserved in their native condition. Improved and useable open space will include the 19 acre Community Park and an estimated 35 additional acres for neighborhood parks that will be distributed through the LDR Single Family and MDR neighborhoods. Except as modified with the attached Mandatory Residential Design Standards, these locations and selected amenities shall be designed to satisfy the "Recommended Amended Design Guidelines for Parks Land" prepared by the City of Casa Grande's Community Services Department.

The integration of a pedestrian network will allow CGMR residents to access adjacent neighborhoods, parks, the elementary school and commercial projects without relying on vehicular support. Casa Grande Mountain Ranch's plan emphasizes interactive open space with interconnecting walks and trails linking the neighborhood parks with the native hillside areas, encouraging an active family lifestyle (See Exhibit 'K').

The land area along the west side of CGMR is owned by the City of Casa Grande and includes the higher elevations of the Casa Grande Mountains. The City is committed to the development of a regional park that will include equestrian, hiking, and mountain biking trails. CGMR will include a pedestrian network of public sidewalks and common area trails that will provide CGMR residents with many trailheads leading into the regional park. Where Arica Road may extend into the project near the base of the Casa Grande Mountains, CGMR will provide a publicly accessible trailhead of approximately one acre for the City's use.

The community park for the project will be located north of the elementary school. This 19 acre site has been chosen because of its former use as a borrow pit, which is recessed approximately 12-15 feet below natural grade. CGMR intends to re-grade this site as a multi-recreational facility providing regulation playfields for junior soccer and baseball/softball, hard courts games, tot lots, picnic facilities, etc.. The side slopes could be used as an extended Par Course route with exercise stations, an amphitheater, or skate park. Because of its location relative to the natural grade of the property, it is ideally positioned to serve the project as a detention basin for storm water runoff (see Exhibits 'L-1' and 'L-2').

The neighborhood parks will be designed for multi-purpose use focusing on family lifestyles. Suggested family use accommodations include a group picnic ramada, children's play structure area, picnic tables, BBQ's, and open multi-use turf areas, half-court basketball, and sand volleyball. The turf areas will be sized to accommodate junior soccer leagues as well as other field sports, or for passive play activities shared by neighborhood children. Where physical structures have been proposed such as tot lots, ramadas, and basketball courts, site grading will elevate at least 15% of the basin area above the 25 year flood water elevation to minimize nuisance flows and to keep these facilities more accessible (see Exhibit 'M'). Centrally located to all neighborhoods and within 1,000 feet of each home, these parks will be linked by walks and multi-use trails to the community park and elementary school site near the center of the project. Together, the joint use opportunities of school play fields and courts with the community park and neighborhood parks provide an expanded recreation system for all residents of Casa Grande Mountain Ranch to enjoy. All common area open spaces including the native hillside areas, trails, Community Park, and neighborhood parks shall be maintained by the CGMR Homeowners Association.

12. LANDSCAPE THEME

The landscape theme for CGMR is intended to preserve and enhance the native character of the property, and transition into "greener" landscapes where common area open spaces become more interactive with residents. Considering the Casa Grande's emphasis on water conservation, the major portion of plant material selected for the landscape will include low water use plant material as referenced by the Arizona Department of Water Resources. With each successive phase of the project, a Native Plant Inventory will be prepared to identify specimen cacti and native trees suitable for salvage and reuse. Careful selection and massing of trees, shrubs, turf and other groundcovers, and accent specimens can provide a very effective yet colorful transition between the native landscape and the project streetscape and parks. An important consideration of the landscape concept for CGMR is to limit the use of turf to areas where it can serve residents as a recreational amenity. Other than at the project entries, turf will be installed where it can enhance the performance of retention basins as well as function as a more resilient serviceable surface treatment for recreation.

All common area open spaces will be landscaped in accordance with the Master Landscape Theme and will select plant material from the Master Plant Schedule (see Exhibit 'P'). Landscape improvements associated with the native hillside areas will be limited to the selection of plant material considered native and/or indigenous to the native setting. Except for turfed areas, all other project landscaping will consider the City's requirements for water conservation. All designated common area open spaces including the native hillsides will be maintained by the Homeowner's Association

The size and quantities of plant material shall conform to the landscape standards in Article VI of the Casa Grande Zoning Ordinance, Sections 17.52.280 through 17.52.410, and as referenced within this PAD.

13. STREETScape

In order to create a more uniform appearance throughout the development, a typical street frontage landscape and perimeter theme wall will be designed. There will be a separate streetscape theme developed for the arterial frontages from the interior collector streets and common area open spaces within the residential neighborhoods. The typical streetscape for the arterial frontages will be designed to meet different visibility and screening criteria than those for the interior collector and residential streets. Refer to Exhibits 'N' and 'O' for the Primary and Secondary Entrance perspectives and the project's perimeter theme wall design. Plant material selection will be very similar but massed in order to address specific design criteria for the adjacent uses. These typical streetscapes will reinforce the overall landscape theme and will unify the development while providing safety and comfort for pedestrians. The landscape theme for CGMR is built upon the family-oriented character of the community's development. To this end, the residential characteristics translate to the following design criteria as key ingredients to the streetscape and entry monumentation:

- A) Recognition of detail in entry and perimeter walls to tie to residential building materials.
- B) Consistent use of street trees and smaller canopy trees at primary and secondary entrances will establish a visual reference for the residents and visitors to CGMR.
- C) Provision of a multi-use landscaped trail network to accommodate bicyclists, pedestrians, and joggers.
- D) Use of color in the landscape to create pedestrian-scale interest and detail.
- E) Continuity in use of materials throughout the project to reinforce a distinctive and unique image for Casa Grande Mountain Ranch from the standpoint of walls, entry monumentation, signage, and plant material.

- F) Multi-use trail connections and access are provided to foster community interaction and access other than automobile to the neighborhood parks, elementary school, and the commercial shopping/retail areas.
- G) Trail crossing and entry points to trails are marked by monuments to visibly recognize the importance and opportunity for pedestrian flow within the community. These trails/paths shall conform with the design standards listed in Item 4, Trail Development Standards, as referenced in the "Recommended Amended Design Guidelines for Parks Land" prepared by the City of Casa Grande's Community Services Department.
- H) All project walls visible to the public along dedicated streets and publically accessible trails shall be stained or painted the color of the primary decorative theme wall, except interior walls for individual homes may match the color of the home.

14. CIRCULATION

The only existing access to the subject property is off Arica Road at the southeast corner of the property. Arica Road begins at the intersection with Sunland Gin Road immediately south of the Sunland Gin interchange with Interstate 10. Lamb Road (Cox Road alignment) is an existing section line road that fronts the east property boundary.

As described previously, the proposed Henness Road Interchange with Interstate 8 is a critical vehicular link for the project, and its construction will be fundamental for CGMR to achieve its full development potential. Arica Road will continue to serve as the primary access route from the east off Sunland Gin Road. Arica Road may extend into the project providing access to the most southern parcels within CGMR as well as to a trailhead for the City's new regional park within the Casa Grande Mountains. As discussed with Parks and Recreation Staff, the trailhead would provide limited parking and be considered secondary to the main entrances at the north and south

ends of the regional park.

As proposed, Lamb Road will be improved as a minor arterial with a 110' right-of-way, and would extend along the south side of Interstate 8 to the proposed Henness Road Interchange. Beyond the interchange, Lamb Road would be reclassified as a major collector with an 80' right-of-way extending to the Peart Road underpass at Interstate 8. The Peart Road underpass does not access the interstate, but it will provide an important secondary access route for the project until the Henness Road interchange is constructed. While this portion of Peart Road does not serve Casa Grande Mountain Ranch as a major vehicular link, there are benefits associated with alternate routes for police and fire protection. Refer to Exhibits 'Q' and 'R'.

Depending on the success of attracting corporate campus users and/or high tech manufacturers to the parcel north of Interstate 8, there is the potential to consider a grade separated crossing between the north and south properties near the mid-section between Lamb and Henness Roads. Although this application includes a Traffic Impact Analysis (TIA), the filing of a Preliminary Plat will require an updated TIA that reflects the then current local circulation, as well as updated plans for the Henness Road interchange and the system interchange for interstates 8 and 10.

15. PUBLIC WORKS / UTILITIES

Water: Approximately half of the project site is within the service area of the Arizona Water Company. The western portion of the property that CGMR is purchasing from the City of Casa Grande is not within the CC&N area of Arizona Water Company. In cooperation with the City, CGMR has initiated the application process requesting that Arizona Water Company's CC&N area be expanded to include the balance of the project area. That approval is tentatively scheduled to be completed by the summer of 2007, and would be a prerequisite for filing a

preliminary plat on any property within the defined service area. Preliminary discussions with the Arizona Water Company indicate that the CC&N is in progress, and there are no major obstacles expected for approval.

There is a 12" water line in Lamb Road that crosses under Interstate 8 and extends north along Cox Road. This water line currently provides service to the existing neighborhoods situated east and south of CGMR.

Sewer: There is no existing sewer service at or near the property. The City of Casa Grande recently completed a Master Plan for the expansion of waste water facilities that would extend gravity service to this southern service area of the City (see Appendix '6'). Coyote Springs is another master planned community situated immediately north and west of the referenced Henness Road Interchange with I-8. Their infrastructure planning calls for the formation of a Community Facilities District (CFD) to help fund the installation of sewer lines to be extended from the northwest along Peters Road. Capacity for CGMR was included in the City's Master Plan. The preliminary design analysis indicates that gravity service is feasible, but is subject to the final design of the City's interceptor system and Coyote Springs' sewer network. The waste water plan prepared by Carollo Engineers dated October 2006 indicates that sewer service for CGMR should be available from an 18" line within the Cox Road alignment north of I-8. CGMR will be required to extend service under the interstate to service the project.

Power: Although Electric District #2 has service lines within the study area, deregulation allows CGMR to consider service contracts with a variety of providers. APS has also submitted a letter of

interest. CGMR will work with the selected provider to master plan their service network as well as bury all overhead service lines.

Gas: Southwest Gas Company will provide service to the project. CGMR will coordinate the extension of those services as a part of the platting process. Selected Homebuilders will then have the option to provide service within their subdivisions. Southwest Gas Company has submitted a letter of interest.

Telephone / Cable: Deregulation will permit CGMR to select the providers best suited for the project. CGMR has received a letter of interest from Qwest and will work closely with the selected providers to coordinate their service network. Similar to the power service, these utilities will also be placed underground.

Police / Fire: There are two new facilities proposed in adjacent developments. Coyote Springs is located northwest of the proposed Henness Road interchange, and Isom Farms is located on the southwest side of the Casa Grande Mountains. The master plans for these two projects include joint police and fire station facilities. Because of the proximity of those facilities, CGMR will not be required to provide another facility.

16. Phasing

As discussed previously, the ultimate development potential for CGMR will be highly dependent on the construction of the Henness Road interchange with I-8. Developing a Phasing Plan has required that certain assumptions be considered relative to projected dates for completion of that interchange. CGMR must therefore qualify that the phasing schedule described in this PAD is highly subject to change. Successive phases of CGMR will generally follow

a pattern that begins at the northeast corner where there is existing access, and where sewer service will be extended from the north. It is envisioned that future phases will be developed as rapidly as market conditions will allow.

CGMR has approached ADOT with a request to prepare a concept plan for an interim Henness Road Interchange design. This interim plan would construct a standard full diamond interchange with the understanding that the east half ramps would be re-aligned to ADOT's preferred one way frontage roads when the new system interchange for I-8 and I-10 is constructed. Under this scenario, the project's phasing will initially assume that the Henness Road Interchange will occur in Phase 2.

Following the final approval of this MPC/PAD application, the Ownership intends to market the project to a development entity who will then serve as the master developer. This master developer may amend the Phasing Schedule depending on the availability of utility services, a commitment from ADOT to accelerate the construction of the system interchange and surrounding frontage roads, or a strong recovery of the housing market. The Ownership anticipates that the master developer will be working with selected homebuilders in each phase to provide a variety of housing products. The land use and parcel configuration efficiently accommodates phasing of the development, thus allowing for each subdivision to be developed independent of each other. The design of CGMR will provide for internal marketing of the various subdivisions.

The development of the commercial parcels will occur when sufficient numbers of homes have been built in the community, in the surrounding area, and when local market conditions attract those commercial users. Perimeter streetscape improvements along these commercial parcels will be installed with Phase One.

With this general consideration, the phasing of development is initially defined as follows:

Phase 1 Without the Henness Road Interchange, access to the project is only available from Sunland Gin Road leading to Arica Road. Phase 1 will therefore create a second point of access by extending a two lane road from Lamb Road along the south side of I-8 on the arterial road alignment to the Peart Road underpass. With the extension of sewer service under I-8 and extending south along Lamb Road, residential development is initially anticipated to begin at the northeast corner of the project. Phase 1 includes 73 acres of LDR single family residential property yielding 292 homes. This phase will also include the initial improvements for the 19 acre Community Park. The hillside areas above the 15% slope would be dedicated as common area open space, and the trail network initiated to link with the City's Regional Park (see Exhibit 'S' Phasing Plan).

Phase 2 The most significant feature of Phase 2 will be the construction of the Henness Road Interchange. The scale of development associated with this phase will be largely defined by the ability to obtain commitments for construction of that interchange. This solution would seek to construct a standard diamond interchange with the understanding that the eventual construction of the new system interchange for I-8 and I-10 would renovate the east half ramps to conform to the approved one-way frontage roads.

Assuming that the interchange can be constructed as part of this Phase, an additional 800 residential units are expected. These units would include a mixture of residential types including VLDR-Estate Lots, LDR-Single Family, and all the MDR-1 parcels. The Community Park would complete the second phase of its improvements including one additional ballfield, 2 soccer fields, 2 tennis courts, a second basketball court, the Community Center and parking lot, Tot Lot / Playground, Dog Park, sand volleyball court, and additional trail improvements. With the construction of the Henness Road interchange,

commercial developers would be attracted to the traffic counts using the new interchange to access CGMR, Coyote Springs, and the employment area with the **Regional Gateway Commerce Park**. Highway and service commercial uses are expected to develop around the south half of the Henness Road interchange along with a variety of office park users.

Phase 3 This third phase will complete the balance of the VLDR Estate Lots, the LDR-Single Family lots, and the MDR-2 parcel representing 627 homes. The community's trail network will also be completed. The installation of the swimming pool and pool house will complete the Community Park. Depending on surrounding development activity, the Casa Grande Unified School District may elect to construct the Elementary School.

Phase 4 This final phase will complete the full development of CGMR. With the anticipated growth in the employment area immediately north in the Regional Gateway Commerce Park, both of the HDR multi-family parcels representing 731 units are expected to develop. These may also develop as soon as there is a commitment for the proposed underpass to be constructed, which could also occur in phase 3. This regional growth may also trigger the development of the resort complex identified as Parcel 5 on the Master Land Use Plan. In addition to the hotel and conference facilities, the resort complex could include rental casitas and a variety of recreational amenities that can take advantage of the proximity to the Regional Park.

17.0 RESIDENTIAL DESIGN STANDARDS

In order to preserve visual unity throughout the neighborhoods in CGMR, residential development will have a consistent architectural and landscape theme. Conditions Covenants and Restrictions (CC&R's) shall be prepared for CGMR and will contain specific guidelines for the neighborhood builders. The guidelines will provide standards for color, exterior materials and accent materials, reflectivity values, restrictions on roof-mounted mechanical equipment, and minimum criteria for floor plans and elevations. All residential development shall be required to submit building designs for review and approval by an Architectural Review Committee. CC&R's will be presented to the City Planning Director for review and approval prior to final subdivision plat approvals. Features to soften and enhance the architectural design will also be encouraged, such as detail and relief of windows, entrances and doors, breaks in the roofline with elevation changes, people gathering/activity spaces and attention to service spaces. Each residence will be architecturally compatible and reflect continuity and community character. CGMR shall present home floor plans and elevations to the Planning and Zoning Commission and Council at the time of Preliminary Plat approval.

17.1 MANDATORY PAD LAYOUT and DESIGN STANDARDS

17.1.1 Open Space

Casa Grande Mountain Ranch is uniquely positioned adjacent to the Casa Grande Mountains. This relationship will provide CGMR residents with an opportunity to enjoy immediate access into the City's proposed Regional Park that will include trails for hiking, mountain biking, and equestrian users. In consideration of this unique relationship, the 152 acres of native hillside area to be preserved as natural open space and the total proposed minimum open space area representing 32% of the gross residential area, CGMR is requesting

with this PAD Application that neighborhood parks be allowed to conform with the City's previous retention standard that requires at least 15% of the retention area be elevated above the 25 year flood water surface elevation. Final plans to be approved by the City of Casa Grande's Development Center through Site Plan Approval and the PAD Preliminary Plat Approval process. Additional open space design standards shall include the following:

- At least 75% of the open space developed within the neighborhood parks shall conform with the amenity requirements listed in Item 2, Recommended Design Guidelines for Park Components, as referenced in the "Recommended Amended Design Guidelines for Parks Land" prepared by the City of Casa Grande's Community Services Department. Each retention area shall include at least one. In addition, during construction, all phases of development shall be required to comply with the S.W.P.P.P., Storm Water Prevention Protection Plan.
- Final Trail Plan: This PAD includes an illustrative Trail Plan (see Exhibit 'K') that promotes pedestrian circulation throughout the project. The development goal is to provide a comprehensive network that allows CGMR residents to walk to all neighborhood parks, the Elementary School and Community Park, to circulate through the natural hillside areas, and eventually link with the City's proposed Regional Park in the Casa Grande Mountains. These trails/paths shall conform with the design standards listed in Item 4, Trail Development Standards, as referenced in the "Recommended Amended Design Guidelines for Parks Land" prepared by the City of Casa Grande's Community Services Department.
- Native Plant Inventory: site development shall include the preparation of a Native Plant Inventory with recommendations for salvaging

specimen trees, saguaros, ocotillo, barrel cactus, and smaller salvageable cacti for re-use within the project. All native trees above 6" caliper shall be included within the inventory along with recommendations for salvage potential based on the health and physical structure of the specimen.

- All common area open spaces not considered natural preservation areas shall be landscaped according to an approved water conserving final landscape plan. Selection of plant material shall be restricted to the approved Master Plant Schedule. Trees selected for street frontages and residential front yards will focus on a more native and indigenous species to enhance the native character of the property.

17.1.2 Additional Requirements for PAD Layout and Design

The following additional development standards will be incorporated into the subdivision planning for CGMR:

- CGMR will adopt a curvilinear street system that follows the natural lay of the land. Cul-de-sac designs will be included where feasible and shall include open ends for pedestrian connections to the master trail network.
- CGMR shall provide a landscaped buffer at least five feet wide between sidewalks and back of curb along all collectors and arterials.
- View walls shall be incorporated along portions of collector and/or arterial roadways where homes are not backing/siding these roadways.
- CGMR shall stagger front setbacks by at least three feet. Every third or fourth setback must be staggered. Setback staggers must be predetermined by the home builder and approved as part of the Preliminary Plat.
- CGMR shall provide a 15' landscape tract between all single family and medium density residential parcels and the adjacent arterial right-of-way.

- No Multi-story homes on corner or end lots.
- No multi-story homes shall be located immediately adjacent to established one-story single family home subdivisions.

17.2 Site Planning for Single Family Homes

Subdivision planning for the Casa Grande Mountain Ranch project shall comply with the City's current PAD standard requiring an equal number of 8000 square foot lots for those under 7000 square foot lots.

17.3 Multi-family and single-family attached development

- Multi-family buildings adjacent to single family residential parcels shall be limited to a height of two stories.
- Development standards for single family attached homes, including but not limited to duplexes, Z-lots, attached cluster homes, and townhomes, shall be generally consistent with the requirements for single family detached homes, except for some reasonable and expected departures in lot sizes, densities, and setbacks.
- Site planning for zero lot line residential units shall adopt a non-standard lotting scheme by considering: alley loaded garages, atrium / courtyard floor plans, common driveways, etc.. Plans to be approved by the Casa Grande Planning Director and the presented to the Planning and Zoning Commission and Council at the time of Preliminary Plat approval.

17.4 Mandatory PAD Residential Architecture Standards

CGMR shall present home floor plans and elevations to the Planning and Zoning Commission and Council at the time of Preliminary Plat approval. If CGMR has not established a relationship with selected home builders, then

the home floor plans and elevations shall be presented to the Planning and Zoning Commission for their review and approval at a later date prior to obtaining permits for the homes.

In order to avoid repetition and encourage architectural diversity, the following mandatory standards are provided:

17.4.1 Floor plans and elevations

- A minimum of five home floor plans, each with three distinct elevations, is required per project and within each definitive housing price range or product type.
- A minimum of five distinct home color schemes is required per project and within each definitive housing price range or product type.
- Diversity and uniqueness in elevations and color schemes shall be demonstrated within each subdivision parcel.
- Homes with the same front elevation or color schemes shall not be located adjacent to (side by side) or across from each other.
- There shall not be any more than three consecutive similar rear home elevations for homes backing an arterial or collector roadway.
- Emphasis (e.g., covered front entries, covered front porches, bay windows, etc.) must be placed on the front elevations of homes. Main entries must face the street.
- Window popouts, windowsills, recessed windows and/or similar architectural embellishments are required on all windows, except as approved by the Planning and Zoning Commission.

17.4.2 Roofs

- A variety of home roofing colors, shapes, and/or textures will be required per subdivision. Typically, concrete tile shall be required for all sloped roofs; however, consideration shall be given to alternative durable materials upon review of the housing product.

- Variation in roof ridge lines and designs will be required.
- Unique roof colors shall be matched to each home color scheme.
- No buildings within CGMR shall have roof-mounted or wall-mounted mechanical equipment (e.g., HVAC, evaporative coolers). All such equipment must be ground-mounted.

17.4.3 Garages

- On lots where side-entry garages can be accommodated, at least one floor plan per parcel or product type shall be designed with a standard side entrance garage.
- No front-loaded garage shall extend forward of a home's liveable area or covered front porch by more than ten feet.
- At least one floor plan per parcel or product type shall have the livable area of the home forward of the garage.
- Front-loaded garage doors shall not exceed fifty percent of the house width (frontage). Where more than a standard two car front-entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

17.4.4 Patio covers

- Rear or side yard covered patios or covered courtyards are required on every home.
- Where possible, covered patio areas shall be incorporated into the architecture of the homes.
- Patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Zoning Commission.

17.4.5 Additions and Modifications

- All additions to homes shall be constructed of the same building materials as the principal residence and painted to complement the home.
- Garages shall not be converted or enclosed for other uses.
- Accessory buildings shall only be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence.

17.5 Additional Requirements for PAD Residential Architecture

In addition to the previously stated mandatory requirements, four of the standards listed below must be selected. The selected requirements shall apply to the entire development. Once again, it is recommended that home floor plans and elevations be presented to the Planning and Zoning Commission and Council at the time of Preliminary Plat approval. If this is not possible (e.g., a builder has not been selected), the home floor plans and elevations shall be presented to the Planning and Zoning Commission at a later date for their review and approval prior to obtaining permits for the homes.

1. Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
2. Provide unique architectural styles for all homes within a parcel or parcels of a PAD. Depart from currently popular architectural styles to use other unique house styles, such as Craftsman, Prairie, Territorial, Ranch, Mission, and Pueblo.
3. Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and for dormers as standard features on all homes.

4. Reduce the number of standard front-loaded garages. At least one floor plan per project or product type shall have the garage oriented towards the rear of the home as a standard feature. In addition, the number of floor plans using side-loaded garages as standard features shall be increased from the minimum required.
5. Reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, providing multiple roof changes, and/or other effective means.
6. Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.

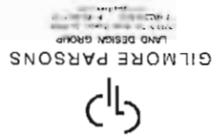
PAD Exhibits

- A Vicinity Map
- B ALTA Survey
- C Surrounding Ownership
- D.1 Existing Conditions
- D.2 Existing Conditions
- E Existing General Plan
- F Minor General Plan Amendment
- G Existing Zoning
- H Master Land Use Plan
- I MDR Example Lot Layouts
- J Residential Character
- J.1 Residential Character
- J.2 Residential Character
- K Open Space / Trail Plan
- L Community Park Layout
- M Typical Neighborhood Park
- N.1 Entry Feature
- N.2 Detailed Entry Feature
- N.3 Entry Monumentation Map
- O Wall Elevations
- P Master Plant Schedule
- Q Proposed Street Layout
- R Street Cross Sections
- S Phasing Plan

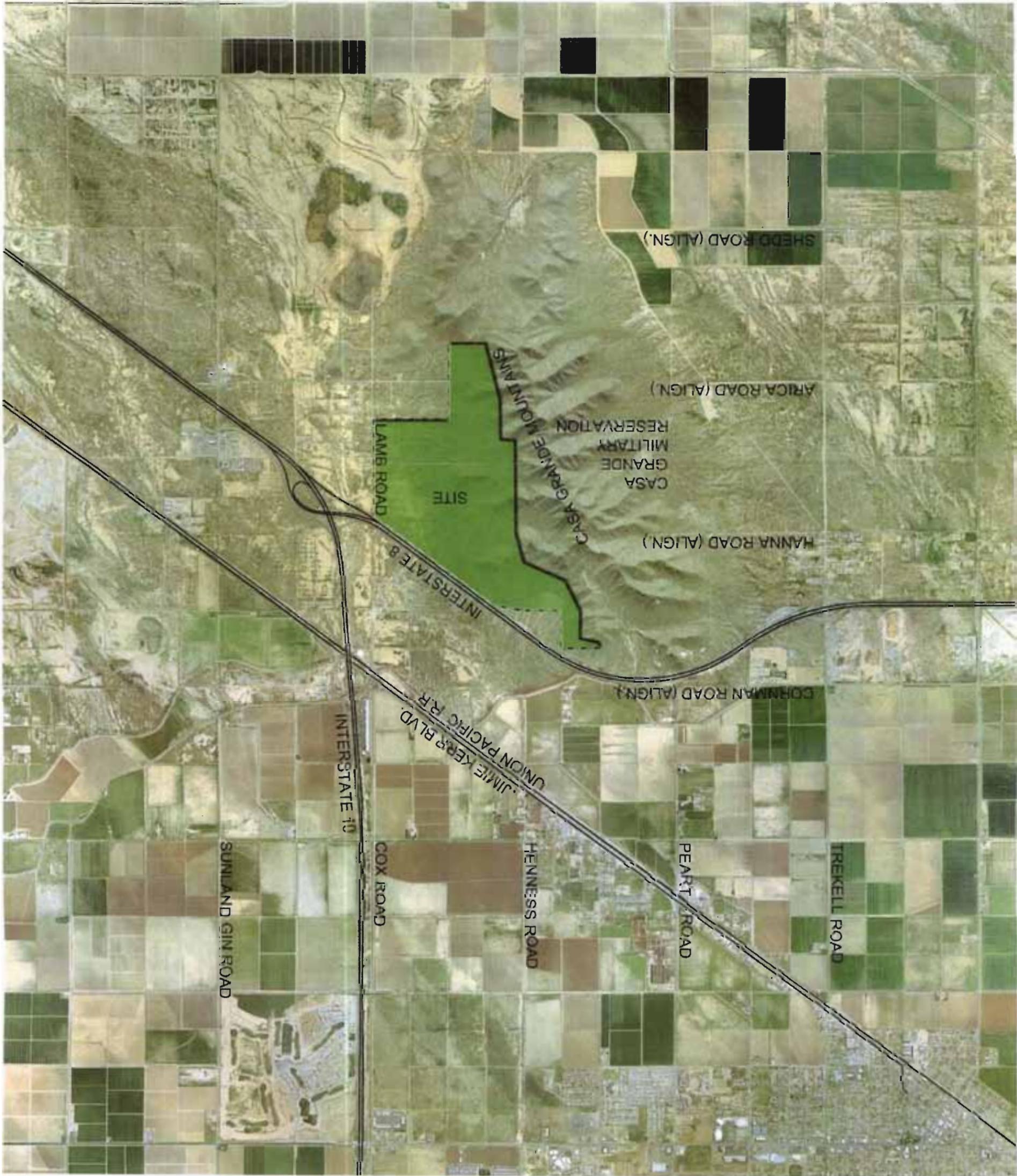
CASA GRANDE MOUNTAIN RANCH

CASA GRANDE, ARIZONA

EXHIBIT A
VICINITY MAP



SCALE: 1" = 1500'-0"
0' 1500' 3000'



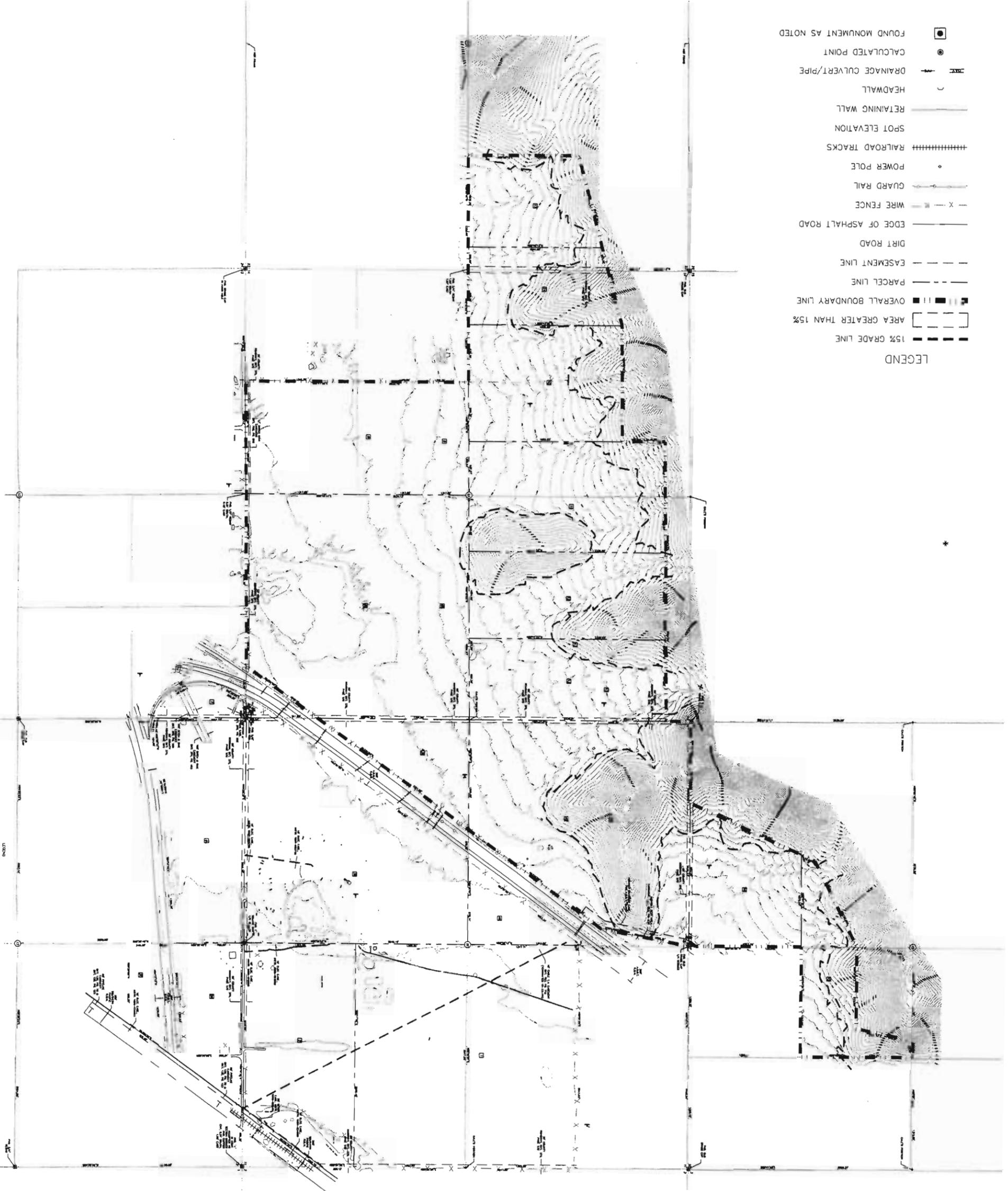


CASA GRANDE
MOUNTAIN RANCH
CASA GRANDE, ARIZONA
EXHIBIT B
ALTA SURVEY



SCALE: 1" = 1000'-0"
0 500 1000

- LEGEND
- 15% GRADE LINE
 - AREA GREATER THAN 15%
 - OVERALL BOUNDARY LINE
 - PARCEL LINE
 - EASEMENT LINE
 - DIRT ROAD
 - EDGE OF ASPHALT ROAD
 - WIRE FENCE
 - GUARD RAIL
 - POWER POLE
 - RAILROAD TRACKS
 - SPOT ELEVATION
 - RETAINING WALL
 - HEADWALL
 - DRAINAGE CULVERT/PIPE
 - CALCULATED POINT
 - FOUND MONUMENT AS NOTED

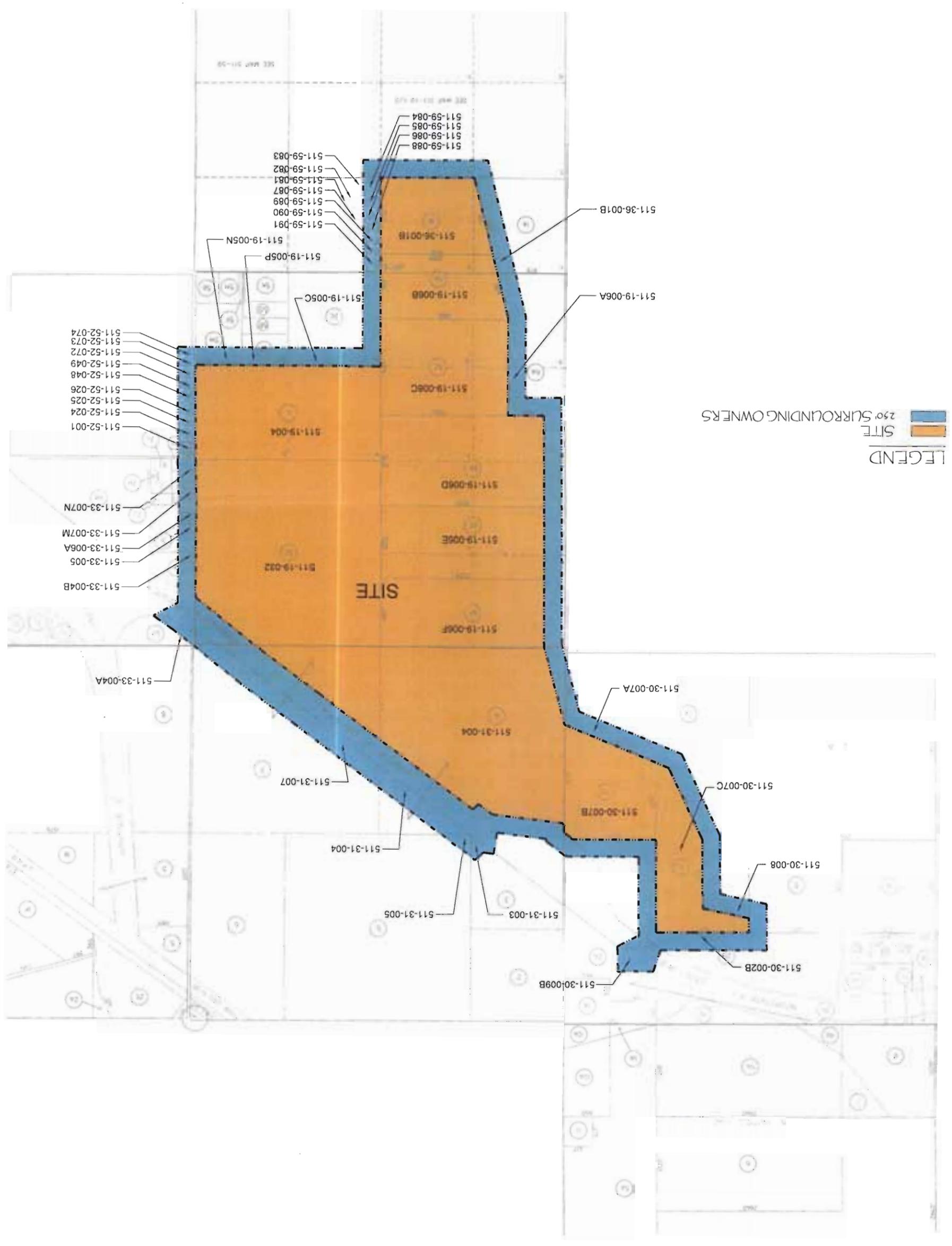


CASA GRANDE MOUNTAIN RANCH

EXHIBIT C CASA GRANDE, AZ SURROUNDING OWNERSHIP



SCALE: 1" = 1200'-0"
0 600 1200



SURROUNDING OWNERS PARCEL NUMBERS AND MAILING ADDRESSES

511-30-002B
DARRYL AND MAE TANG
8149 N 18TH PL
PHOENIX, AZ 85020

511-30-008
CHANDLER BOYS VENTURES LLC
1071 E IVANHOE ST
GILBERT, AZ 85296

511-30-007A
CITY OF CASA GRANDE
300 E 4TH ST
CASA GRANDE, AZ 85222

511-19-006A
CITY OF CASA GRANDE
300 E 4TH ST
CASA GRANDE, AZ 85222

511-36-001A
CITY OF CASA GRANDE
300 E 4TH ST
CASA GRANDE, AZ 85222

511-19-005C
GRANDE MOUNTAIN ESTATES LLC
3840 E RAY RD STE 101
PHOENIX, AZ 85044

511-19-005P
SEAN AND LISA MURPHY
25030S LAMB RD
CASA GRANDE, AZ 85222

511-19-005N
HENRY TYLER
505 W 13TH PL
CASA GRNADE, AZ 85222

511-52-074
CMH INC
2046 N PINAL AVE
CASA GRANDE, AZ 85222

511-52-073
JAMES AND CINDY LOVE
7639 S LAMB RD
CASA GRANDE, AZ 85222

511-52-072
GARY AND LYNETTE GINN
7631 S LAMB RD
CASA GRANDE, AZ 85222

511-52-049
DAVID AND BEVERLY CLARK
7519 S LAMB RD
CASA GRANDE, AZ 85222

511-52-048
SHARLEE HUGHES
11213 W MONTE CARLO LN
CASA GRANDE, AZ 85222

511-52-026
BRYAN CLARK
7469 S LAMB RD
CASA GRANDE, AZ 85222

511-52-025
MARGARET RASEY
7427 S LAMB RD
CASA GRANDE, AZ 85222

511-52-024
ROBERT CLARK
1138 BENTLY DR
MONROE, MI 48162

511-52-001
JOHN BOYD
1748 E CARDINAL DR
CASA GRANDE, AZ 85222

511-33-007N
RONALD HUMPHERY
2392 S LAMB RD
CASA GRANDE, AZ 85222

511-33-007M
ROBERT AND ELIZABETH CLARK
7818 RIVVER OTTER WAY
ELK GROVE, CA 95758

511-33-006A
BRANDON WARREN
104 E PHOENIX AVE
ELOY, AZ 85231

511-33-005
RONNIE BURK
1512 N GILBERT AVE
CASA GRANDE, AZ 85222

511-33-004B
DANIEL AND ZIVIA BAIREY
TEL AVIV 69511
ISRAEL

511-33-004A
CASA GRNADE MOUNTAIN RANCH
5740 E VIA LOS RANCHOS
PARADISE VALLEY, AZ 85253

511-31-007
CASA GRNADE MOUNTAIN RANCH
5740 E VIA LOS RANCHOS
PARADISE VALLEY, AZ 85253

511-31-004
CASA GRNADE MOUNTAIN RANCH
5740 E VIA LOS RANCHOS
PARADISE VALLEY, AZ 85253

511-31-005
CASA GRNADE MOUNTAIN RANCH
5740 E VIA LOS RANCHOS
PARADISE VALLEY, AZ 85253

511-31-003
JULIAN SANCHEZ
7850 S GRANDVIEW AVE
TEMPE, AZ 85284

511-30-009B
D & BETTY TATE
1405 N PASEO DE SONORA
CASA GRNADE, AZ 85222

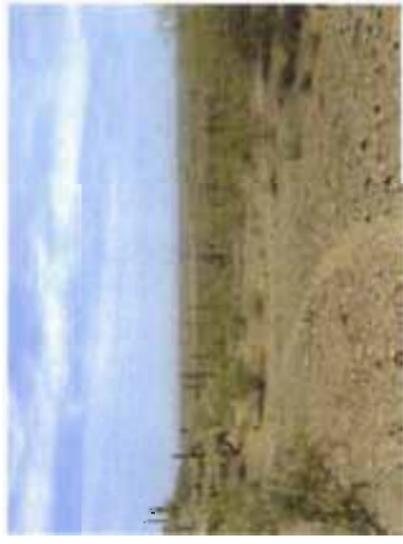
511-59-081, 082, 083, & 086
JACKIE & JOHN WARNER
918 S. SAINT CHARLES RD.
SPOKANE VALLEY, WA 99037-9783

511-59-089, 090 & 091
DAN & CYNTHIA SCHULZE
16029 S 35TH AVE.
PHOENIX, AZ 85048-7319

CASA GRANDE MOUNTAIN RANCH

CASA GRANDE, AZ

EXHIBIT D:
EXISTING CONDITIONS





CASA GRANDE MOUNTAIN RANCH

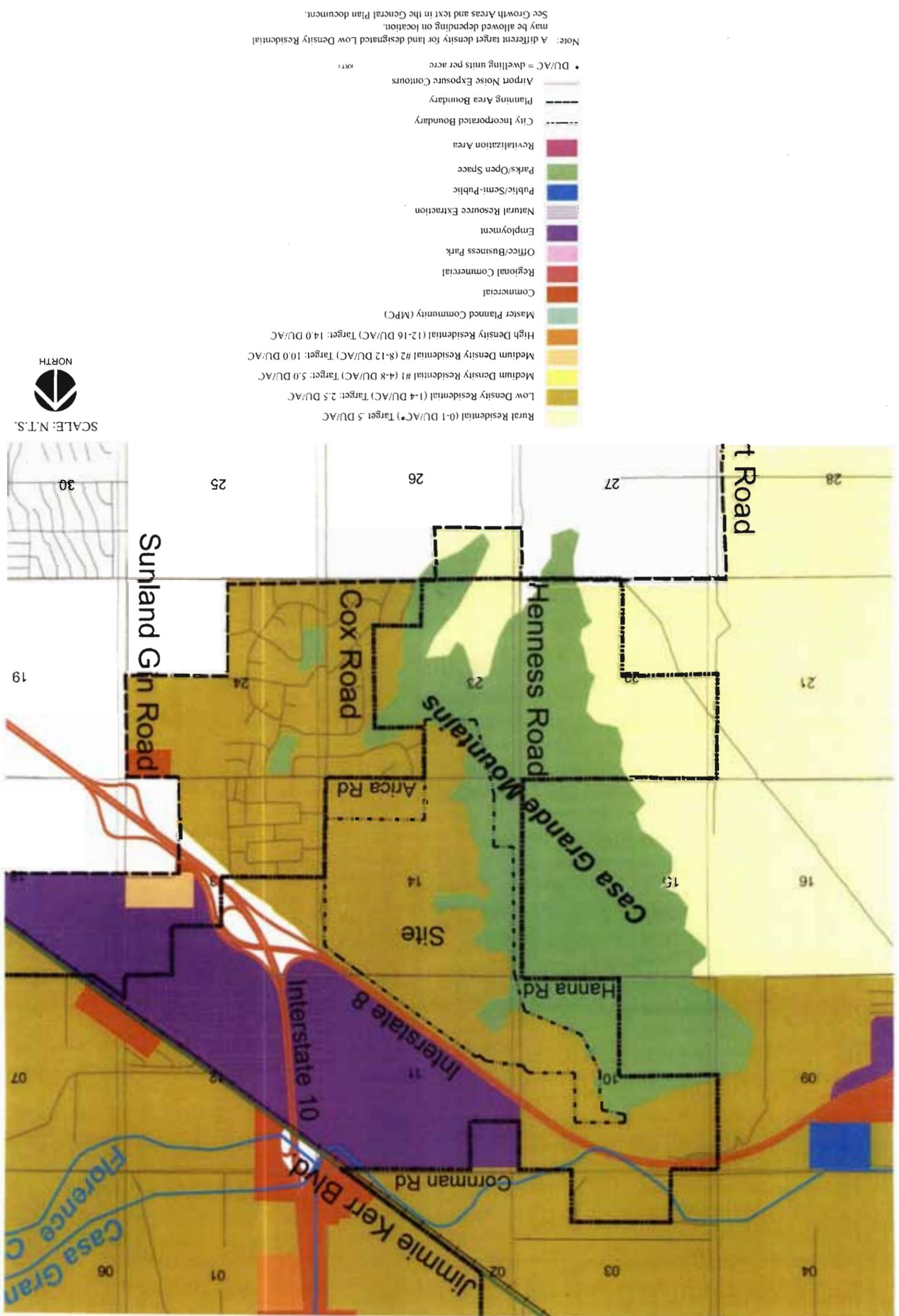
CASA GRANDE, AZ

EXHIBIT D.2
EXISTING CONDITIONS



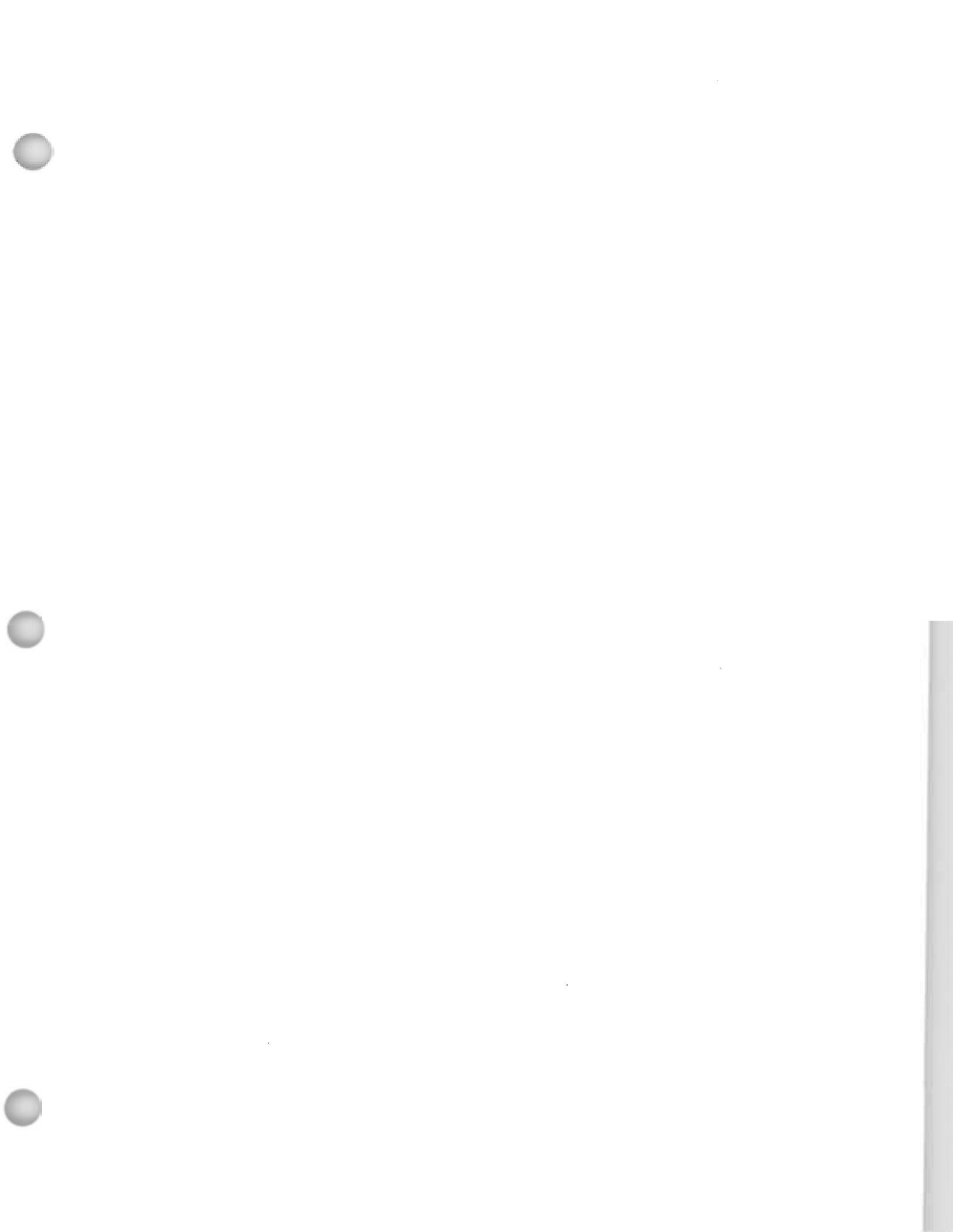
CASA GRANDE MOUNTAIN RANCH EXISTING GENERAL PLAN

PREPARED FOR: GEORGE CHASSE
DATE: 2-14-07



- Note: A different target density for land designated Low Density Residential may be allowed depending on location. See Growth Areas and text in the General Plan document.
- DU/AC = dwelling units per acre
 - Airport Noise Exposure Contours
 - Planning Area Boundary
 - - - City Incorporated Boundary
 - Revitalization Area
 - Parks/Open Space
 - Public/Semi-Public
 - Natural Resource Extraction
 - Employment
 - Office/Business Park
 - Regional Commercial
 - Commercial
 - Master Planned Community (MPC)
 - High Density Residential (12-16 DU/AC) Target: 14.0 DU/AC
 - Medium Density Residential #2 (8-12 DU/AC) Target: 10.0 DU/AC
 - Medium Density Residential #1 (4-8 DU/AC) Target: 5.0 DU/AC
 - Low Density Residential (1-4 DU/AC) Target: 2.5 DU/AC
 - Rural Residential (0-1 DU/AC*) Target: .5 DU/AC

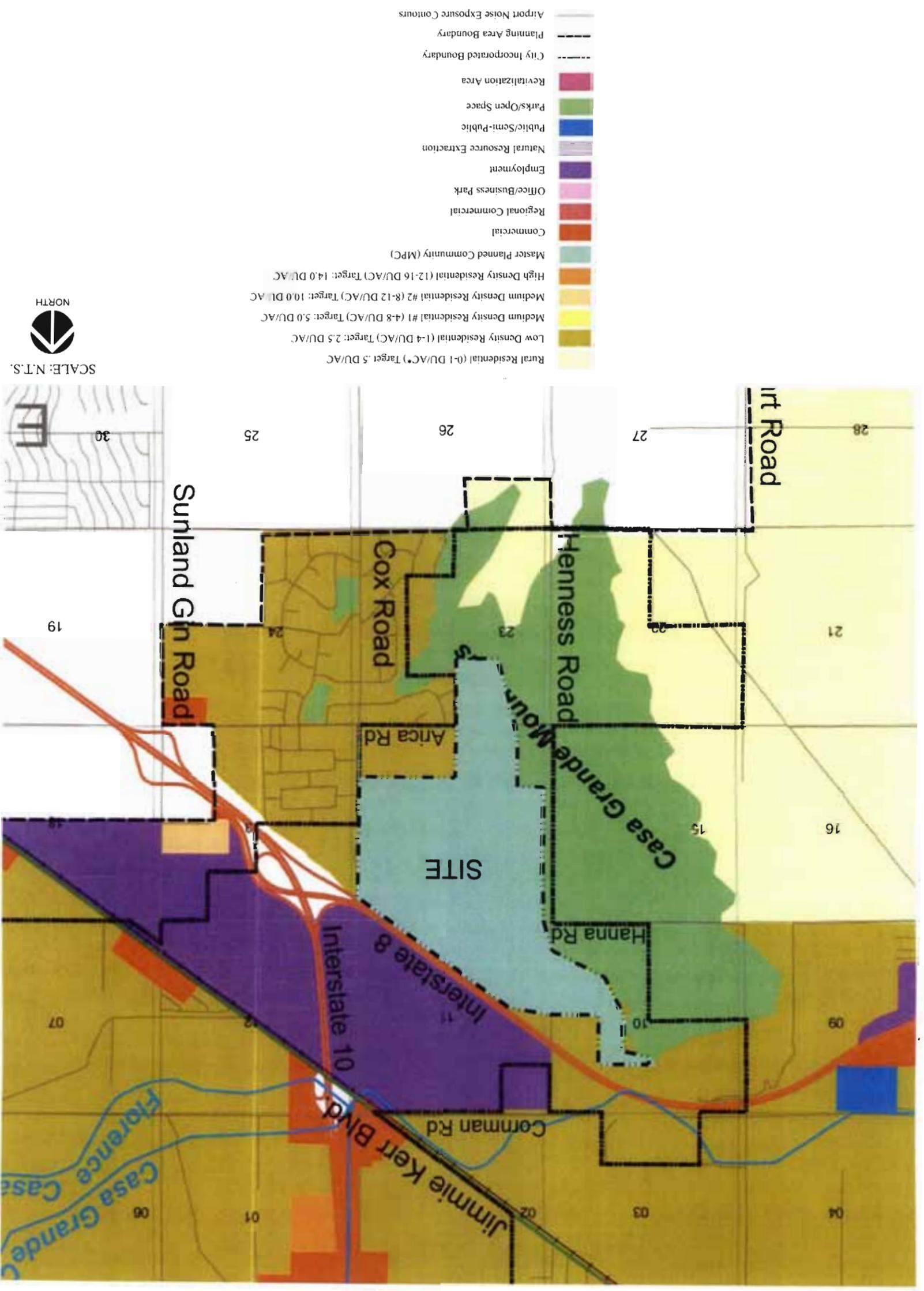
SCALE: N.T.S.
NORTH



CASA GRANDE MOUNTAIN RANCH

CASA GRANDE, AZ

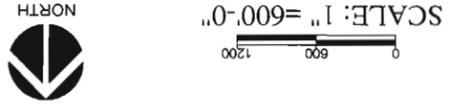
EXHIBIT F MINOR GENERAL PLAN AMENDMENT



CASA GRANDE MOUNTAIN RANCH

EXHIBIT H MASTER LAND USE PLAN

CASA GRANDE, AZ



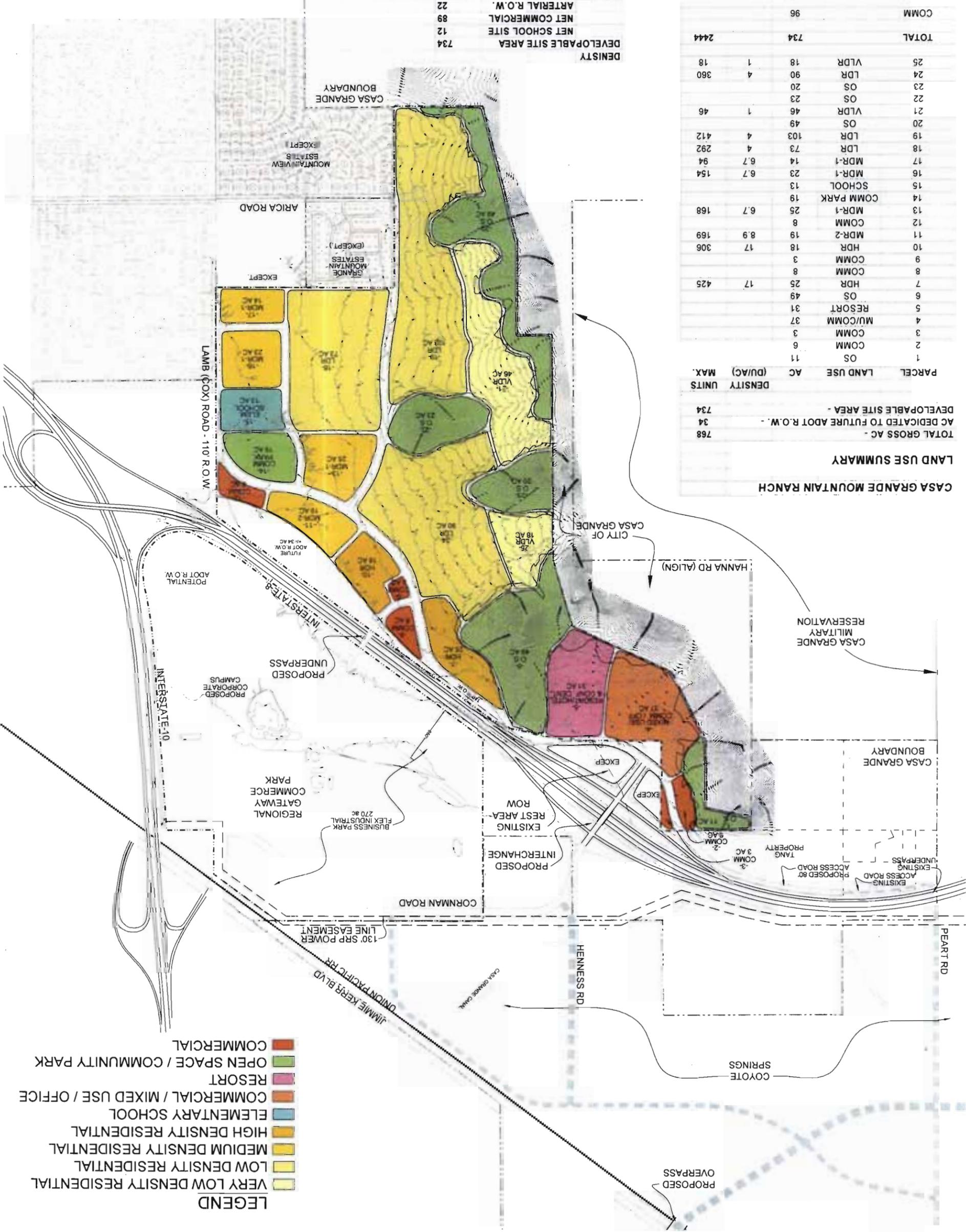
Density = 2444 (# of Lots) / 611 (Net Res. Area) = 4.0 du/ac

DENSITY	DEVELOPABLE SITE AREA	NET SCHOOL SITE	NET COMMERCIAL	ARTERIAL R.O.W.	NET RESIDENTIAL AREA
734	734	12	89	22	611

PARCEL	LAND USE	AC	DENSITY UNITS	MAX. (DU/AC)
1	OS	11	11	1
2	COMM	6	6	2
3	COMM	3	3	3
4	MU/COMM	37	37	4
5	RESORT	31	31	5
6	OS	49	49	6
7	HDR	25	25	7
8	COMM	8	8	8
9	COMM	3	3	9
10	HDR	18	18	10
11	MDR-2	19	8.9	11
12	COMM	8	8	12
13	MDR-1	25	6.7	13
14	COMM PARK	19	19	14
15	SCHOOL	13	13	15
16	MDR-1	23	6.7	16
17	MDR-1	14	6.7	17
18	LDR	73	4	18
19	LDR	103	4	19
20	OS	49	49	20
21	VLDR	46	1	21
22	OS	23	23	22
23	OS	20	20	23
24	LDR	90	4	24
25	VLDR	18	1	25
TOTAL				
734				
2444				
COMM				
96				
GR. RES. DEV				
638				
OS				
171				
(171/638) 27%				

LAND USE SUMMARY

AC DEDICATED TO FUTURE ADOT R.O.W.	DEVELOPABLE SITE AREA
768	734



- LEGEND**
- VERY LOW DENSITY RESIDENTIAL
 - LOW DENSITY RESIDENTIAL
 - MEDIUM DENSITY RESIDENTIAL
 - HIGH DENSITY RESIDENTIAL
 - ELEMENTARY SCHOOL
 - COMMERCIAL / MIXED USE / OFFICE
 - RESORT
 - OPEN SPACE / COMMUNITY PARK
 - COMMERCIAL



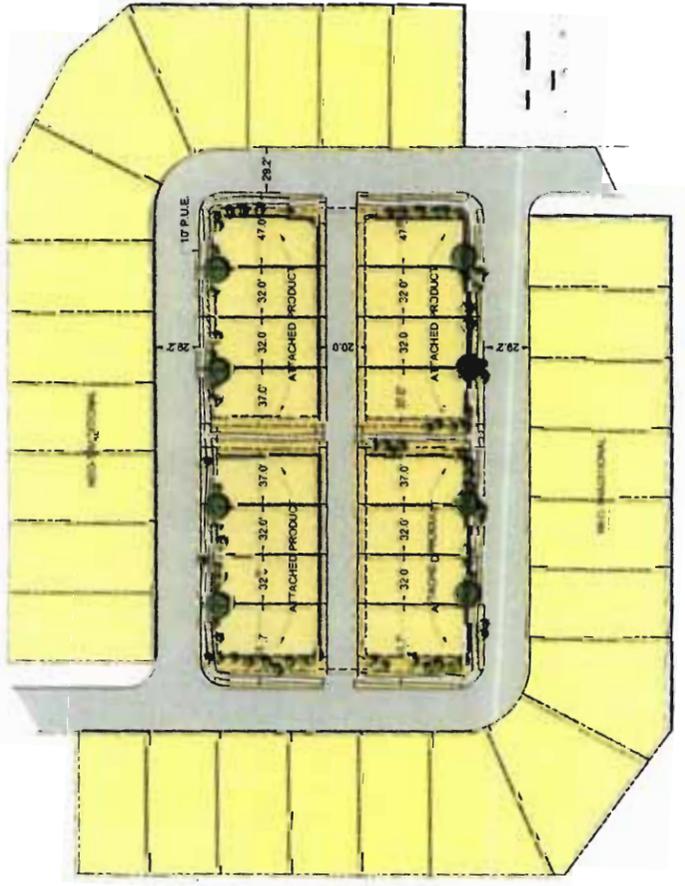
CASA GRANDE MOUNTAIN RANCH



DETACHED ALLEY LOADED (MDR-1)



Z-LOT (MDR-1)



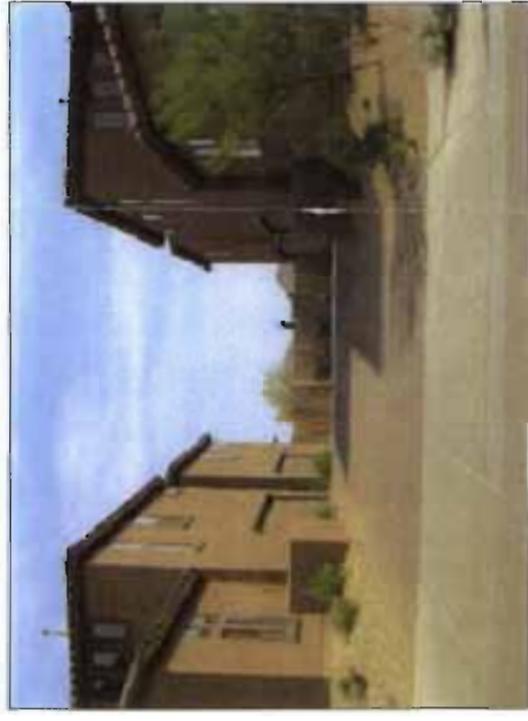
ATTACHED ALLEY LOADED (MDR-2)



CLUSTER LAYOUT (MDR-2)



Z-LOT PRODUCT



CLUSTER HOMES



DETACHED ALLEY LOADED



Z-LOT PRODUCT



ATTACHED ALLEY LOADED



DETACHED ALLEY LOADED



Z-LOT PRODUCT



DETACHED ALLEY LOADED



ATTACHED ALLEY LOADED

CASA GRANDE MOUNTAIN RANCH

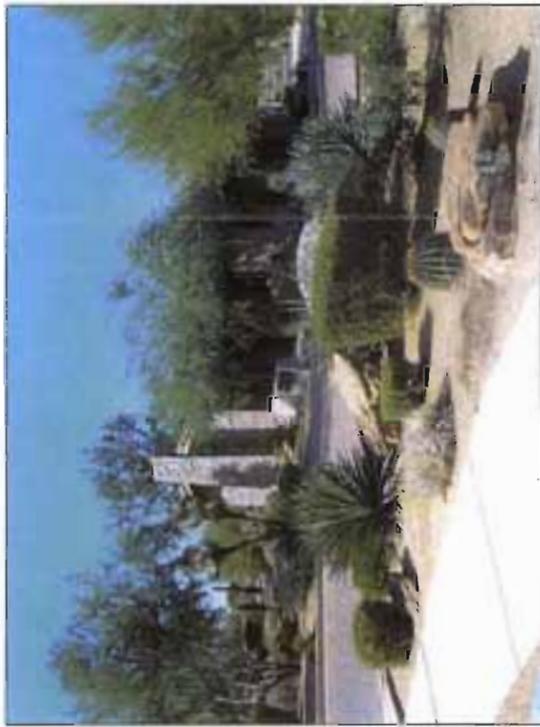
EXHIBIT J1
RESIDENTIAL CHARACTER
CASA GRANDE
MOUNTAIN RANCH
CASA GRANDE, AZ



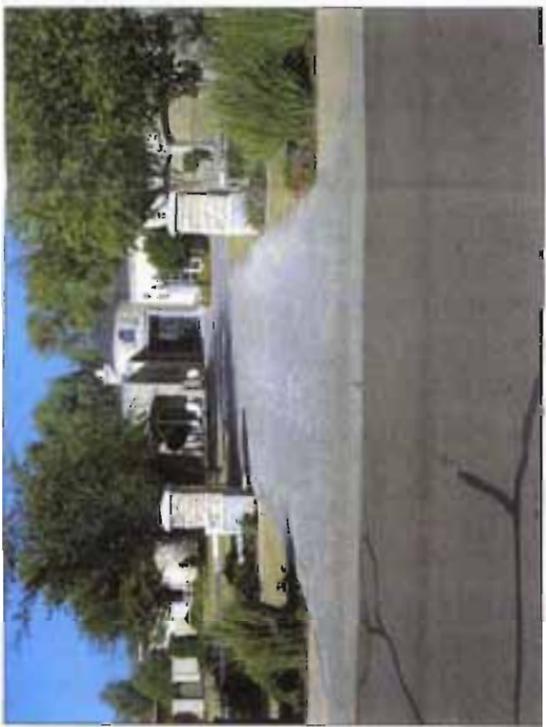
LDR/VLDR CHARACTER



LDR/VLDR CHARACTER



LDR/VLDR GATE CONCEPT



LDR/VLDR CHARACTER



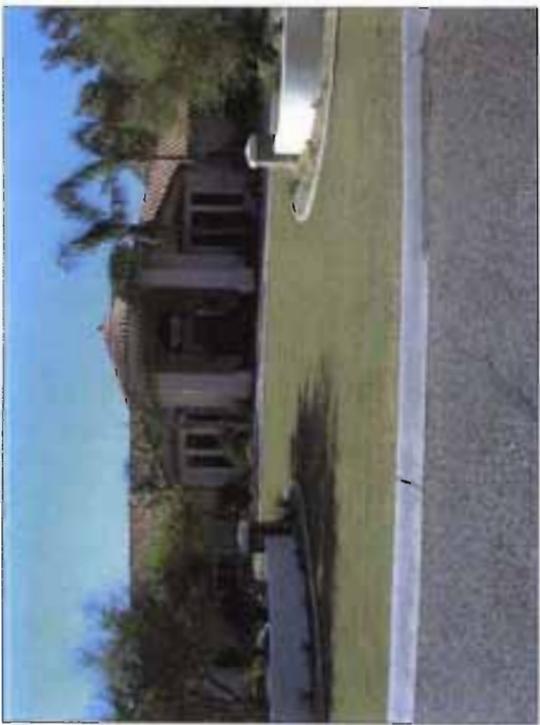
LDR/VLDR CHARACTER



LDR/VLDR GATE CONCEPT



LDR/VLDR CHARACTER



LDR/VLDR CHARACTER



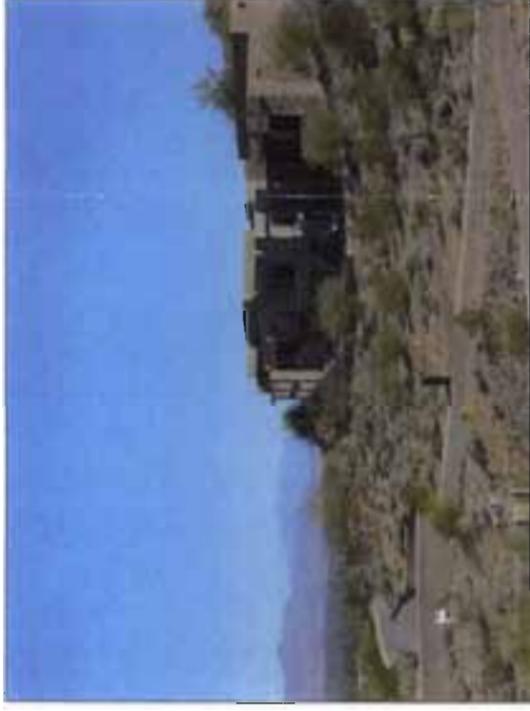
ESTATE
MOUNTAIN SIDE LOT

CASA GRANDE MOUNTAIN RANCH

EXHIBIT J2
RESIDENTIAL CHARACTER
CASA GRANDE, AZ



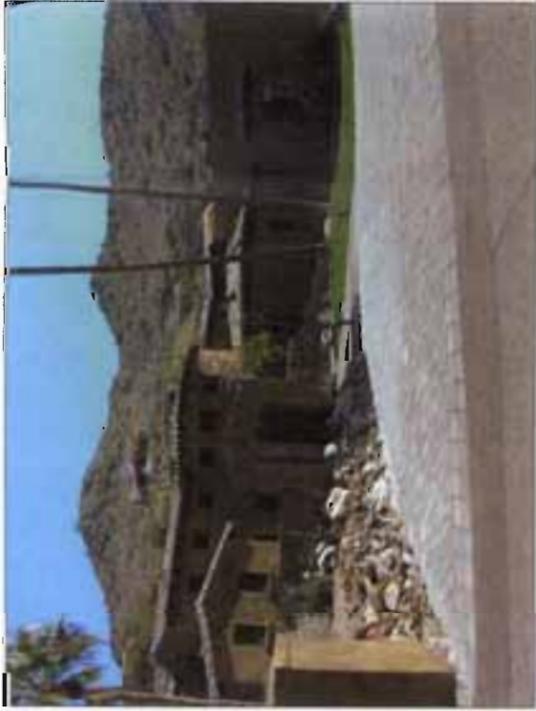
VLDR CHARACTER



VLDR CHARACTER



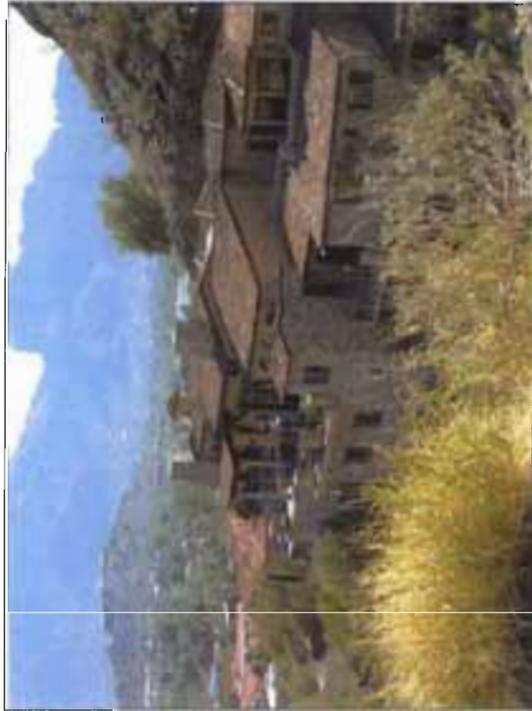
VLDR CHARACTER



VLDR CHARACTER



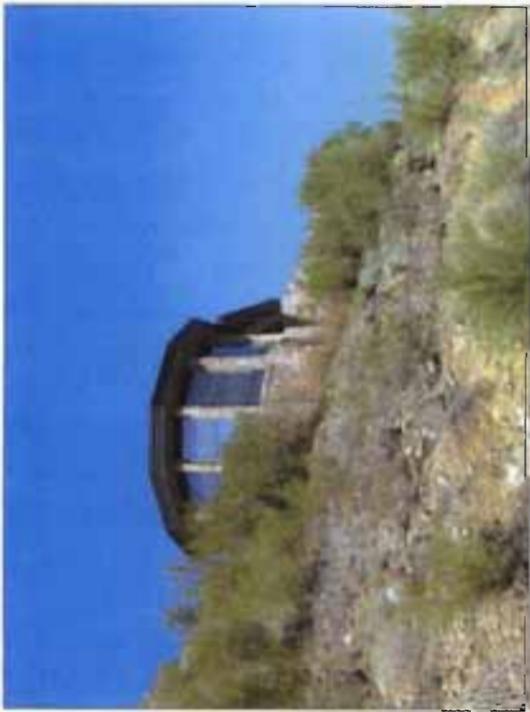
VLDR CHARACTER



VLDR CHARACTER



VLDR CHARACTER



VLDR CHARACTER



VLDR CHARACTER

CASA GRANDE MOUNTAIN RANCH

CASA GRANDE, AZ

EXHIBIT K
OPEN SPACE/TRAIL PLAN



SCALE: 1" = 600'-0"
0 600 1200

- LEGEND**
- OPEN SPACE
 - CITY OF CASA GRANDE EQUESTRIAN HIKING, MOUNTAIN BIKE TRAIL
 - MULTI-USE TRAIL (TO BE MAINTAINED BY HOA)
 - TRAILHEADS



PARK COMPONENTS

LIST ITEMIZED DESCRIPTION

- A. REQUIRED INFRASTRUCTURE - ELECTRICITY, IRRIGATION, SECURITY LIGHTING, TRASH RECEPTACLES (98 TOTAL), LANDSCAPING AS SHOWN FROM THE RECOMMENDED PLANT LIST, WATER SERVICE, PEDESTRIAN TRAILS, AND TREES BEYOND THE CITY STREET LANDSCAPE REQUIREMENTS.
- B. PRE-SELECTED COMPONENTS (4 SELECTED) - FOUR INDIVIDUAL 20X20 RAMADAS, OPEN TURF AREA AND NATURAL AREA (10,000 SQ.FT. MIN).
- C. COMPONENTS OF CHOICE (12 SELECTED) - TWO BASKETBALL FULL COURTS, TWO TENNIS COURTS, ONE OFF-LEASH DOG AREAFENCED, ONE PLAYGROUND, TWO PRACTICE BACKSTOPS WITH TURF FIELDS, ONE VOLLEYBALL COURT, LOOP WALK AND TWO MULTI-USE SOCCER FIELDS.
- D. SPECIALTY COMPONENTS (2 SELECTED) - COMMUNITY CENTER & OUTDOOR POOL WITH REQUIRED PARKING AND RESTROOMS.
- E. COMFORT & CONVENIENCE FEATURES (5 SELECTED) - FOUR BBQ GRILLS, 38 BENCHES, TWO BIKE RACKS, PARKING FOR 89 CARS.

IN ADDITION TO ITEMS FROM LIST B & C

MDR-2

COMMERCIAL



COLLECTOR ROAD

MDR-1

LDR

ELEM. SCHOOL

LAMB ROAD

CASA GRANDE MOUNTAIN RANCH CASA GRANDE, AZ TYPICAL NEIGHBORHOOD PARK EXHIBIT M



CASA GRANDE MOUNTAIN RANCH

CASA GRANDE, ARIZONA
EXHIBIT N.1
ENTRY FEATURE

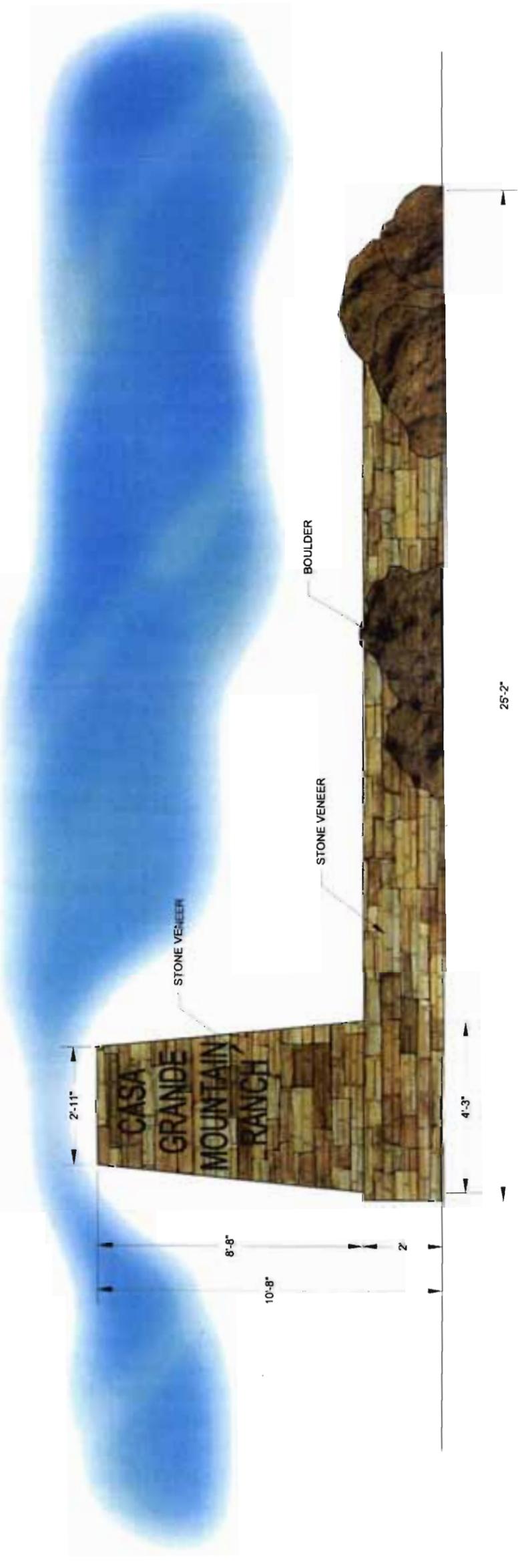


PRIMARY ENTRY FEATURE

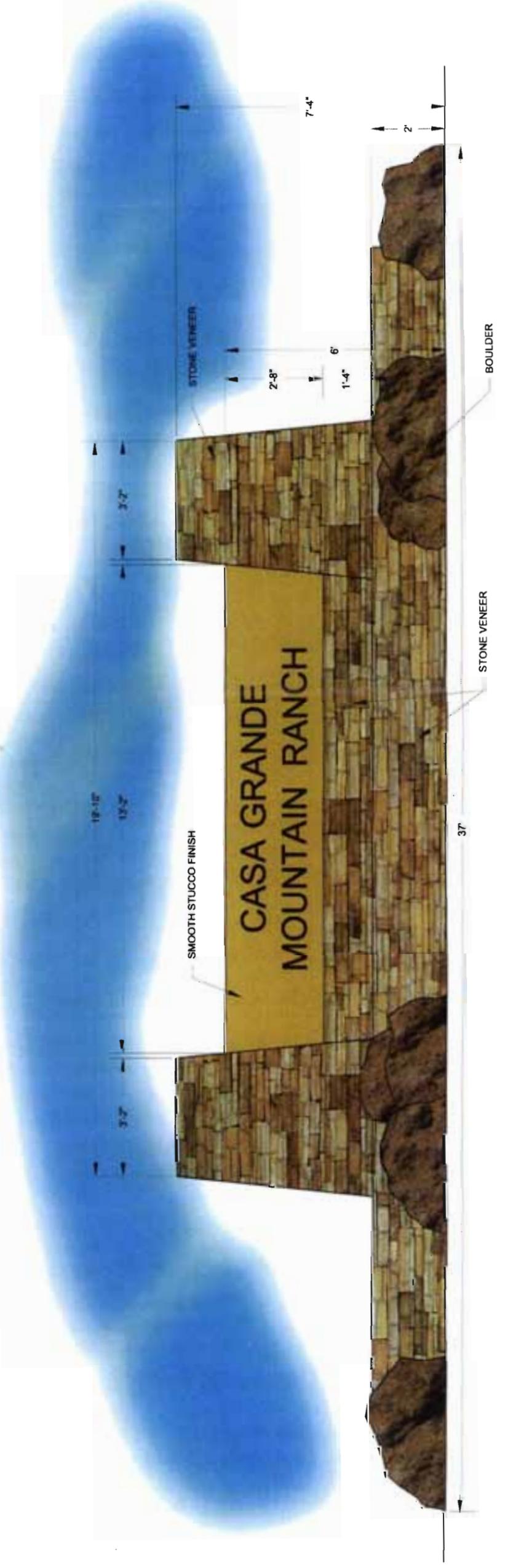


SECONDARY ENTRY FEATURE

CASAGRANDE MOUNTAIN RANCH



PRIMARY ENTRY FEATURE

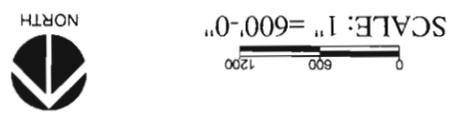


SECONDARY ENTRY FEATURE

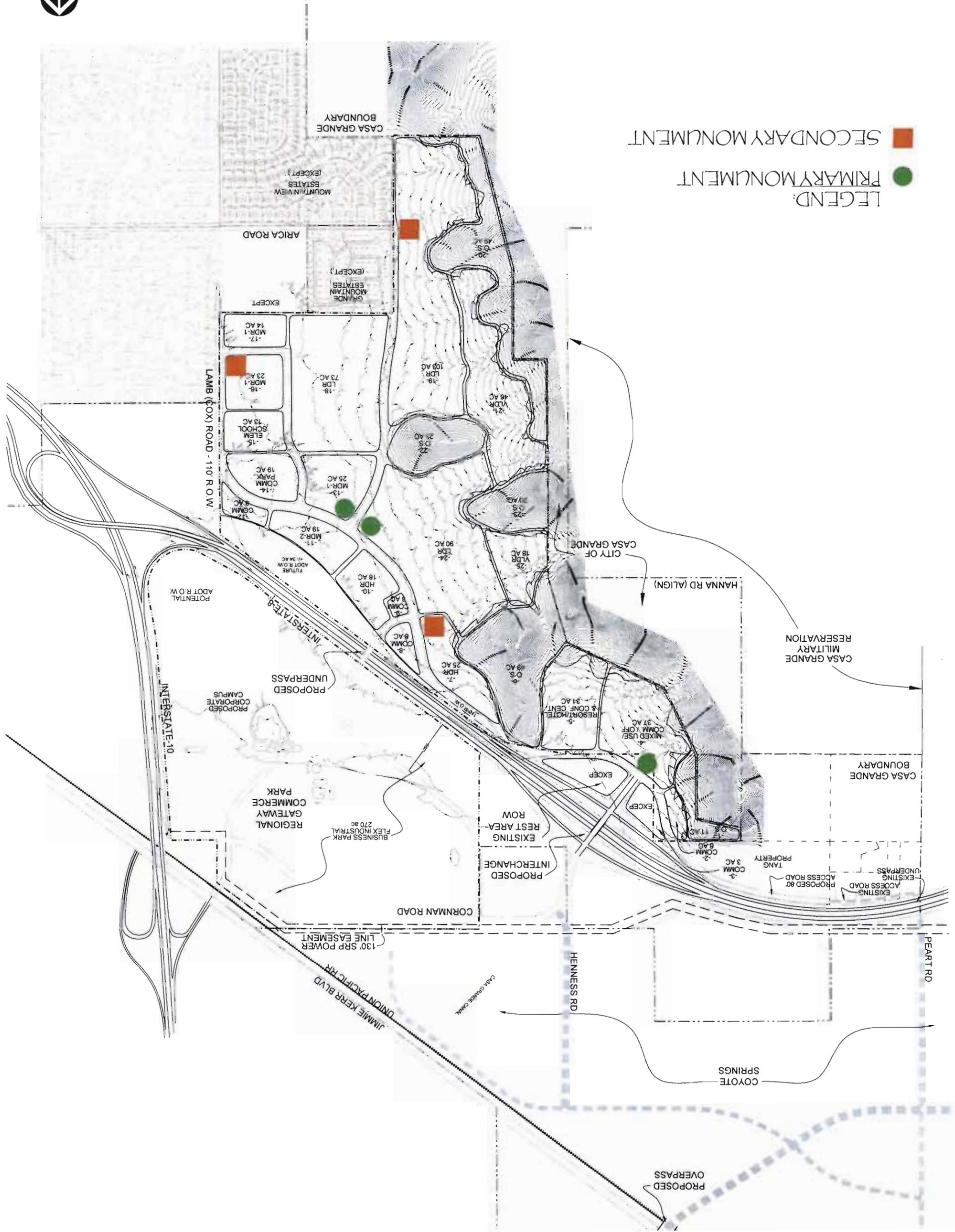


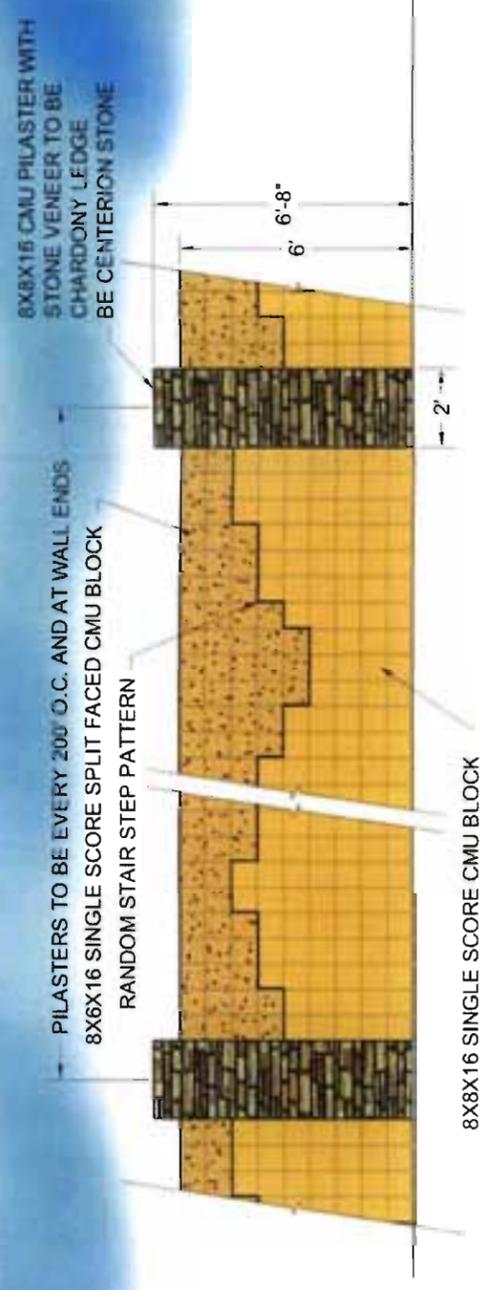
CASA GRANDE MOUNTAIN RANCH

EXHIBIT N.3 ENTRY MONUMENTATION MAP

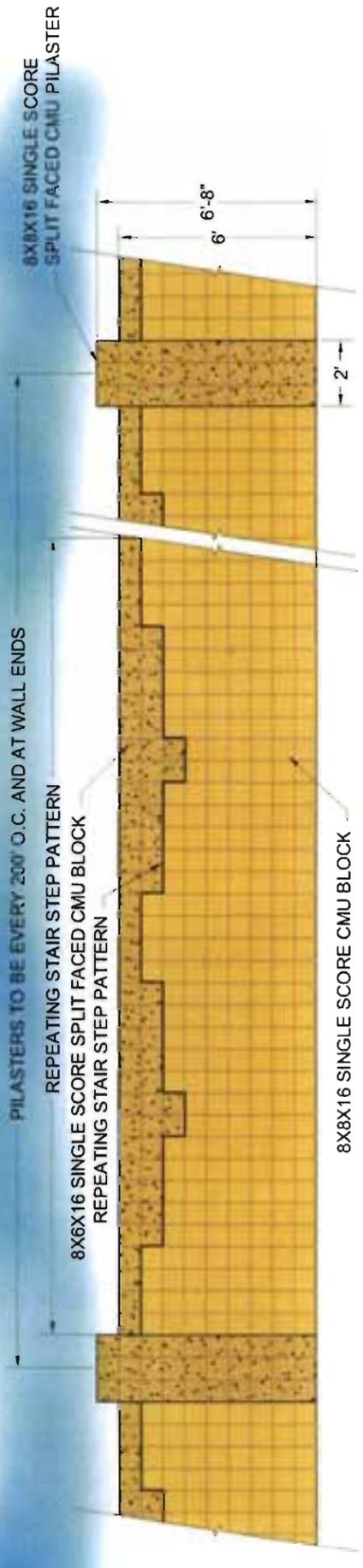


LEGEND:
PRIMARY MONUMENT (Green circle)
SECONDARY MONUMENT (Red square)

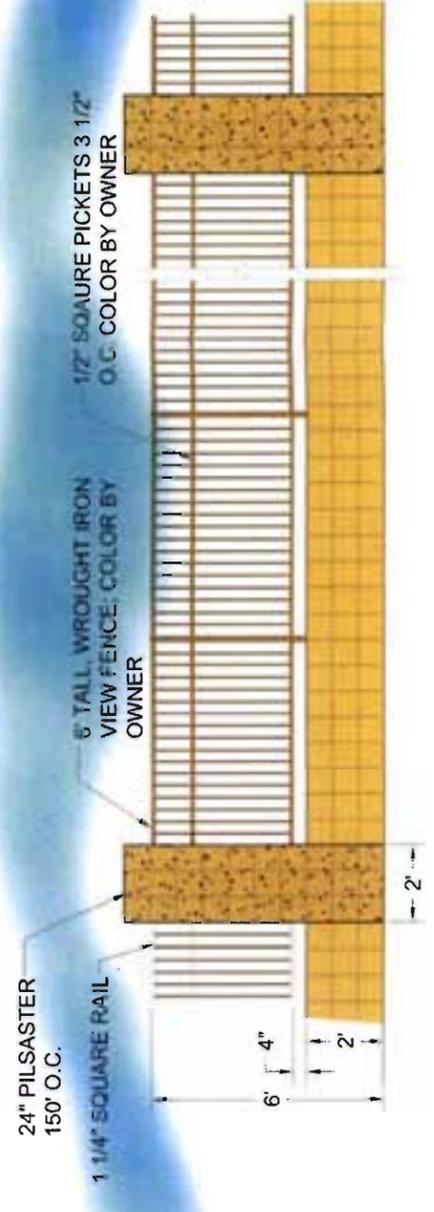




PRIMARY THEME WALL
ARTERIAL AND MAJOR COLLECTORS
NTS



SECONDARY THEME WALL
ARTERIAL AND MAJOR COLLECTORS
NTS



VIEW WALL
LOTS ABUTTING TRAIL AND OPEN SPACE
NTS

CASA GRANDE MOUNTAIN RANCH
MPC / PAD

EXHIBIT 'P'

MASTER PLANT SCHEDULE

Botanical Name

Common Name

TREES

ACACIA SPP.
CERCIDIUM SPP.
CAESALPINEA CACALACO
CHILOPSIS LINEARIS
DALBERGIA SISSOO
LYSILOMA SPP.
OLNEYA TESOTA
PISTACIA SPP.
PITHECELLOBIUM FLEXICAULE
PROSOPIS SPP.
ULMUS PARVIFOLIA

ACACIA (varieties)
PALO VERDE (varieties)
CASCALOTE
DESERT WILLOW (varieties)
SISSOO TREE
FEATHER TREE (varieties)
IRONWOOD
PISTACHIO (varieties)
TEXAS EBONY (varieties)
MESQUITE (varieties)
EVERGREEN ELM

SHRUBS

ASCLEPIAS SPP.
BUDDLEIA SPP.
CAESALPINIA SPP.
CASSIA SPP.
CALLIANDRA SPP.
CORDIA SPP.
DALEA SPP.
DODONAEA SPP.
EREMOPHILA SPP.
JUSTICIA SPP.
LARREA TRIDENTATA
LEUCOPHYLLUM SPP.
PITTOSPORUM SPP.
RAPHIOLEPIS SPP.
RUELLIA SPP.
SALVIA SPP.
TECOMA SPP.

MILKWEED (varieties)
BUTTERFLY BUSH (varieties)
BIRD OF PARADISE (varieties)
CASSIA (varieties)
FAIRY DUSTER (varieties)
CORDIA (varieties)
DALEA (varieties)
HOPSEED BUSH (varieties)
EMU BUSH (varieties)
JUSTICIA (varieties)
CREOSOTE BUSH
TEXAS RANGER (varieties)
PITTOSPORUM (varieties)
RAPHIOLEPIS (varieties)
RUELLIA (varieties)
SALVIA (varieties)
YELLOW BELLS (varieties)

**CASA GRANDE MOUNTAIN RANCH
MPC / PAD**

MASTER PLANT SCHEDULE (con't)

Botanical Name

Common Name

ACCENTS

AGAVE SPP.	AGAVE (varieties)
ALOE SPP.	ALOE (varieties)
BOUGAINVILLEA SPP.	BOUGAINVILLEA (varieties)
CARNEGIEA GIGANTEA	SAGUARO
CEREUS SPP.	CEREUS (varieties)
DASYLIRION SPP.	DESERT SPOON (varieties)
EUPHORBIA SPP.	EUPHORBIA (varieties)
FEROCACTUS SPP.	BARREL CACTUS (varieties)
FOUQUIERIA SPLENDENS	OCOTILLO
ECHINOCACTUS GRUSONII	GOLDEN BARREL
ECHINOCEREUS SPP.	HEDGEHOG (varieties)
HESPERALOE SPP.	YUCCA (varieties)
MUHLENBERGIA SPP.	DEER GRASS (varieties)
NOLINA SPP.	BEAR GRASS (varieties)
OPUNTIA SPP.	PRICKLY PEAR (varieties)
PENSTEMON SPP.	PENSTEMON (varieties)
YUCCA SPP.	YUCCA (varieties)

GROUNDCOVER

ACACIA SPP	TRAILING ACACIA
BAILEYA MULTIRADIATA	DESERT MARIGOLD
BACCHARIS SPP.	BACCHARIS (varieties)
CYNODON DACTYLON	MID-IRON BERMUDA
DALEA SPP.	TRAILING INDIGO BUSH (varieties)
LANTANA SPP.	LANTANA (varieties)
ROSMARINUS SPP.	ROSEMARY (varieties)
VERBENA SPP.	VERBENA (varieties)

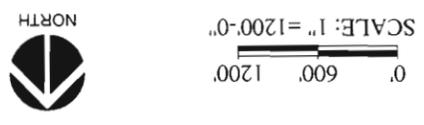
MATERIAL FINISHES

DECOMPOSED GRANITE: COLOR – TAN SIZE ¾" - Minus
WEATHERED GRANITE BOULDERS SURFACE SELECT

CASA GRANDE MOUNTAIN RANCH

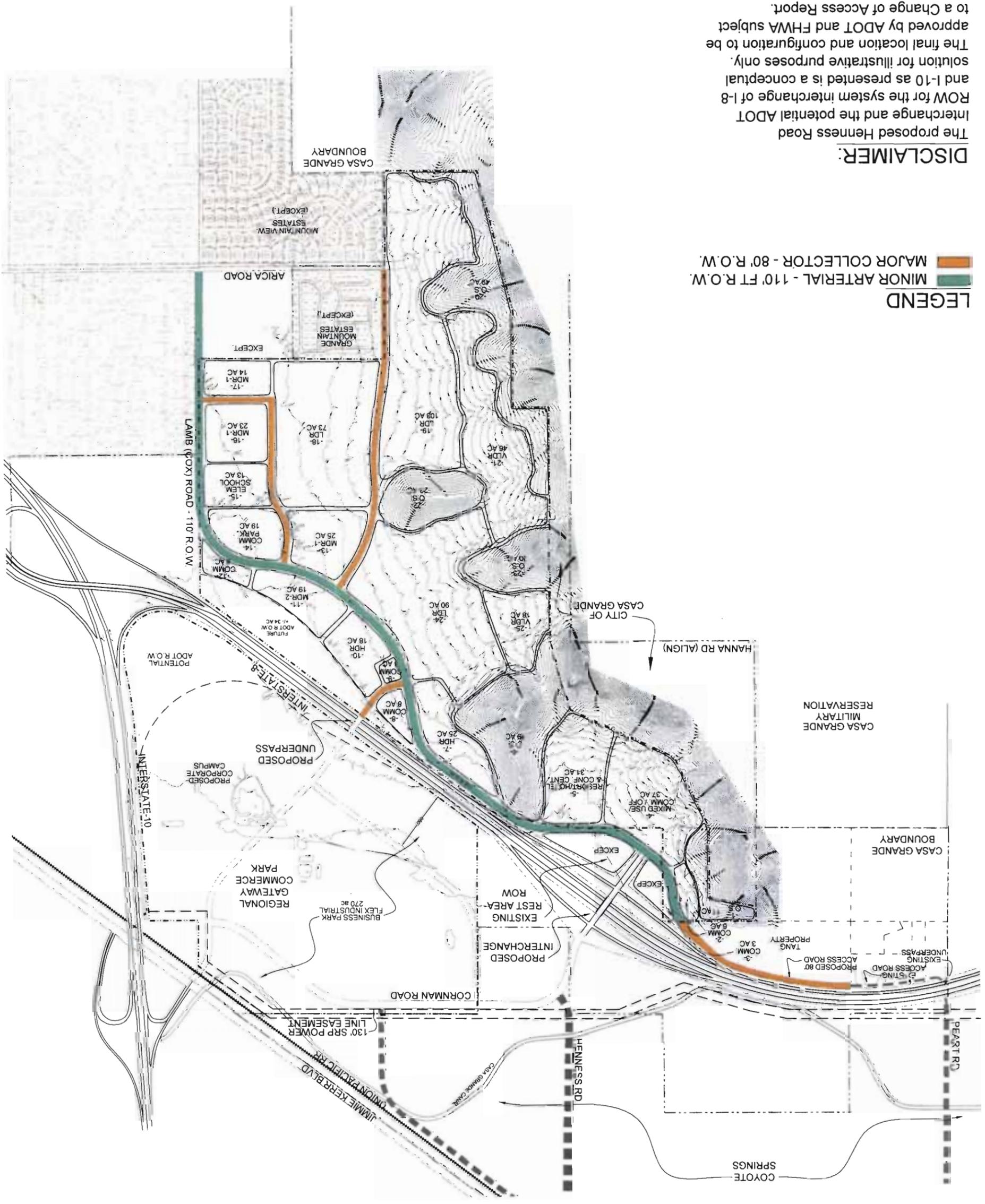
CASA GRANDE, AZ PROPOSED STREET LAYOUT

EXHIBIT Q



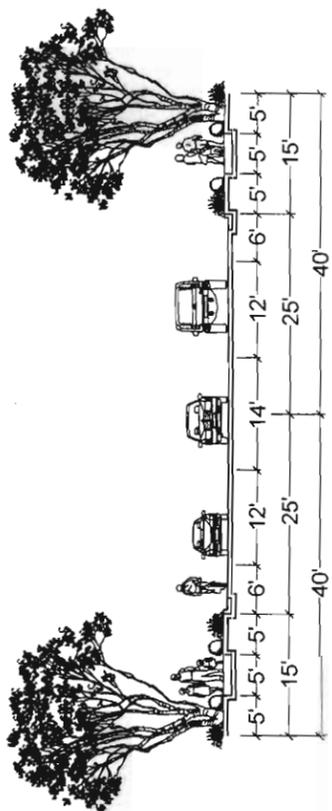
DISCLAIMER:
The proposed Henness Road Interchange and the potential ADOT ROW for the system interchange of I-8 and I-10 as presented is a conceptual solution for illustrative purposes only. The final location and configuration to be approved by ADOT and FHWA subject to a Change of Access Report.

LEGEND
 MINOR ARTERIAL - 110' FT R.O.W.
 MAJOR COLLECTOR - 80' R.O.W.

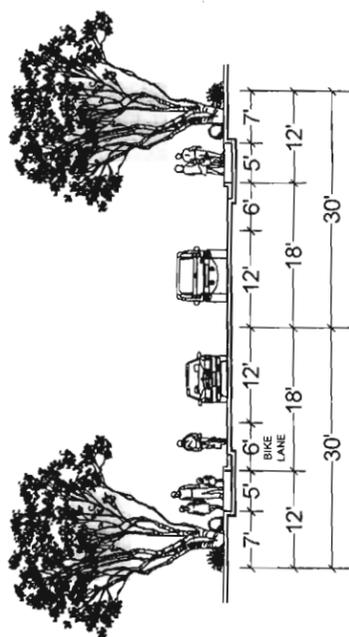


CASA GRANDE MOUNTAIN RANCH

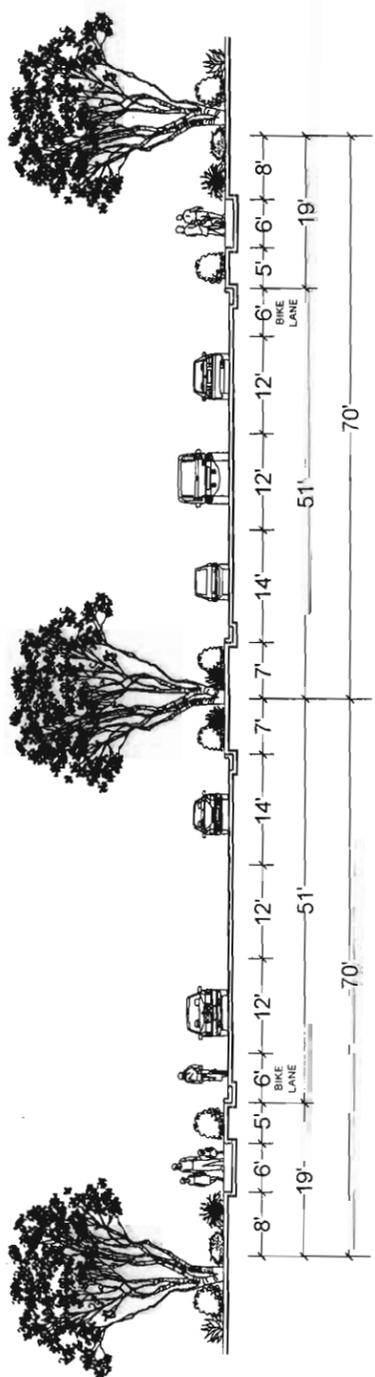
CASA GRANDE, AZ STREET CROSS SECTIONS EXHIBIT R



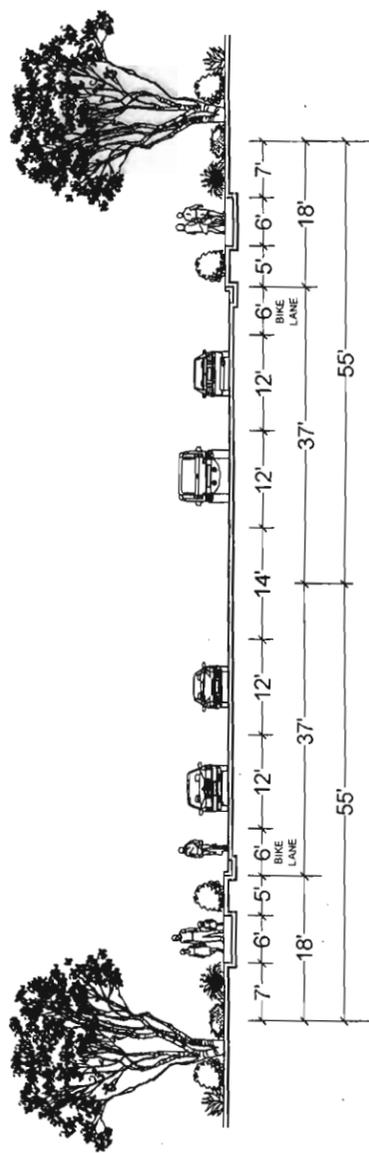
MAJOR COLLECTOR



MINOR COLLECTOR



PRINCIPAL ARTERIAL



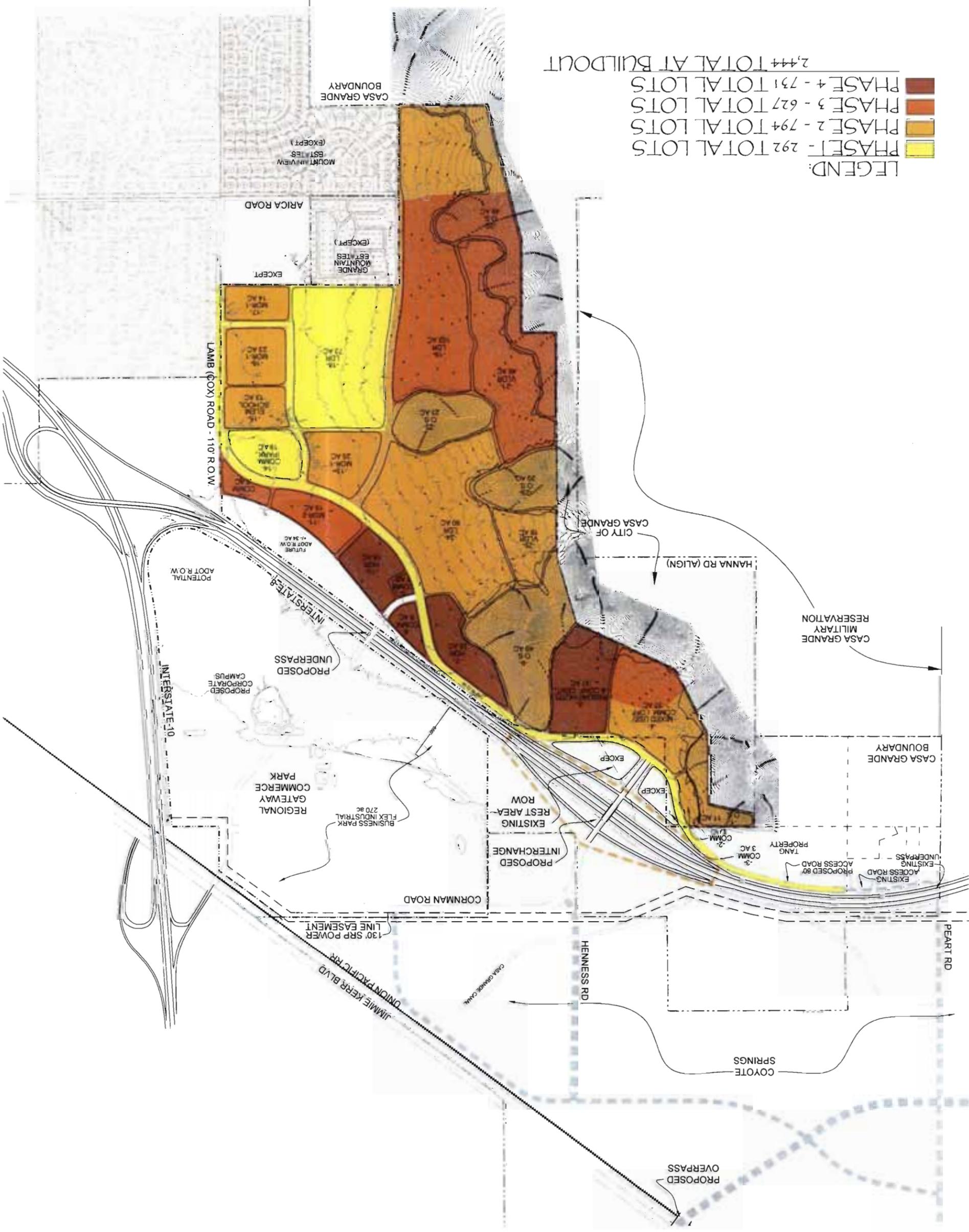
MINOR ARTERIAL





CASA GRANDE MOUNTAIN RANCH PHASING PLAN

SCALE: 1" = 600'-0"
0 600 1200
NORTH



LEGEND:

[Yellow Box]	PHASE 1 - 292 TOTAL LOTS
[Orange Box]	PHASE 2 - 794 TOTAL LOTS
[Dark Orange Box]	PHASE 3 - 627 TOTAL LOTS
[Dark Red Box]	PHASE 4 - 731 TOTAL LOTS
2,444 TOTAL AT BUILDOUT	

Appendix

1. Jurisdictional Water / 404 Analysis; prepared by SWCA
2. Letter from Casa Grande School District
3. Letters from Utility Companies
4. Legal Description
5. Casa Grande Sewer Map

December 5, 2006

TECHNICAL MEMORANDUM

TO: U.S. Army Corps of Engineers
Attn: Cindy Lester
3636 N. Central Ave.
Suite 900
Phoenix, AZ 85012-1936

FROM: Devin Keane, SWCA Environmental Consultants

RE: Non-jurisdictional Determination of Waters of the United States for Casa Grande
Mountain Ranch in Pinal County

SWCA FILE: 12080-256

INTRODUCTION

SWCA Environmental Consultants (SWCA) recently conducted a field survey on the Casa Grande Mountain Ranch property (the Parcel), located in Sections 10, 11, 14 and 23, Township 7 South, Range 6 East, Pinal County. . The purpose of the JWD is to determine if any natural or man-made drainages on the Parcel: 1) meet the definition of WUS as described by regulation at 33 CFR Part 328.3 that would be subject to federal regulation under Section 404 of the Clean Water Act (33 U.S.C. §1344); and, 2) if WUS are present, determine the limits of Federal jurisdiction as outlined in 33 CFR Part 328.4-5. Enclosed are three aerial photographs at a 1-inch equals 100-feet (1"=100') scale, one depicting SWCA Environmental Consultant's (SWCA) preliminary jurisdictional delineation and two blank copies for your use (Appendix A). Photographs taken with the parcel are attached in Appendix A. Please provide a formal delineation of waters of the U.S. on one of the enclosed blank aerial photographs. SWCA will then make a copy and provide the original to the applicant.

This JWD was completed at the request of Chasse Real Estate & Financial Group in support of the Casa Grande Mountain Ranch development, and SWCA will act as the agent and U.S. Army Corps of Engineers (USACE) point of contact for any necessary Clean Water Act Section 404 permitting at the Parcel. Owners of the Parcel have provided proof of ownership and a letter that designates SWCA as their agent and authorizes the USACE access to the Parcel for field verification of the JWD (Appendix B).

METHODS AND RESULTS

SWCA personnel reviewed an aerial photograph taken in October 2006 and a topographic map of the Parcel and vicinity. SWCA then conducted a field reconnaissance to identify and map, if present, the location of the ordinary high water mark (OHWM) of potential WUS within the Parcel boundary. Federal regulation defines the OHWM as: "...the line on the shore established by the fluctuations of water and indicated by the presence of characteristics such as clear, natural line impressed on the bank, shelving,

changes in the character of soil, destruction of terrestrial vegetation, the presence of litter and debris, and or other appropriate means that consider the characteristics of the surrounding area” (33 CFR 328.3(e)). Additional physical characteristics that the ACOE may consider indicators of the OHWM are listed in Guidance developed by the ACOE.¹

SWCA examined the entire Parcel during our field visit. This included a pedestrian survey of all areas that, when evaluated on the aerial photograph, appeared to potentially convey storm water flow. The drainage areas thought to be potentially jurisdictional were moderately defined on the aerial photograph. During field reconnaissance, the width of the OHWM was measured at regular intervals along the length of each ephemeral drainage on the Parcel that the ACOE might consider WUS. The width and channel characteristics of ephemeral drainages were recorded, and representative photographs were taken for reference at various data points.

The current extent of the parcel is bordered by State Route 84 (SW84) and Mountain Shadows Drive on the north and south, respectively, and by Lamb Road and Interstate 10 (I-10) on the east. The Casa Grande Mountains abut the parcel on the west. Interstate 8 (I-8), traversing east-west, splits the parcel into two segments as it merges with I-10. The parcel totals 1,222 acres.

The Parcel is located within the Lower Colorado River Valley subdivision of the Sonoran desertscrub biotic community, as defined by Brown.² Vegetation in and adjacent to the Parcel consists of disturbed and undisturbed native desert habitat. The Parcel consists of native desert vegetation, with many linear wash areas sloping off the Casa Grande Mountains toward I-8 and I-10. Moderate braiding occurs, and several small associated tributaries along the foothills of the Casa Grande Mountains slope into the Parcel. SWCA determined that all channels observed on the property are considered to be non-jurisdictional due to their lack of connectivity to surrounding wash systems or perennial streams. These washes are isolated from downstream waters because they: 1) terminate in one of two sinks on the Parcel (an abandoned gravel pit³ on the south half, and a stock tank on the north half); 2) dissipate into open sheet flow; or 3) are cut off by Lamb Road or the two interstates that surround the parcel. A segment of the Casa Grande Canal traverses the upper northern edge of the Parcel.

The terrain is both flat (on the northern half of the parcel, sloping between 1 and 3 percent to the north and east) and rugged (on the Casa Grande Mountain foothills, sloping up to 8 percent to the east). There were no perennial surface water features on the Parcel, and no wetland vegetation or stands of deciduous, broad-leaved riparian trees were present anywhere within the Parcel. Descriptions and photos of areas that support non-jurisdiction are listed below. Location maps and an aerial photo referencing the data points and other areas of concern are provided in Appendix A.

After observing the potential areas of concern in and around the property, SWCA determined that no jurisdictional WUS are currently present on-site. The following is a list and description of the potential areas of concern, along with evidence of non-jurisdiction.

Potentially Jurisdictional Areas

SWCA fieldwork indicates no drainages, channels or man made structures on the Parcel meet the criteria for potential WUS. However, several areas of interest, ultimately judge non-jurisdictional are described below. Corresponding data points are located on SWCA’s delineation of the Parcel aerial (Appendix A).

¹ U.S. Army Corps of Engineers: Regulatory Guidance Letter No. 05-02. June 14, 2005.

² Brown, D.E. (ed.). 1994. *Biotic Communities: Southwestern United States and Northwestern Mexico*. Salt Lake City: University of Utah Press. 342 pp.

³ A gravel pit was depicted on the Casa Grande Mountain 7.5’ USGS topographic map. The pit appears to have not been in use for some time (Figure 5).

Data Points 1 and 2: Casa Grande Canal

The Casa Grande Canal (Figure 1) is unlined, trenched, and roughly 30 feet wide. Its banks are elevated slightly from the surrounding areas, which prohibit surface runoff on the Parcel from entering the channel. The result is isolated areas of sheet flow that pond and percolate along the southern bank of the Canal (Figure 2). The Canal itself is property of the San Carlos Irrigation Project, an entity under Bureau of Indian Affairs jurisdiction, which receives irrigation water from Picacho Reservoir and San Carlos Lake. At the time of survey, the Canal was not delivering water.

SWCA does not consider the Canal to be jurisdictional WUS. While originating as surface water, the supply delivered by the Canal is probably not connected to a downstream surface water; rather, it is dispersed and consumptively used for irrigation throughout the San Carlos Irrigation Project area. Furthermore, the Canal itself is under the ownership of a federal entity, and may not be considered part of the project area for the purposes of assessing impacts on jurisdictional WUS.



Figure 1. A downstream view of the Canal, looking west.



Figure 2. Extent of surface flow adjacent to the Canal, which is behind the vegetation.

Data Points 3 and 4: Northern Half of Parcel

The northern portion of the Parcel consists of desert scrub vegetation and a recreational vehicle (RV) park. The majority of surface runoff terminates in the middle of the area, in a depression formerly used for stock watering (Figure 3). I-10 separates storm waters that collect east of the depression from downstream waters (Figure 4). In addition to the isolation from downstream waters, either by the depression or because of the presence of I-10, there is virtually no evidence of ACOE OHWM characteristics on this half of the Parcel. In all cases, there is no connectivity with surrounding areas or downstream waters.



Figure 3. Sheet flow dissipating into the ground and bounded by I-10, which is behind the vegetation to the right.



Figure 4. Depression and confluence of washes from the parcel, including some washes south of I-8.

Data Points 5 through 7: Southern Half of Parcel

There are many washes on the southern half of the Parcel that exhibit OHWM characteristics and that would normally be considered for potential jurisdiction. However, all washes here either dissipate into sheet flow within the Parcel or are channeled to one of the two sinks; most washes terminate in a gravel pit on the southern half of the Parcel (Figure 5); wash channels that avoid this depression pass under I-8 through a culvert by the northwest corner of the Parcel (Figure 6). These washes: 1) end up in the northern depression (see Figure 3); 2) dissipate as sheet flow on the property offsite, through culverts crossing under I-8, to the northwest of the Parcel (Figure 7); 3) or are isolated by I-10. Consequently, there is no perceptible surface connectivity between ephemeral washes beyond the parcel and adjacent properties.



Figure 5: Abandoned gravel pit in the southern portion of the parcel that captures most runoff.



Figure 6: A culvert seen from the extreme northwest portion of the Parcel. Flows from the northern slopes of the Parcel are channeled here and other culverts under I-8 off property, which dissipate to sheet flow.



Figure 7: Resulting offsite dispersion and dissipation of flows from the culvert in Figure 6.

CONCLUSIONS

Based on the evidence collected during field reconnaissance, SWCA does not believe that the ephemeral washes present on the Parcel constitute jurisdictional WUS. As such, any dredge or fill of these washes would not be subject to Section 404 of the CWA; thus, no notification or permits would be required from the ACOE.

Sincerely,

Contact: Attn: Devin Keane
 SWCA
 2120 N. Central Ave. Suite 130
 Phoenix, AZ 85004
 Phone: 602 274-3831 Fax: 602 274-3958
 dkeane@swca.com

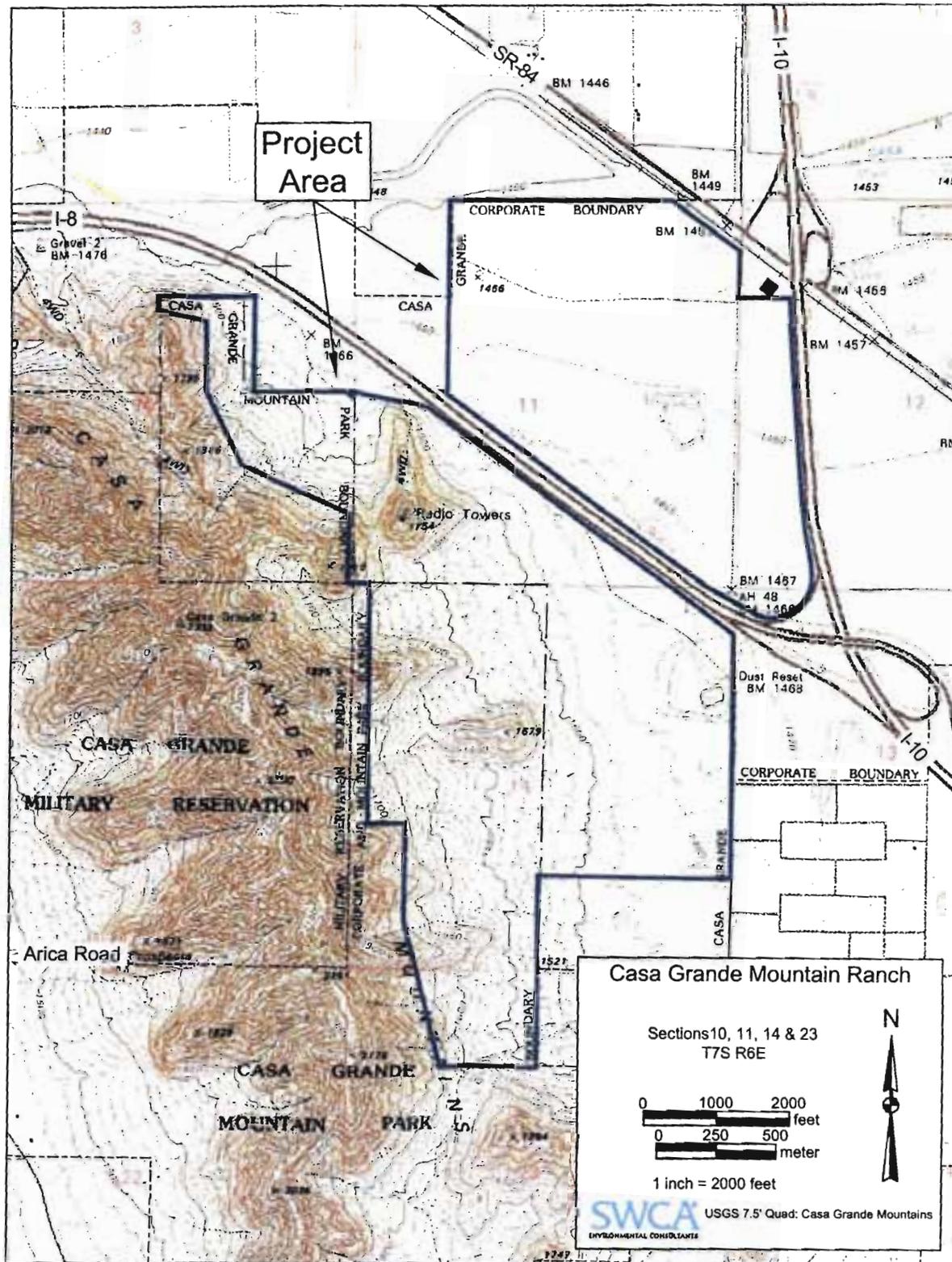


Figure 2. Project area location.

APPENDIX B

**AGENT AUTHORIZATION LETTER AND PROOF OF OWNERSHIP
DOCUMENTATION**

December 1, 2006

U.S. Army Corps of Engineers
Regulatory Section
3636 North Central Avenue, Suite 900
Phoenix, Arizona 85012-1936

Statement of Authorization

As the landowner (Chasse Real Estate & Financial Group), I, George T. Chasse hereby designate and authorize SWCA Environmental Consultants (SWCA) to act on our behalf as the agent for the jurisdictional water delineation application and/or the agent for the Section 404 application under Section 404 of the Clean Water Act and to furnish, upon request, supplemental information in support of this delineation/application. Correspondence related to the project should be directed to SWCA.

I authorize SWCA and the U.S. Army Corps of Engineers to access the project area for purposes of conducting any necessary fieldwork that is required to complete this Permit Application. If there are any questions concerning this authorization, please contact George Chasse at (602) 952-2200.

George T. Chasse
Applicant Name (printed)

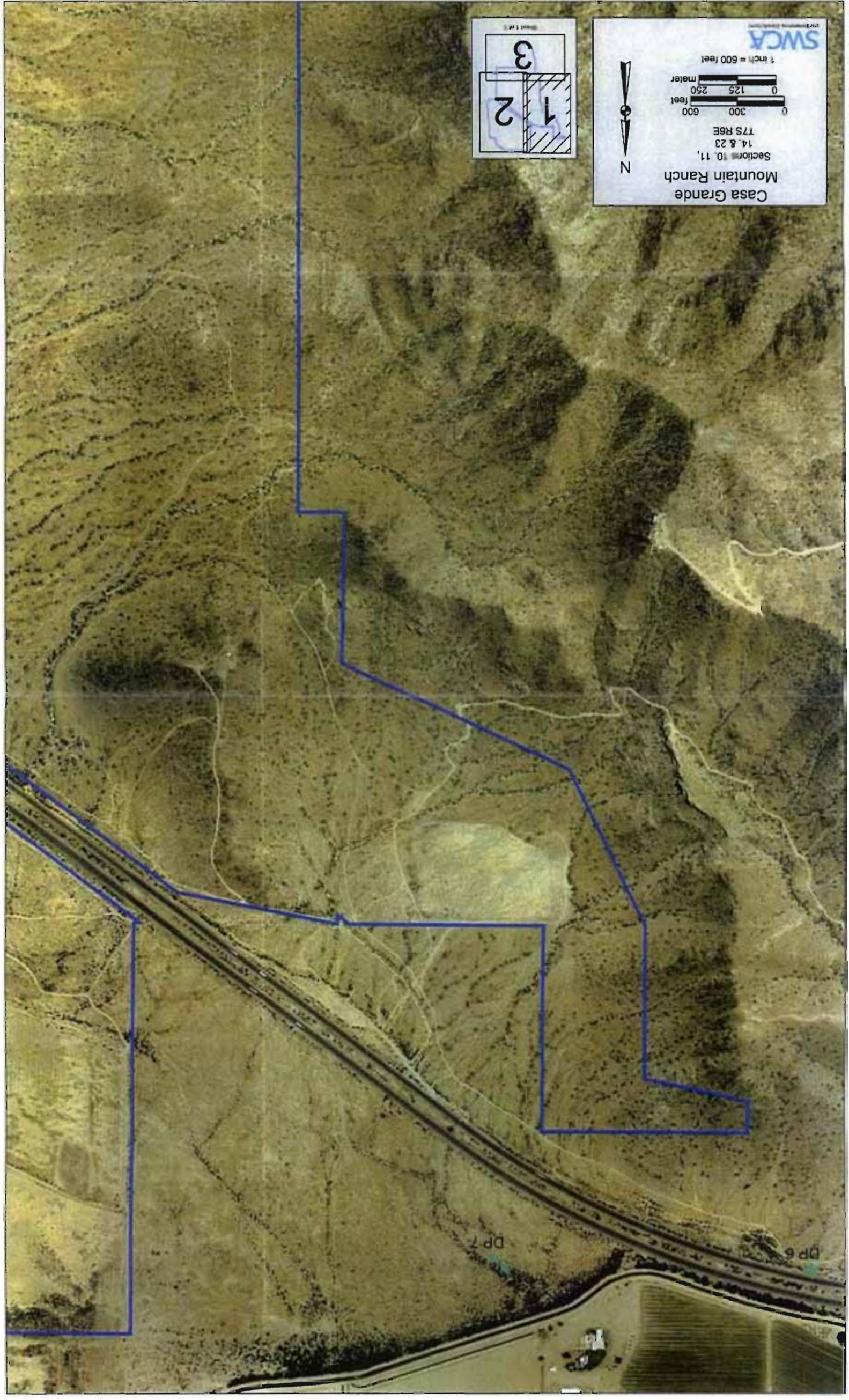
Dec. 1, 2006
Date

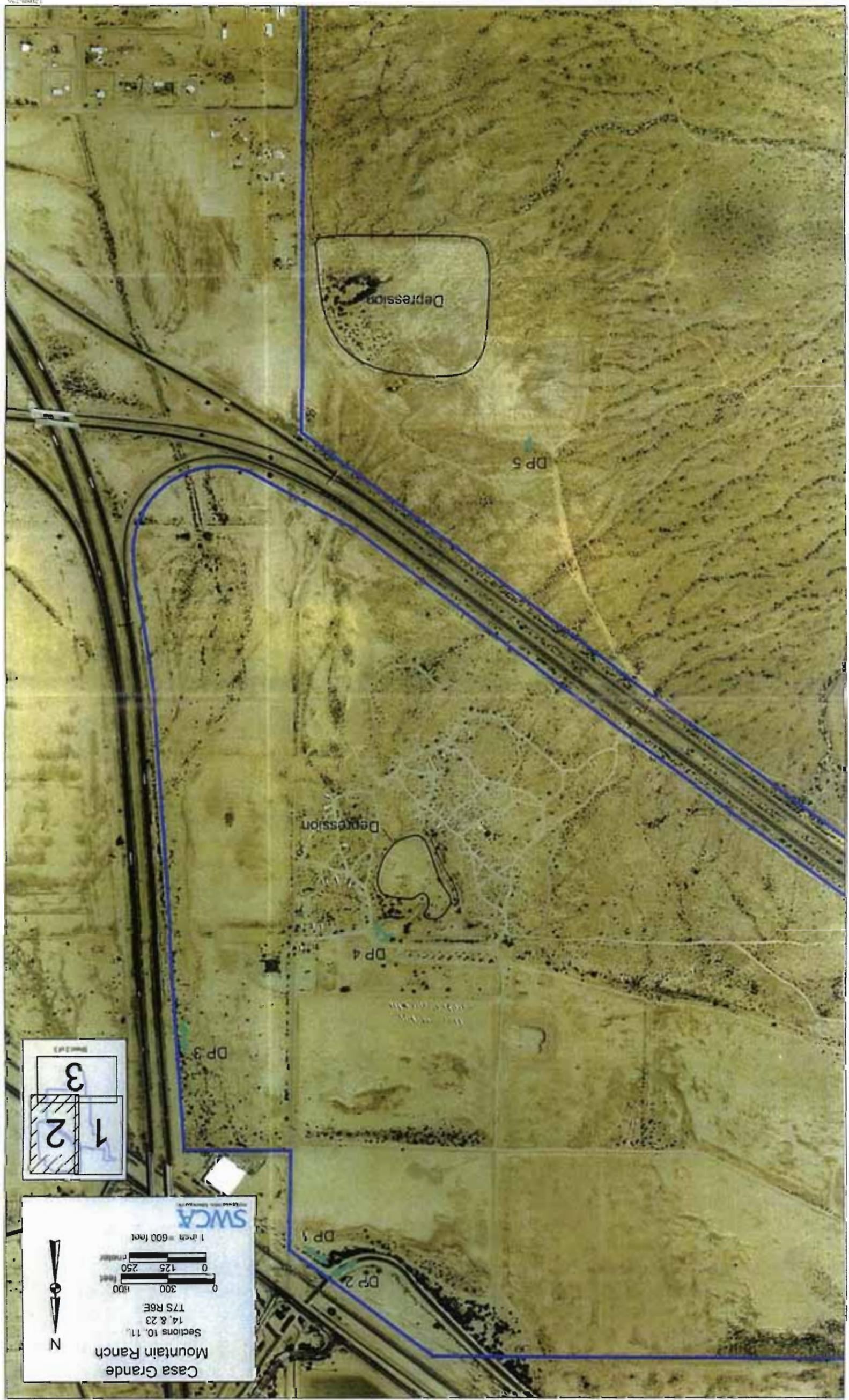
George T. Chasse
Applicant Signature

Pres.
Title

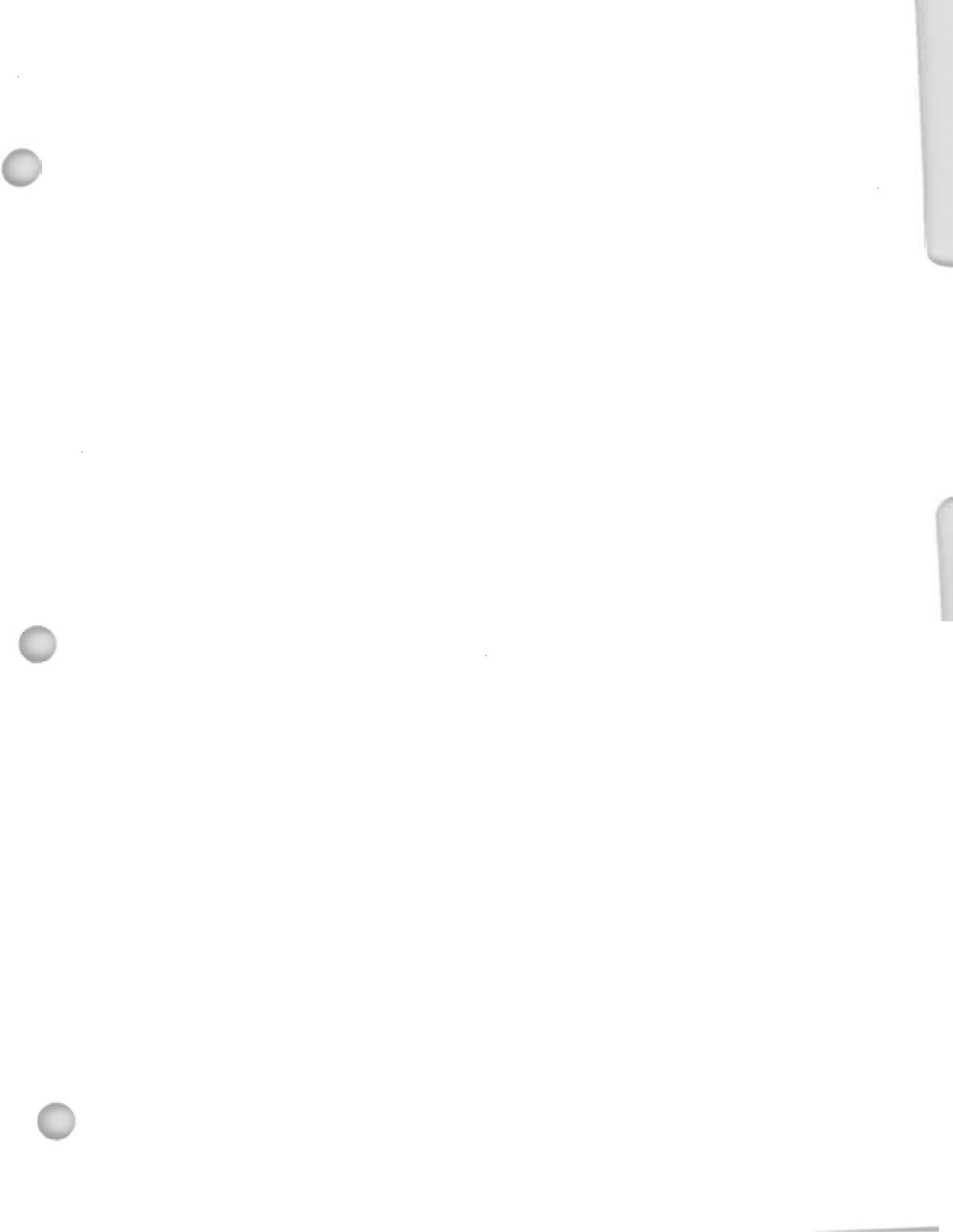
Applicant Company Name (if applicable)

Chasse Real Estate & Financial Group





12/20/11



Casa Grande Elementary Schools

1460 North Pinal Avenue, Casa Grande, Arizona 85222

Telephone: (520) 836-2111

GOVERNING BOARD

Tom Hollenbach, President
Roxy Achen, Member
Jere Hansen, Member
Mitzi Hooper, Member
Dr. John J. Klein, Member

Frank D. Davidson, Ed.D.
Superintendent
Kevin J. Kelty
Administrative Services Manager

December 13, 2006

Jack Gilmore
Gilmore Parsons Land Design Group
2211 N. 7th St.
Phoenix, AZ 85006

Dear Jack:

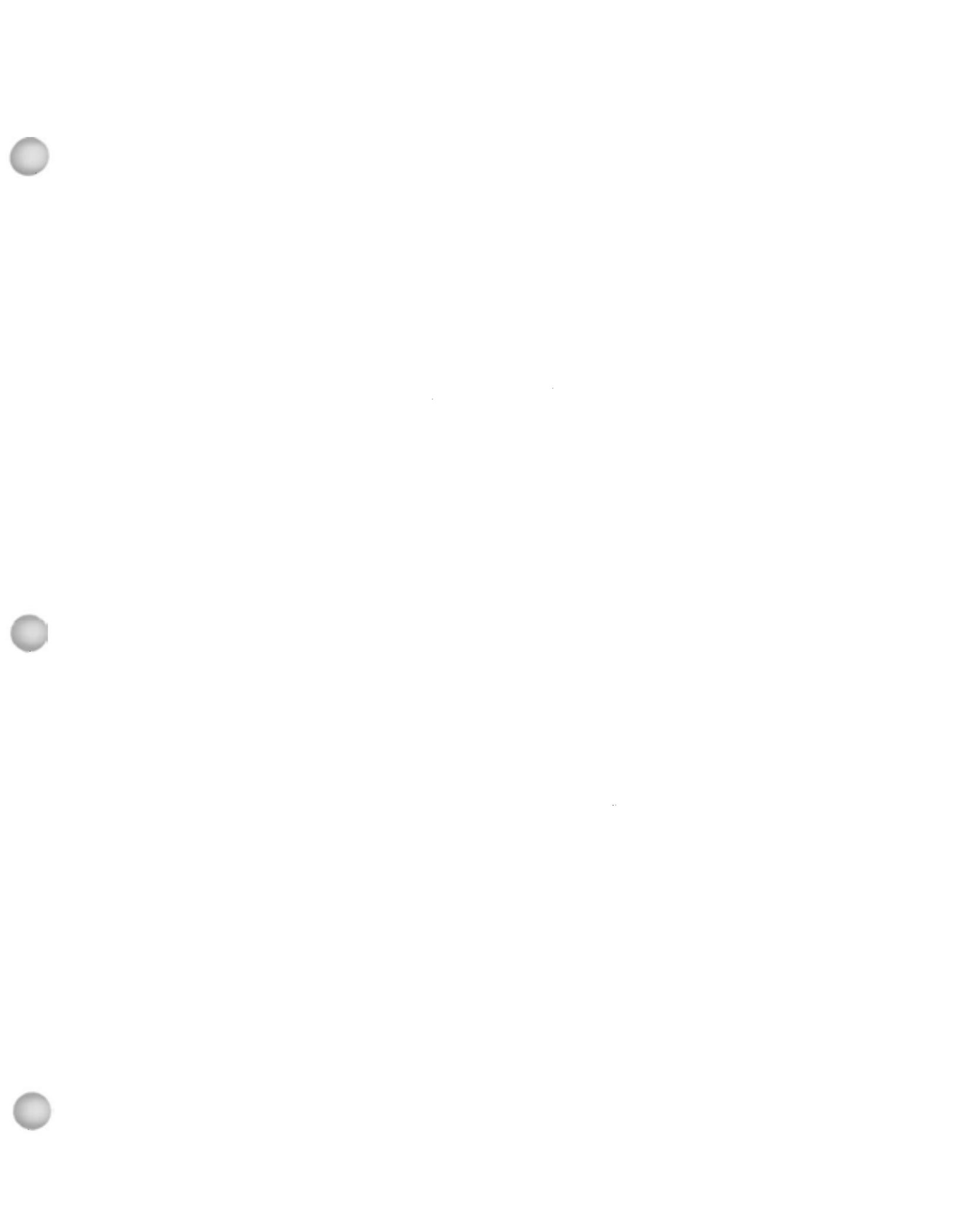
The purpose of this letter is to acknowledge that one school site of no less than a net 12 usable acres within the 2,647-dwelling Casa Grande Mountain Ranch development should meet the needs of the Casa Grande Elementary School District. As the design of this project proceeds, I recommend that consideration be given to how to promote safe student pedestrian access to the school.

On behalf of the Governing Board of the Casa Grande Elementary School District, I would like to express my appreciation to the owner of the property for his willingness to donate this property to the school district for use as a school site. Our existing donation agreements provide that donated properties are deeded to the school district at the time that construction of a school is expected to commence, and I assume that the same would hold true for Casa Grande Mountain Ranch. Accompanying this letter is a draft agreement for your client's consideration.

Sincerely,



Frank Davidson, Ed.D.
Superintendent



ARIZONA WATER COMPANY

3805 N. BLACK CANYON HIGHWAY, PHOENIX, ARIZONA 85015-5351 • P.O. BOX 29006, PHOENIX, ARIZONA 85038-9006
PHONE: (602) 240-6860 • FAX: (602) 240-6878 • WWW.AZWATER.COM

December 11, 2006

Mr. George J. Chasse
Chasse Real Estate & Financial Group
P.O. Box 15267
Phoenix, Arizona 85060

Re: Casa Grande Mountain Ranch

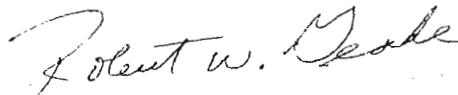
Dear Mr. Chasse:

This letter responds to your October 20, 2006 letter to William M. Garfield, President of Arizona Water Company.

The Company is preparing an application to file with the Arizona Corporation Commission to seek approval to expand its certificated area for the Casa Grande system to include the portion of Casa Grande Mountain Ranch that is not presently located within the Company's certificated area.

As I have informed you in our recent discussions concerning Casa Grande Mountain Ranch, the Company is also preparing to send you an agreement for the extension of water system facilities that must be executed before the application is filed. In addition, the process of having the application considered, heard and approved by the Commission usually takes several months.

Very truly yours,



Robert W. Geake

lar



SOUTHWEST GAS CORPORATION

December 11, 2006

Mr. George Chasse
Chasse Real Estate & Financial Group
P O Box 15267
Phoenix, Arizona 85060

Thank you for your inquiry concerning the availability of natural gas your project located on Jimmie Kerr Blvd & Cox Road, Casa Grande, Arizona.

Natural gas is available to serve this project in accordance with Rule Six as filed with the Arizona Corporation Commission. Southwest Gas Corporation extends facilities based on economic feasibility. Without reviewing a preliminary engineering plan of the project, we cannot at this time determine what fees, if any would be required from the owner/developer. Some large developments may require reinforcement and/or replacement of existing natural gas facilities which would result in higher cost.

Your contact for this project will be Doug Wiltcher, Service Planner, Casa Grande Office. Doug can be reached at (520) 840-0542 or by e-mail: doug.wiltcher@swgas.com. Southwest Gas Corporation appreciates your decision to use natural gas, and look forward to meeting your future energy needs.

Sincerely,

Josie Isom
New Business Representative
Service Planning Department/Casa Grande Office



50 N BROWN AVE • CASA GRANDE, AZ 85222

April 22, 2005

Mr. George Chasse
Chasse Real Estate & Financial Group
P.O. Box 15267
Phoenix, AZ 85060

*RE: Three Phase Power Availability to Casa Grande Mountain Ranch Property
Sections 10, 11, 12, 13, 14 and 23 – Township 7 South, Range 6 East*

Dear Mr. Chasse:

Thank you for the opportunity to provide information regarding electric service to the above mentioned property located north and south of I-8 and west of I-10 in the City of Casa Grande. This referenced area is in Arizona Public Service Company's (APS) electric service area. APS extends our facilities to serve this location in accordance with the "Conditions Governing Extensions of Electric Distribution Lines and Services," Schedule #3, and the "Terms and Conditions for the Sale of Electric Service," Schedule #1, on file with the Arizona Corporation Commission at the time we begin installation for the electric facilities.

To serve your property, our source of three phase power is located just north of the railroad right-of-way approximately one quarter mile west of the north entrance to your property. This overhead feeder line was constructed in 1997 and will be extended southeast upon existing 69 kV poles to service your property. Three phase service, internal to your property, could then be provided underground similar to the existing single phase service currently in existence at the campground.

Prior to construction, an advance payment may be required. The amount of advance payment cannot be determined until an economic feasibility study has been made, based in part on certain information that you will be required to furnish. Once we receive a set of plans from you, we will be able to provide the economic feasibility study, construction plans and trench and transformer pad details. This payment may be refundable and will be detailed in the Extension Agreement.

It is to be understood that this letter is intended for general information only and does not constitute any type of offer or agreement between us. If you have questions, please contact Dennis Lamb at 520-421-8359 or myself at 520-421-8395.

Sincerely,

Jeffrey S. Creedon
Service Planning Section Leader
SE Service Planning

cc: Dennis Lamb - APS



13333 W. Selma Hwy.
Casa Grande, Az. 85222

December 01, 2006

Chasse Real Estate
P.O. Box 267
Phoenix, AZ. 85060
Attn: Mr. George J. Chasse Sr.

Dear Mr. Chasse:

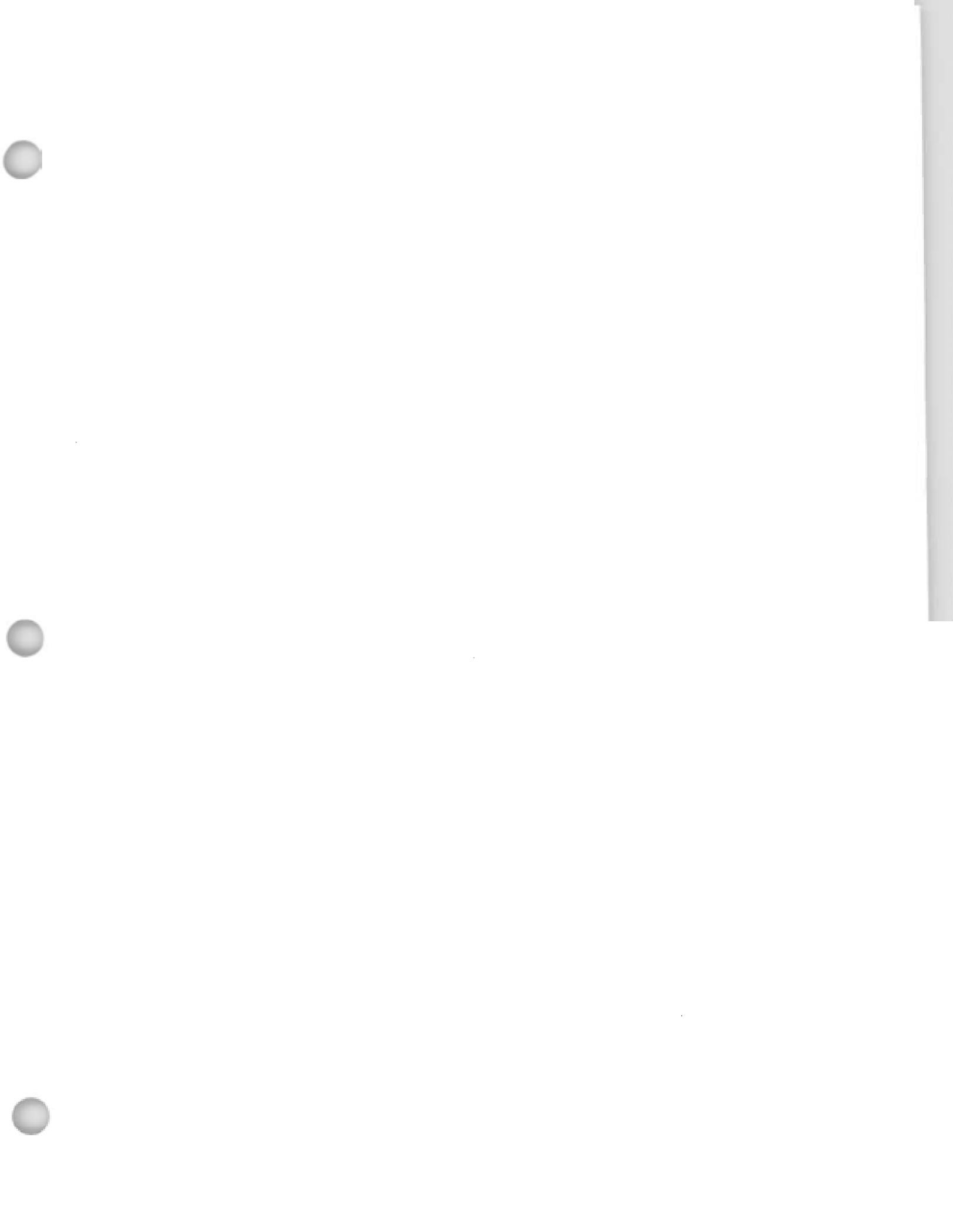
Subject: A parcel of land located in Township 7 South, Range 6 East, Casa Grande, Pinal County, Arizona. The Mixed Use Property is referred to as Casa Grande Mountain Ranch, and is located south of Jimmie Kerr Blvd. and west of Interstate 10.

This letter is in response to your "Service Availability" request for the subject property. The property is in the QWEST serving area, and therefore, service can be provided. The developer will also have specific requirements, which will be forwarded when appropriate. These requirements may be, but are not limited to, utility easements, and trenching on the property being developed. Once all requirements are completed, Qwest service will be available to the subject property on a service order basis, arranged by those who occupy the property.

The Tariff Rates and Regulations prescribed for service to the project are on file with your State Utilities Commission, and may be examined at your local QWEST Business Office. Specific concerns regarding QWEST service to the subject property must be directed to the QWEST Engineer responsible for that area, **Rick Peters (520)-836-1997.**

Sincerely,

Rick Peters
Sr. Design Engineer
QWEST Communications



**LEGAL DESCRIPTION FOR I-10 AND I-8
SOUTH OF INTERSTATE 8 AND WEST OF INTERSTATE 10 TO ACCOMPANY AN A.L.T.A.
SURVEY PREPARED BY COTTRELL ENGINEERING GROUP, INC. AS PROJECT NO. 06026.**

THAT PORTION OF SECTIONS 10, 11, 14 AND 23, TOWNSHIP 7 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST ¼ CORNER OF SAID SECTION 10 WHICH IS A GLO BRASS CAP;

THENCE S 89°55'02" W, 79.37 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING THE NORTHEASTERN MOST POINT OF THAT REAL PROPERTY DESCRIBED IN THE UPPER HALF OF DOCKET 1681 PAGE 362, OF THE RECORDS OF PINAL COUNTY, ARIZONA;

THENCE, CONTINUING S 89°55'02" W ALONG THE NORTH BOUNDARY LINE OF SAID REAL PROPERTY, 1253.75 FEET TO THE NORTHWEST CORNER OF SAID REAL PROPERTY;

THENCE N 00°04'51" E ALONG THE EAST BOUNDARY LINE OF THE PORTION OF REAL PROPERTY DESCRIBED ON THE LOWER HALF OF DOCKET 1681 PAGE 362 OF PINAL COUNTY, ARIZONA, 1317.58 FEET TO THE NORTHEAST CORNER OF SAID PORTION OF REAL PROPERTY;

THENCE S 89°48'27" W ALONG THE NORTH BOUNDARY LINE OF SAID PORTION OF REAL PROPERTY, 1326.21 FEET TO THE NORTHWEST CORNER OF SAID PORTION OF REAL PROPERTY;

THENCE S 00°07'50" E ALONG THE WEST BOUNDARY LINE OF SAID PORTION OF REAL PROPERTY, 201.91 FEET;

THENCE S 78°07'47" E ALONG THE SOUTHWESTERLY BOUNDARY LINE OF SAID PORTION OF REAL PROPERTY, 676.61 FEET;

THENCE S 00°12'19" E ALONG THE WEST BOUNDARY LINE OF SAID PORTION OF REAL PROPERTY, 973.00 FEET;

THENCE S 26°29'26" E ALONG THE SOUTHWESTERLY BOUNDARY LINE OF SAID PORTION OF REAL PROPERTY, 1121.24 FEET;

THENCE S 65°34'59" E ALONG THE SOUTHERLY BOUNDARY LINE OF THE PORTIONS OF REAL PROPERTY DESCRIBED IN DOCKET 1681 PAGE 362 OF PINAL COUNTY, ARIZONA, 1620.95 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 10;

THENCE S 00°31'19" W, ALONG SAID EAST LINE, 962.00 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 10 (THE COMMON POINT OF SECTIONS 10, 11, 14 AND 15) WHICH IS A GLO BRASS CAP, ALSO DESCRIBED AS THE SOUTHWEST CORNER OF PARCEL 6 AS DESCRIBED IN DOCKET 1705 PAGE 990 FROM THE RECORDS OF PINAL COUNTY, ARIZONA;

THENCE S 89°45'15" E, DEPARTING SAID EAST LINE, ALONG THE NORTH LINE OF SAID SECTION 14 AND ALSO DESCRIBED AS THE SOUTH BOUNDARY LINE OF SAID PARCEL 6, A DISTANCE OF 297.47 FEET;

THENCE S 00°19'43" E ALONG THE WEST BOUNDARY LINE OF REAL PROPERTY DESCRIBED IN DOCKET 1681 PAGE 361 AND THE LOWER HALF OF DOCKET 1681 PAGE 360 OF PINAL COUNTY, ARIZONA, DEPARTING SAID NORTH SECTION LINE, 3304.24 FEET TO THE SOUTHWEST CORNER OF SAID REAL PROPERTY DESCRIBED ON THE LOWER HALF OF DOCKET 1681 PAGE 360 OF PINAL COUNTY, ARIZONA;

THENCE N 89°51'42" E ALONG THE SOUTH BOUNDARY LINE OF SAID REAL PROPERTY DESCRIBED ON THE LOWER HALF OF DOCKET 1681 PAGE 360 OF PINAL COUNTY, ARIZONA, 510.99 FEET TO THE NORTHWEST CORNER OF REAL PROPERTY DESCRIBED ON THE UPPER HALF OF DOCKET 1681 PAGE 360 OF PINAL COUNTY, ARIZONA;

THENCE S 00°08'19" E ALONG THE WEST BOUNDARY LINE OF SAID REAL PROPERTY, 1344.99 FEET TO THE SOUTHWEST CORNER OF SAID REAL PROPERTY;

THENCE S 14°27'39" E ALONG THE WESTERLY BOUNDARY LINE OF REAL PROPERTY DESCRIBED IN DOCKET 1681 PAGE 359 OF PINAL COUNTY, ARIZONA, 2060.41 FEET TO THE SOUTHWEST CORNER OF REAL PROPERTY DESCRIBED ON THE UPPER HALF OF SAID DOCKET AND PAGE;

THENCE N 89°58'13" E ALONG THE SOUTH BOUNDARY LINE OF SAID REAL PROPERTY, 1315.83 FEET TO THE SOUTHEAST CORNER OF SAID REAL PROPERTY;

THENCE N 00°02'16" W ALONG THE EAST BOUNDARY LINE OF REAL PROPERTY DESCRIBED IN DOCKET 1681 PAGE 359 OF PINAL COUNTY, ARIZONA, 1334.86 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION 23;

THENCE N 00°15'03" W ALONG EAST BOUNDARY LINE OF REAL PROPERTY AS DESCRIBED ON THE LOWER HALF OF DOCKET 1681 PAGE 359 AND THE UPPER HALF OF DOCKET 1681 PAGE 360 OF PINAL COUNTY, ARIZONA, 1325.64 FEET TO THE SOUTHWEST CORNER OF PARCEL 1 AS DESCRIBED IN DOCKET 1705 PAGE 989 OF PINAL COUNTY, ARIZONA;

THENCE S 89°47'28" E ALONG THE SOUTH BOUNDARY LINE OF SAID PARCEL 1, A DISTANCE OF 2632.70 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 14 ALSO DESCRIBED AS THE SOUTHEAST CORNER OF SAID PARCEL 1;

THENCE N 00°11'22" W, ALONG SAID EAST LINE ALSO DESCRIBED AS THE EAST BOUNDARY LINES OF PARCELS 1 AND 4 DESCRIBED IN DOCKET 1705 PAGE 989, A DISTANCE OF 3359.93 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF ARIZONA INTERSTATE 8 DESCRIBED IN DOCKET 653 PAGE 636 OF PINAL COUNTY, ARIZONA;

THENCE N 53°51'02" W, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 5219.10 FEET TO AN ANGLE POINT OF SAID SOUTHERLY RIGHT-OF-WAY LINE;

THENCE N 79°13'06" W, 1056.21 FEET TO THE EAST ¼ CORNER OF SAID SECTION 10 WHICH IS A GLO BRASS CAP;

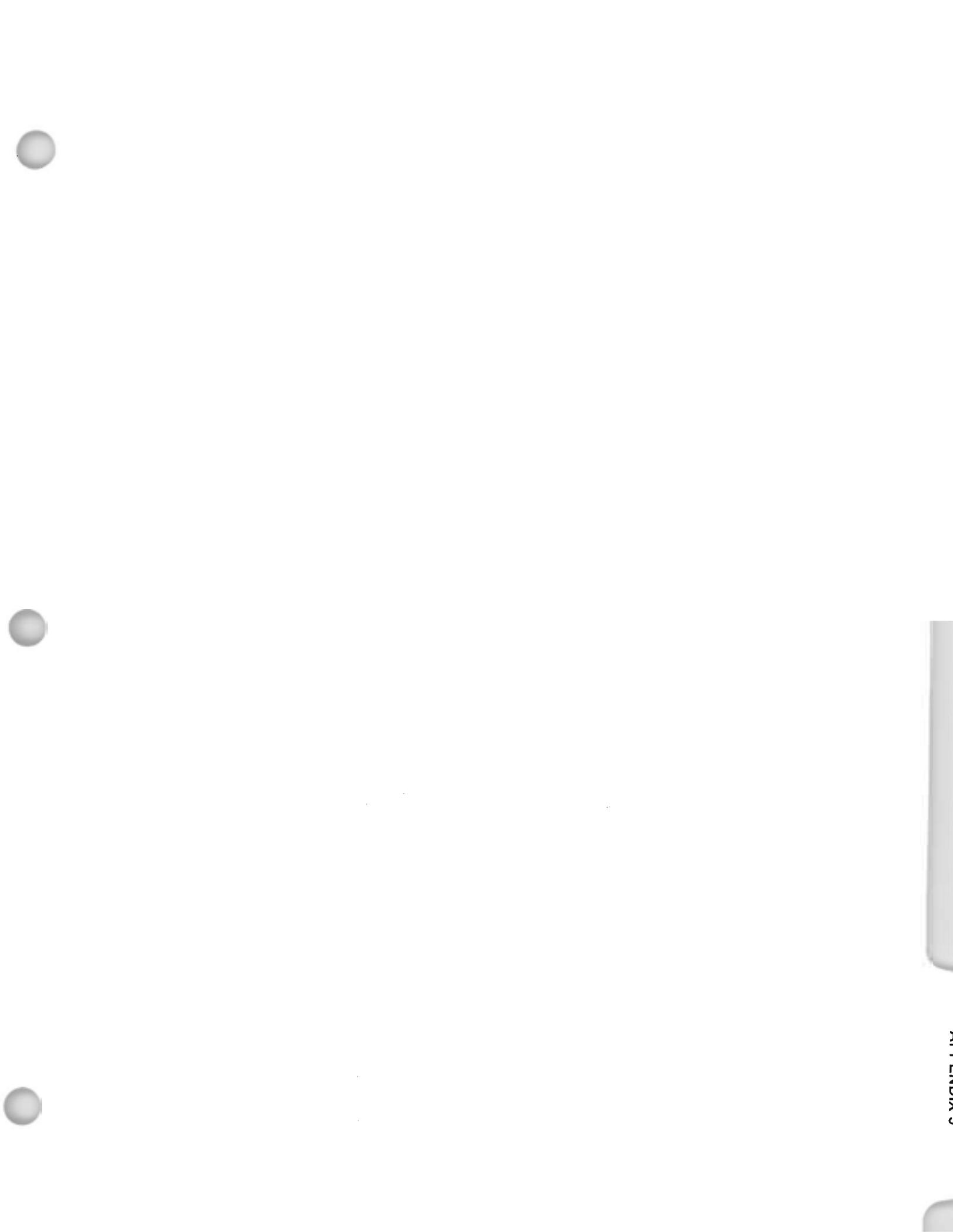
THENCE S 00°31'19" W, DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG THE EAST LINE OF SAID SECTION 10 ALSO DESCRIBED AS THE WEST BOUNDARY LINE OF PARCEL 6 DESCRIBED IN DOCKET 1705 PAGE 990 OF PINAL COUNTY, ARIZONA, 58.92 FEET;

THENCE N 53°16'46" W, DEPARTING SAID EAST LINE, 98.35 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM AN UNDIVIDED 1/16th OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES, COAL OR STONE, METALS, MINERALS, FOSSILS AND FERTILIZER OF EVERY NAME AND DESCRIPTION, TOGETHER WITH ALL URANIUM, THORIUM, OR ANY OTHER MATERIAL WHICH IS OR MAY BE DETERMINED BY THE LAWS OF THE STATE, THE UNITED STATES OR DECISIONS OF COURTS TO BE ESSENTIAL TO THE PRODUCTION OF FISSIONABLE MATERIALS, WHETHER OR NOT OF COMMERCIAL VALUE AS IT AFFECTS THE ORIGINAL REAL PROPERTIES IN DOCKET 1705 PAGE 989;

AND ALSO EXCEPT ALL MINERALS AS RESERVED IN THE PATENTS TO SAID LAND;

AND ALSO EXCEPT THE DESIGNATED COUTNY ROADWAYS SHOWN IN DOCKET 375, PAGE 572 AFFECTING VARIOUS WIDTHS ALONG SAID SECTION LINES.





City of Casa Grande

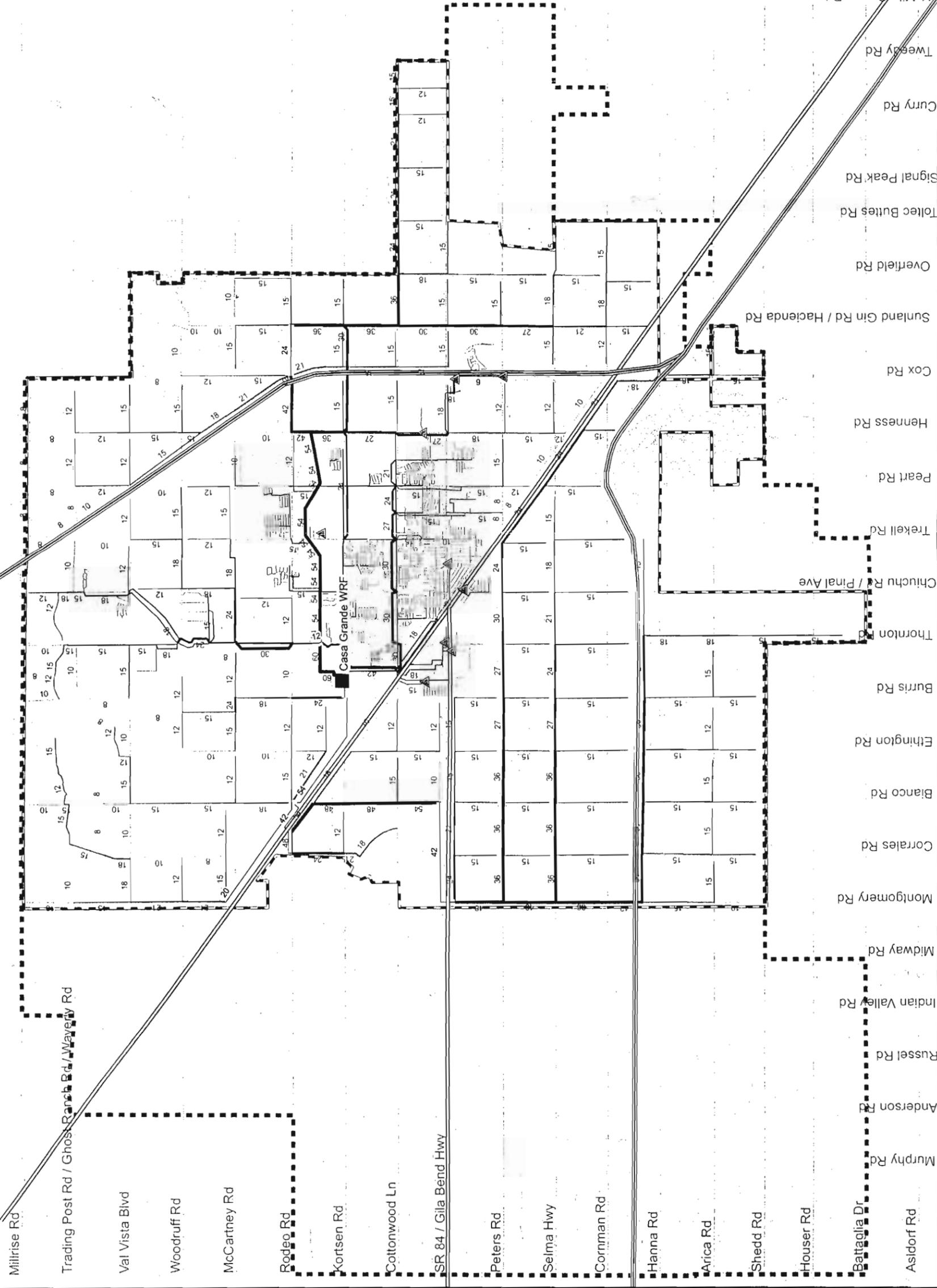


Legend

- Existing Lift Station
- Existing Water Reclamation Facility
- Future Gravity Main
- Force Main
- Planning Boundary
- Existing Pipes**
- Smaller than 12"
- 12"
- 15"
- 18"
- 21"
- 27"
- 30"
- 36"
- 42"
- Interstate
- State Highway
- Contours (5ft Interval)
- Option 4 Service Area

Notes:

- (1) The data represented in this map is based on information obtained from the City of Casa Grande.
- (2) This GIS map is a limited representation of facilities intended for planning purposes only. It is not intended for construction or other purposes requiring greater positional accuracy.



Millrise Rd
 Trading Post Rd / Ghost Ranch Rd / Waverly Rd
 Val Vista Blvd
 Woodruff Rd
 McCartney Rd
 Rodeo Rd
 Kortsen Rd
 Cottonwood Ln
 SR 84 / Gila Bend Hwy

Peters Rd
 Selma Hwy
 Cornman Rd
 Hanna Rd
 Arica Rd
 Shedd Rd
 Houser Rd
 Battaglia Dr
 Asidorf Rd
 Anderson Rd
 Russell Rd
 Indian Valley Rd
 Midway Rd
 Montgomery Rd
 Corrales Rd
 Blanco Rd
 Ethington Rd
 Burris Rd
 Thornton Rd
 Chichu R / Pinal Ave
 Trekell Rd
 Peart Rd
 Henness Rd
 Cox Rd
 Sunland Gin Rd / Hacienda Rd
 Overfield Rd
 Tollec Buttes Rd
 Signal Peak Rd
 Curry Rd
 Tweedy Rd
 11 Mile Corner Rd

CASA GRANDE PROPOSED BOUNDARIES AND COLLECTION SYSTEM

October 2006