

# Casa Grande Crossings

## Development Guide For a Planned Area Development Located at the Southwest Corner of Florence Boulevard and Interstate-10

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# **Casa Grande Crossings**

## **Development Guide for a Planned Area Development**

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# **Casa Grande Crossings**

## **Development Guide for a Planned Area Development**

### **EXHIBITS**

<b>Exhibit</b>	<b>Description</b>
1	Vicinity Map
2	Preliminary Planned Area Development Plan
3	Conceptual Open Space and Common Area Plan
4	Conceptual Trail Plan
5	Typical Street Cross-Sections
6	Conceptual Master Wall Plan
7	Conceptual Wall Elevations
8	Conceptual Landscape Plan
9	Conceptual Playground Plan

### **APPENDICES**

<b>Appendix</b>	<b>Description</b>
A	Boundary Map
B	Topography Map
C	Single-Family & Multi-Family Residential Design Standards
D	Commercial/Office/Light Industrial Design Standards
E	General Development Plan
F	Recommended Landscape Palette

# Casa Grande Crossings

## Development Guide for a Planned Area Development

### 1.0 Purpose of Request

The Casa Grande Crossings project site is located within a portion of the northeast quarter of Section 26, Township-6-South, Range-6-east, G. & S.R.M., which is situated in the City of Casa Grande, Arizona. Casa Grande Crossings project consists of 247.29 acres, and is south of Florence Boulevard. (State Route 287), and west of and adjacent to Interstate 10 / Cox Road.

The project is located east of and approximately 4 1/2 miles from the downtown business district of Casa Grande. The primary vehicular access to the project site is provided by Camino Mercado Boulevard, and by way of State Route 287, also known as Florence Boulevard.

This Development Guide is being submitted to the City of Casa Grande as a supplement to the Zoning application and is intended to demonstrate the quality of subdivision design and housing product intended for the new community. Casa Grande Crossings will be developed as a high quality, mixed-use community as this document will illustrate.

The purpose of the zoning application is to request a zone change for the Casa Grande Crossings site from UR (Urban Ranch) to Planned Area Development (PAD) zoning for proposed residential, commercial, office and light industrial land uses.

## 2.0 Land Use Plan/Development Plan/Project Description

The Developer is proposing a high quality, mixed-use community within the City of Casa Grande. It has been designed with three residential land use categories, offering a mix of housing opportunities and lifestyles within one community. Parcel #2 will contain single family residential lots with a minimum area of 5,000 square feet. Parcel #3 will contain multi-family residential with a maximum of 15.3 units per acre. Parcels #4 through #8 will contain single family residential lots with a minimum area of 7,000 square feet.

The breakdown of land uses for this PAD is further defined below:

### LAND USE:

GROSS ACREAGE: 247.29 Acres

NET ACREAGE 224.64 Acres

P.A.D. – Parcel #1 (Commercial):	12.79 Acres
P.A.D. – Parcel #2 (Single Family Residential):	16.50 Acres
P.A.D. – Parcel #3 (Multi-Family Residential):	14.39 Acres
P.A.D. – Parcel #4 (Single Family Residential):	12.64 Acres
P.A.D. – Parcel #5 (Single Family Residential):	22.66 Acres
P.A.D. – Parcel #6 (Single Family Residential):	15.22 Acres
P.A.D. – Parcel #7 (Single Family Residential):	20.34 Acres
P.A.D. – Parcel #8 (Single Family Residential):	28.85 Acres
P.A.D. – Parcel #9 (Commercial / Office):	13.33 Acres
P.A.D. – Parcel #10 (Commercial / Office):	17.42 Acres
P.A.D. – Parcel #11 (Office):	11.22 Acres
P.A.D. – Parcel #12 (Office):	10.96 Acres
P.A.D. – Parcel #13 (Light Industrial / Office):	14.63 Acres
P.A.D. – Parcel #14 (Light Industrial / Office):	13.69 Acres

OPEN SPACE: 33.70 Acres

ELEMENTARY SCHOOL SITE: 6.0 Acres

PERCENTAGE OF OPEN SPACE (Net): 15.0 %

# ALLOCATION OF LAND USES FOR CASA GRANDE CROSSINGS

The proposed allocation of land uses, expressed in acres and as a percentage of the area, as follows:

## SITE DATA

### PAD PARCEL TABLE

Parcel No.	Lot Size (min.) Single Family Res.	Average Lot SF +	Gross Acres	Estimated Lot/Units ++	Gross DU/AC	O.S./R Acres
Parcel 2	50'X110' Lots	5,500	16.5	76	4.6	3.73
Parcel 4	60'X117' Lots	7,020	12.64	39	3.1	2.28
Parcel 5	60'X117' Lots	7,020	22.66	74	3.3	6.47
Parcel 6	70'X115' Lots	8,050	15.22	57	3.7	2.01
Parcel 7	70'X115' Lots	8,050	20.34	67	3.3	4.31
Parcel 8	65'X110' Lots	7,150	28.85	115	4.0	3.85
<b>Total</b>				<b>428</b>		<b>22.65</b>
Parcel No.	Parcel Type		Gross Acres	Estimated Lots/Units	Gross DU/AC	O.S./R Acres
Parcel 3	Multi-Family		14.39	207	14.4	1.97
	School Site		6			
<b>Total</b>				<b>635</b>		
Parcel No.	Parcel Type		Gross Acres			O.S./R Acres
Parcel 1	Commercial		12.79			1.07
Parcel 9	Commercial/Office		13.33			1.73
Parcel 10	Commercial/Office		17.42			1.81
Parcel 11	Office		11.22			1.17
Parcel 12	Office		10.96			0.95
Parcel 13	Lt. Industrial/Office		14.63			1
Parcel 14	Lt. Industrial/Office		13.69			1.35
<b>Total</b>						<b>9.08</b>

+ No more than 25% of the total SF lots will be less than 7,000 square feet.

++ An exact lot/unit count cannot be determined until the final plat is approved. This figure represents a maximum estimated lot/unit count.

## 2.1 Residential Development

The residential portion of Casa Grande Crossings will consist of no more than 635 dwelling units (428 Single Family Residential Lots and 207 Multi-Family Units) on approximately 130.6 net acres, for an overall residential density of 4.85 Du/Ac. The net density for Casa Grande Crossings is 2.82 Du/Ac.

### **SINGLE FAMILY RESIDENTIAL, PARCELS #4 - #8:**

	<u>P.A.D. REQUIREMENTS</u>
MAXIMUM BUILDING HEIGHT:	28 FT. (two story)
MINIMUM LOT AREA:	7,000 S.F.
MINIMUM LOT WIDTH:	60 FT.
MINIMUM LOT DEPTH:	110 FT.
MINIMUM FRONT YARD (B.S.L.)	20 FT. (15' for side entry garages)
MINIMUM REAR YARD (B.S.L.)	20 FT.
MINIMUM SIDE YARD (B.S.L.)	5 FT./10 FT.*
MINIMUM SIDE CORNER YARD (B.S.L.):	20 FT. (may include 10' adjacent L.S. tract)
MINIMUM PERIMETER PAD SETBACK:	25 FT.

\* A minimum of a 15' separation will be provided between a multi-story home and any other home

### **SINGLE FAMILY RESIDENTIAL, PARCEL #2:**

	<u>P.A.D. REQUIREMENTS</u>
MAXIMUM BUILDING HEIGHT:	25 FT. (one story)
MINIMUM LOT AREA:	5,000 S.F.
MINIMUM LOT WIDTH:	50 FT.
MINIMUM LOT DEPTH:	110 FT.
MINIMUM FRONT YARD (B.S.L.)	20 FT. (15' for side entry garages)
MINIMUM REAR YARD (B.S.L.)	20 FT.
MINIMUM SIDE YARD (B.S.L.)	5 FT.*
MINIMUM SIDE CORNER YARD (B.S.L.):	20 FT. (may include 10' adjacent L.S. tract)
MINIMUM PERIMETER PAD SETBACK:	25 FT.

### **MULTI-FAMILY RESIDENTIAL, PARCEL #3:**

	<u>P.A.D. REQUIREMENTS</u>
MAXIMUM BUILDING HEIGHT:	35 FT. (two story)
MINIMUM FRONT YARD (B.S.L.)	20 FT.
MINIMUM REAR YARD (B.S.L.)	20 FT.
MINIMUM SIDE YARD (B.S.L.)	20 FT.
MINIMUM INTERIOR BUILDING SEPARATION:	20 FT.
MAXIMUM DENSITY – 15.3 UNITS PER ACRE	
MINIMUM PERIMETER PAD SETBACK:	N/A

## **2.2 Residential Subdivision Design**

The Developer's goal is to design a community with visual interest and distinctive character and identity. The design of the subdivision is critical to the success of a "visually diverse" community. Casa Grande Crossings has been designed with numerous cul-de-sacs, curvilinear streets, and centralized, useable and highly visible open space. The local streets are designed in a discontinuous manner so as to discourage cut-through traffic and as a traffic calming measure. Cul-de-sacs and short loop roads have been designed extensively to create mini-neighborhoods within the overall community. To maximize visual impact for the overall community, some local streets are single-loaded adjacent to open space areas. In addition, to encourage the use and supervision of shared open space, many cul-de-sacs open-up to and roads terminate with views into open space areas. The collector streets allow easy access to the various neighborhoods. Major access into Casa Grande Crossing from Florence Boulevard is designed with a generous landscape, which incorporates the drainage tracts. Most corner lots are designed with a landscape tract adjacent to the street to be maintained by the homeowners' association. This will improve the overall appearance of the community as well as create a unifying theme. In addition, the Developer has designed attractive entry monumentation and theme wall design as illustrated within this document.

Approximately 33.7 acres of open space is proposed within Casa Grande Crossings to be landscaped as inviting recreational areas and pedestrian corridors. This open space equates to 15% of the total site (net). The open space areas were designed to convey drainage through the site as well as being strategically located for high visibility. The open spaces are connected by 10-foot multi-use concrete paths and 5' wide concrete walks which serve to physically and visually tie the neighborhoods together as a community (refer to Exhibit 4).

A number of recreational amenities will be provided, as illustrated within this document. Proposed amenities are centralized as much as possible and include two children's play areas and picnic areas. The landscape design concept for the open space areas will include the use of shade trees, shrubs, ground cover, and areas of turf for passive recreation. Plant material selections reflect the native vegetation of Arizona and are drought tolerant.

## **2.3 Commercial Center Development**

Approximately 12.79-acres (gross) of the site, Parcel #1 at the proposed Collector Street "A" and Florence Boulevard is proposed for a commercial center with uses similar in intensity and characteristics to the B-2 (General Business) and CO (Commercial Office) zoning districts. Uses in the commercial parcel will be limited to indoor retail, office, and professional service uses allowed in the City's B-2 and CO zoning districts. The indoor requirements shall not exclude incidental outdoor eating areas or drive-throughs associated with an otherwise allowable use. Setbacks and building heights will be consistent with the City of Casa Grande's B-2 (General Business) zoning district, and as discussed below.

The exact layout and site plan of the commercial portion of the development is not known at this time. The development of any portion or phase of this commercial center will undergo the Major Site Plan review process. The Major Site Plan review process, which involves review and recommendation by the Planning Department staff and review and approval by the Casa Grande Planning and Zoning Commission, addresses issues such as site design and layout, building design and appearance, access, signs, lighting, landscaping, parking arrangement, etc.

As a basis for the development of the commercial center site, the following development performance standards will be applied for any phase or portion of the development (additional requirements are provided in Appendix D):

- All buildings and structures within the commercial center will use exterior treatments and colors designed to be compatible with the adjacent commercial and residential development.
- All four exterior elevations of any detached building will be finished.
- Circulation areas, parking areas, loading areas and trash dumpster enclosures may be placed in the setback area, but will maintain a minimum 15-foot setback.
- Decorative screen walls and landscaping will be utilized to buffer this commercial use from surrounding residential uses.
- Trash compactors and loading areas will be located and screened so as to minimize potential noise to adjacent residential uses.
- A coordinated landscape plan and landscaping theme will be utilized throughout the entire commercial center site.
- Driveway locations and roadway improvements will be determined in cooperation with the City of Casa Grande.
- Continuous vehicular connectivity via cross-access easements and shared parking is required within the commercial parcel. Parking and loading requirements will be in accordance with Zoning Ordinance requirements (including provisions for handicapped-accessible spaces).
- All on-site circulation, drive areas and parking areas are to be paved and landscaped, with concrete vertical curbing provided. Parking area screening will be in accordance with City of Casa Grande requirements.
- Sign structures will be designed to be compatible with the buildings within the commercial shopping center. Detached signs will be limited to low profile, monument-style signs. A Comprehensive Sign Guide, meeting the approval of the City Planning and Zoning Commission, will be submitted at the time of the first site plan for the commercial site.
- On-site lighting will be designed so as to not 'fall' onto adjacent residential uses.

## **2.4 Commercial / Office, and Light Industrial Development**

Approximately 81.25 acres (gross), Parcels 9-14 are proposed for uses similar in intensity and characteristics to the B-2 (General Business), CO (Commercial Office), and I-1 (Light Industrial) zoning districts. Uses on these parcels will be limited to those listed in Appendix D.

The exact layout and site plan for the commercial, office, and light industrial portion of the development is not known at this time. The development of any portion or phase of the commercial/office and light industrial parcels will undergo the Major Site Plan review process. The Major Site Plan review process, which involves review and recommendation by the Planning Department staff and review and approval by the Casa Grande Planning and Zoning Commission, addresses issues such as site design and layout, building design and appearance, access, signs, lighting, landscaping, parking arrangement, etc.

As a basis for the development of the commercial, office, and light industrial sites, the following development performance standards will be applied for any phase or portion of the development (additional requirements are provided under the use and design standards section in this Guide):

- All buildings and structures within the commercial center will use exterior treatments and colors designed to be compatible with the adjacent residential development.
- All four exterior elevations of any detached building will be finished.
- Minimum I-1 setbacks will be utilized. Circulation areas, parking areas, loading areas and trash dumpster enclosures may be placed in this setback area, but will maintain a minimum 15-foot setback.
- The site will be screened from residential uses with a decorative screen wall and landscaping.
- Trash compactors and loading areas will be located and screened so as to minimize potential noise to adjacent residential uses.
- A coordinated landscape plan and landscaping theme will be utilized throughout the entire commercial center site.
- Driveway locations and roadway improvements will be determined in cooperation with the City of Casa Grande.
- Continuous vehicular connectivity via cross-access easements and shared parking is required within the parcels. Parking and loading requirements will be in accordance with Zoning Ordinance requirements (including provisions for handicapped-accessible spaces).
- All on-site circulation, drive areas and parking areas are to be paved and landscaped, with concrete vertical curbing provided. Parking area screening will be in accordance with City of Casa Grande requirements.
- Sign structures will be designed to be compatible with the buildings within the commercial, office, and light industrial sites. Detached signs will be limited to low profile, monument-style signs. A Comprehensive Sign Guide, meeting the approval of the City Planning and Zoning Commission, will be submitted at the time of the first site plan for the commercial site. If approved as part of the

Comprehensive Sign Guide, taller, detached signs for interstate visibility may be permitted.

## **2.5 Open Space**

Designated open space shall include 33.7 acres, which will be landscaped as inviting recreational areas and pedestrian corridors. This open space equates to 15% of the total site (net). The open space is centralized as much as possible for maximum use by the residents of Casa Grande Crossings and strategically located for high visibility.

These open spaces are connected by a 10-foot wide concrete multi-use pathway and 5-foot wide concrete walkways, which meander through the open space corridors. This trail system serves to physically and visually link the neighborhoods together as a community. The internal path (10 foot wide) and walkway (5 foot wide) network will be designed to provide safe and convenient connections/linkages to all open space amenities, open-ended cul-de-sacs, and the commercial center. All walkways and paths will be constructed and designed to AASHTO standards and the recommendations of the City Engineer and Planning Director. All paths and walks shall be covered by pedestrian public access easements, where deemed necessary by the Planning Director and City Engineer.

A number of recreational amenities will be provided as illustrated on the landscape plan. Proposed amenities are centralized as much as possible and include two children's tot lots, picnic areas, and turf areas for passive recreation.

The landscape design concept for the open space areas will include the use of shade trees, shrubs, ground cover, and areas of turf for passive recreation. Plant material selections reflect the native vegetation of Arizona and are drought tolerant. A final landscape and open space amenity plan, meeting the approval of the City's Planning and Development Director, shall be submitted prior to the approval of any Final Subdivision Plats for the site.

The open space areas were designed to retain storm water generated on the site as well carry off-site drainage through the site. These retention basins will utilize varied side slopes, varied plant massing and curvilinear pedestrian pathways in order to make the basins pleasant open spaces and recreational areas. At least 15% of the retention basins that are designed for recreational usage will be elevated above the 25-year flood water surface elevation.

## **3.0 Relationship to City of Casa Grande General Plan**

The subject site was included as part of the General Plan Update, on August 21, 1995. The site includes several different land uses, as designated within the Casa Grande General Plan. These existing land use designations are Low Density Residential (UR), Agricultural (UR) and Community Business (CB). A General Plan Amendment has been submitted under separate cover to request the appropriate land use designations for Casa Grande Crossings.

#### **4.0 Existing Site Conditions**

The project site is an agricultural parcel. According to the U.S.G.S. datum and topography, the property ranges in elevation from 1418 feet at the northwest end of the site to 1430 feet above sea level at the southeast end of the site. The topography indicates that a major portion of the site does not have a significant slope, and the main runoff is generally shallow and sheet flows northwest through the site.

The site is bounded on the north by Florence Boulevard, a section line roadway designated by the City as a Major Arterial and on the east by Interstate-10 / Cox Road. The land use to the west and south is agricultural.

Existing electrical transmission lines owned by APS and Electric District No.2 are located along Florence Boulevard and along the south property line, also known as Earley Road. As of this application, the voltage rating for these power lines has not been established. The City of Casa Grande has an existing 12-inch sewer trunk line located in Florence Boulevard running east to west to the City's sewage treatment plant. Arizona Water Company has a 24-inch D.I.P. trunk water line located along Florence Boulevard as well as an 8-inch distribution line located in Camino Mercado Boulevard.

#### **5.0 Relationship to Surrounding Properties**

The primary character of the existing area is agricultural. The site is bounded on the north by Florence Boulevard, a section line roadway designated by the City as a Major Arterial and on the east by Interstate 10 / Cox Road. The Casa Grande Mercado retail and office subdivisions have been developed by the Developer at the southwest corner of Florence Boulevard and Interstate 10 / Cox Road. The land use to the west is agricultural, similar to the project parcel and has been planned as the Sonoran Heights Planned Area Development with 710 single-family units. The land use to the south is agricultural, similar to the project parcel and also been planned as the Casa Grande 320, a Planned Area Development with 1148 single family units.

#### **6.0 Accessibility**

The principal access to Casa Grande Crossings is from Florence Boulevard, which is a paved major arterial four-lane roadway to the north of the site.

## **7.0 Circulation System and Street Improvements**

Final traffic reports and improvement plans, meeting the approval of the City Engineer are required prior to the recording of the Final Subdivision Plats for this project. This study will determine the traffic impact of this project and any need for additional traffic and roadway improvements that the developer or builder will be required to provide and/or be partially financially responsible for, based on the amount of traffic generated by Casa Grande Crossings. A Traffic Impact Analysis will be submitted to the City with this document under separate cover.

The developer or builder will be responsible for the engineering and construction of local streets and cul-de-sacs within Casa Grande Crossings to City standards. The developer or builder will dedicate 44-foot right-of-way for local streets. Local street improvements will include paving, curb, gutter and an attached 4-foot wide sidewalk on both sides of the rights-of-way (see cross-section). The developer or builder will also be responsible for the engineering and construction of arterial and collector roadways to City Standards and as shown in the enclosed cross-sections as Exhibit 5. All cross-sections are subject to final traffic analysis and the recommendations of the City Engineer. As each tract or parcel is developed, the developer or homebuilder will be responsible for their half-street improvements. Upon completion of construction, maintenance of improvements within rights-of-way, including medians, but excluding landscaping adjacent to rights-of-way, will be the responsibility of the City of Casa Grande.

## **8.0 Public Facilities**

The City of Casa Grande will provide police and fire protection. Refuse collection will also be provided by the City of Casa Grande.

Casa Grande Crossing is located within both the Casa Grande Elementary School District and the Casa Grande Union High School District. The High School Facility is located at the intersection of McCartney and Trekell Roads.

There is an elementary school site proposed by the Casa Grande Elementary School District for this project that will be situated along the west boundary of the PAD. Casa Grande Crossings understands the importance of this relationship and will reserve 6.0 acres of the total 12-acre school site. The other adjacent 6.0 acres is situated within the Sonoran Heights PAD. The Casa Grande Elementary School District has agreed to the proposed location. The Developer and the School District representatives are negotiating as to the timing of the actual development of the school and the terms of the 6.0-acre dedication. It is the Developer's intent to reserve the 6.0-acre parcel until 60% of the single-family lots have been permitted. The Developer / Home Builder will then formally notify the School District that subject to their ability to fund the construction of the new school facility within 24 months, the Developer / Home Builder will donate the 6.0 acres to the School District. This dedication is based on the understanding that an adjacent parcel will also be purchased from and/or dedicated by the developer of Sonoran Heights, the residential subdivision situated to the west of this

project. If the School District is unable to commit to the development of the elementary school facility within the designated time period, then the Developer / Homebuilder shall be allowed to develop the property as single family residential. Using the 7,000 SF lot criteria, this 6.0-acre parcel could yield an additional 22 lots increasing the total unit count for Casa Grande Crossings to 656.

## **9.0 Phasing Plan**

The project will be developed in multiple phases in accordance with the P.A.D. Plan. The phasing schedule is preliminary at this time and is subject to modifications depending on market trends. A more detailed phasing plan, meeting the approval of the City Engineer and Planning Director, will be established during the improvement plan and final plat review process. It is planned that the residential portions of the P.A.D. will be developed first, starting at the northern end and moving south. The scale of required infrastructure to support the efficient yet cost effective phasing of construction will have a substantial impact on the Phasing Plan. As this project begins the subdivision plat process, the phasing will become more defined, and exhibits will be submitted for review and approval.

## **10.0 Utilities**

Any utilities running through the site or any utilities that need to be relocated for development of the site, will be placed underground except as approved by the City Council. Sewer facilities, streetlights, and fire hydrants will be provided according to City of Casa Grande codes and per the recommendations of the Engineering and Fire Departments. Upon completion of construction and acceptance, operation and maintenance of all utilities and facilities will rest with the appropriate operating agency.

### **10.1 Sewer**

The City of Casa Grande's sewer facilities that will serve this site consists of an existing 12-inch sewer trunk line located in the Florence Boulevard alignment north of and adjacent to the project site. The sewer reports and improvement plans, meeting the approval of the City Engineer are required prior to the recording of the Final Subdivision Plats for this project.

The systems will be designed to meet current Arizona Department of Environmental Quality standards and specifications. The City is not responsible for the cost of extending sewer service infrastructure to the site.

### **10.2 Potable Water**

The Arizona Water Company will provide potable water for Casa Grande Crossings. The company's water system will serve the site by way of an existing 24" D.I.P. trunk water line located in Florence Boulevard. Service will be provided through individual

water meters. The system will be designed and installed to provide required fire flows to fire hydrants appropriately located as well as service connections to each lot and facility.

The water reports and improvement plans, meeting the approval of the City Engineer are required prior to the recording of the Final Subdivision Plats for this project. The developer or builder will provide a 100-year Assured Water Supply Certificate prior to Final Plat approval.

### **10.3 Electrical Power**

Arizona Public Service Company will provide electrical services. Each lot owner will be responsible for their own services and billings.

### **10.4 Natural Gas**

Southwest Gas Company will supply natural gas service.

### **10.5 Telephone**

U.S. West Communications to each lot and structure will provide telephone service. Each lot owner will be responsible for their own hook-ups, services and billings.

### **10.6 Cable**

Cable TV services will be provided by Cox Communications to each lot and structure. Each lot owner will be responsible for their own services and billings.

### **10.7 Sanitation**

Waste disposal services will be provided by the City of Casa Grande's City wide collection system. The City of Casa Grande will provide appropriate containers.

### **10.8 Mail Service**

Mail service will be provided at mail gang boxes. All mail gang boxes will be built within a decorative block wall / structure feature meeting United States Postal Office requirements.

### **11.0 Grading and Drainage Concept**

The grading and drainage concept for Casa Grande Crossings consists of providing retention basins within the proposed open space areas as required. The property will be graded to drain toward the retention basins. The streets will be designed per the

City of Casa Grande criteria to convey all onsite storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. Offsite storm drainage will be accommodated through adequately designed water conveyance systems. Final drainage and retention reports and improvement plans, meeting the approval of the City Engineer are required prior to the recording of the Final Subdivision Plats for this project.

The retention basins will be designed as multi-use facilities, combining retention facilities with playground equipment and recreational opportunities. To minimize the disruption of use during and after storms, all playground equipment will be elevated out of the 25-year storm event.

## **12.0 Residential Covenants, Conditions, & Restrictions**

In order to assure residents that their investment in the community and home will endure, Casa Grande Crossings will be controlled by a strong set of Covenants, Conditions, and Restrictions (CC&Rs). The CC&R's will incorporate the design principals as outlined in this document and will promote diversity in home sites, color, texture, and streetscapes, not only from neighborhood to neighborhood but also from neighbor to neighbor. The CC&Rs will be presented to the City Planning Director for review and approval prior to the approval of any Final Subdivision Plats.

## **13.0 Front Yard Landscapes**

The builder will offer to the homebuyer a selection of front yard desert landscape packages. The front-yard landscaping will be installed by the builder prior to occupancy and will be maintained by the individual homebuyer. Front yard landscape packages will include a variety of water-conserving plants, ground covers, and vines. Decomposed granite or river rock will cover all exposed areas not covered by plants. A variety of front yard landscape designs shall be provided to create visual diversity along the street scene.

## **14.0 Homeowners' Association**

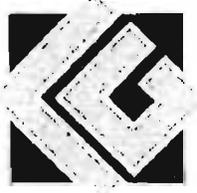
A homeowners' association will be formed with the development of Casa Grande Crossings which will maintain all landscape tracts and open space areas including drainageways, perimeter walls, rights-of-way landscaping and street pavers (excluding medians in collector and arterial roadways) within the project site.

## **15.0 Conclusion**

The Casa Grande Crossings is a community that invites its residents to walk, run, ride, play and mingle. The open space areas are strategically located for high visibility and centrally located for high usability. Additional design features such as significant entry

monumentation and attractive perimeter theme wall design combine to create a high quality residential community.

Development of Casa Grande Crossings will be in accordance with applicable code requirements of the City of Casa Grande, the City's Residential Design Standards for P.A.D.'s, the approved Development Guide, and any other conditions deemed necessary by the City of Casa Grande Council.



# City of Casa Grande

October 13, 2000

Christopher J. Cacheris  
Casa Grande/I-10 Land partners Joint Venture II  
5189 E. Calle del Norte  
Phoenix, AZ 85018

RE: CGPZ-89-00

This letter is to inform you that your request for a General Plan Amendment received a favorable recommendation by the Planning and Zoning Commission, on October 5, 2000.

The General Plan amendment request will be forwarded to the City Council for final approval and ordinances are subject to a 30-day waiting period after Council approval.

**If you have any questions, please call Mark Eckhoff, City Planner, at (520)421-8637 Ext. 303.**

Sincerely,

Laura Blakeman  
Planning & Development Secretary



# City of Casa Grande

October 13, 2000

Christopher J. Cacharis  
Casa Grande/I-10 Land partners Joint Venture II  
5189 E. Calle Del Norte  
Phoenix, AZ 85018

RE: CGPZ-90-00

This letter is to inform you that your request for a Zone Change received a favorable recommendation by the Planning and Zoning Commission, on October 5, 2000, with the following conditions:

1. At least one of the offered floor plans within parcel 6 and at least one of the offered floor plans within parcel 7 shall be designed for side-entry garages as a standard feature.
2. A minimum of 33 feet of right-of-way, or as otherwise deemed necessary by the City Engineer (up to 55 feet) shall be dedicated for the Cox Road alignment.
3. The tract between the lots at the southeast corner of Parcel Two shall be a minimum of fifteen foot wide.
4. The open space tract between Parcel Two and the multi-family parcel shall include a five foot concrete walkway extending from the collector road to the north to the ten foot wide open space path to the south.
5. The multi-family site shall have no more than one ingress/egress point from Camino Mercado and, if possible, based on the traffic analysis and the recommendations of the City Engineer, will limit all vehicular access to the collector roadway to the north.
6. There shall be no local street connections to the mid-section collector north of the proposed school site.

The Zone Change request will be forwarded to the City Council for final approval and ordinances are subject to a 30-day waiting period after Council approval.

**If you have any questions, please call Mark Eckhoff, City Planner, at (520)421-8637 Ext. 303.**

Sincerely,

Laura Blakeman  
Planning & Development Secretary



# City of Casa Grande

October 13, 2000

Christopher J. Cacheris  
Casa Grande/I-10 Land partners Joint Venture II  
5189 E. Calle Del Norte  
Phoenix, AZ 85018

RE: CGPZ-91-00

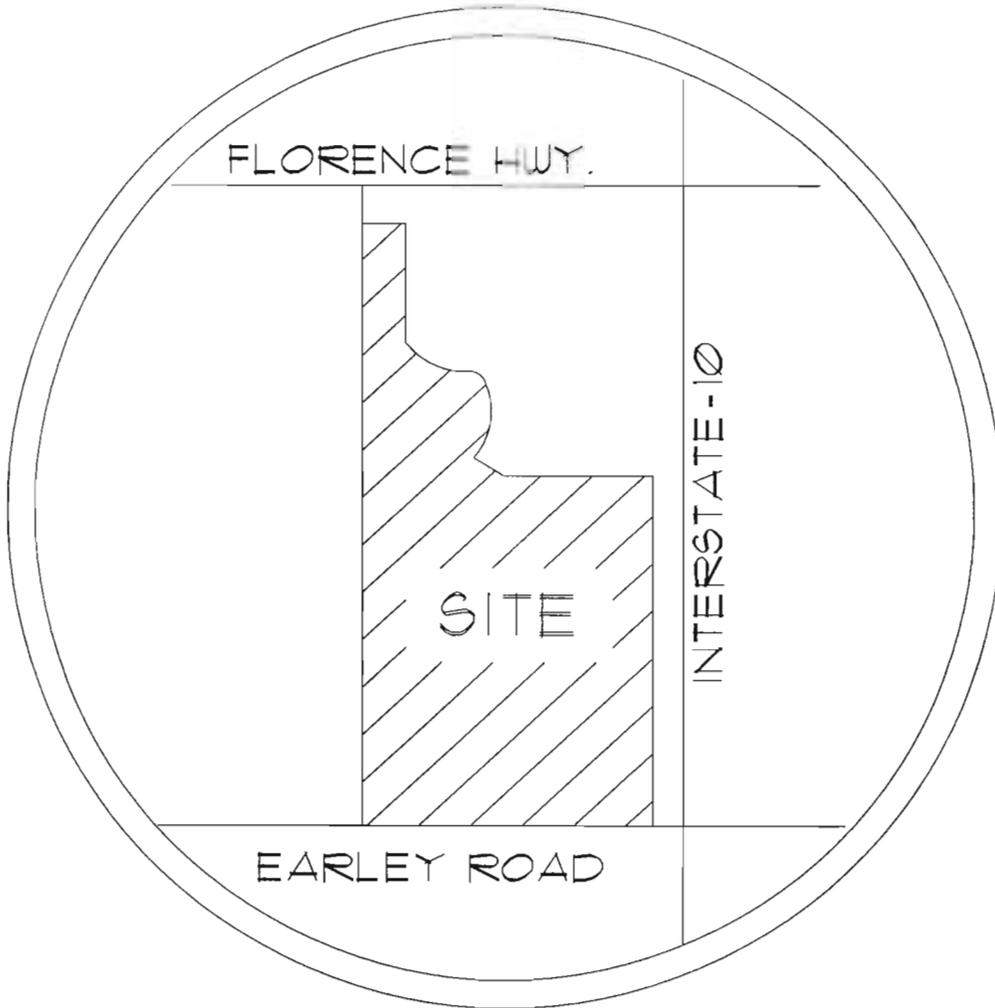
This letter is to inform you that your request for a Preliminary Plat was approved by the Planning and Zoning Commission, on October 5, 2000, with the following conditions:

1. The Preliminary and Final Plats shall be in conformance with the PAD Zoning, and all conditions of zoning case CGPZ-90-00, for Casa Grande Crossings.
2. Final drainage, retention, sewer, and traffic reports, meeting the approval of the City Engineer, must be submitted prior to approval of the Final Plat(s).
3. A Final Landscape and Amenity Plan, meeting the approval of the Planning Director, shall be submitted prior to approval of the Final Plat(s).
4. All street names are subject to the approval of the Building department.
5. The phasing of all public improvements shall be in accordance with the Development Guide and the recommendations of the City Engineer and Planning Director. A detailed phasing plan shall be established during the improvement plan and final plat review process.
6. The Final Plat shall indicate No Vehicle Access (NVAE) to lots other than from the front driveway, except where side-entry garages might be used. No driveways or gates shall be located on or across any NVAE's.
7. The improvement plans must be submitted and approved by City staff prior to Council approval of the Final Plat(s). The method and amount of financial assurance shall be approved as to form by the City Attorney prior to Council approval of the Final Plat(s).
8. Development of the site shall be in accordance with the Casa Grande Crossings Final Development Guide and all applicable City codes.

**If you have any questions, please call Mark Eckhoff, City Planner, at (520)421-8637 Ext. 303.**

Sincerely,

Laura Blakeman  
Planning & Development Secretary



# Casa Grande Crossings

VICINITY MAP 9/27/00



PREPARED FOR: -

EXHIBIT #1

**GILMORE GRAVES, INC.**  
 305 W. CLAREMONT AVENUE  
 SUITE 300  
 PHOENIX, AZ 85018  
 602-298-1822  
 602-298-1707 FAX  
 EMAIL: gilmore@gilmore.com  
 GGI JCSP 00038  
 FILE: 1-vicmap.dwg

# Casa Grande Crossings

## PRELIMINARY PLANNED AREA DEVELOPMENT PLAN

1" = 200'-0"  
9/27/00

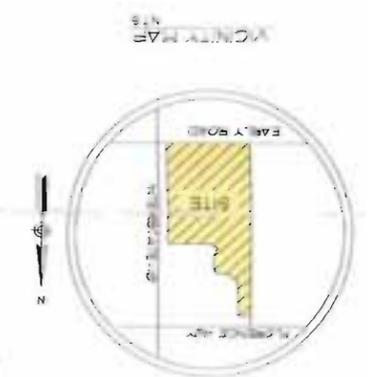
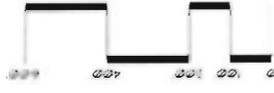


GEORGE GRAVES, INC.

1000 N. W. 10th St.  
Fort Lauderdale, FL 33304  
Tel: (954) 561-1111  
Fax: (954) 561-1112  
www.georgegraves.com

PREPARED FOR:

EXHIBIT #2



LAND USE DATA:

PARCEL NO.	PROPOSED ZONING	PARCEL AREA	LOT SIZE (sqm.)	TOTAL D.U.'s
1	COMMERCIAL	12.79 AC	-	-
2	SINGLE FAMILY	16.50 AC	50' x 110' (5,000 S.F.)	76
3	MULTI-FAMILY	14.38 AC	-	207
4	SINGLE FAMILY	12.84 AC	80' x 117' (7,000 S.F.)	29
5	SINGLE FAMILY	22.88 AC	80' x 117' (7,000 S.F.)	74
6	SINGLE FAMILY	15.27 AC	70' x 115' (7,000 S.F.)	57
7	SINGLE FAMILY	20.34 AC	70' x 115' (7,000 S.F.)	87
8	COMMERCIAL/OFFICE	13.33 AC	80' x 110' (7,000 S.F.)	113
9	COMMERCIAL/OFFICE	11.42 AC	-	-
10	OFFICE	11.22 AC	-	-
11	OFFICE	10.98 AC	-	-
12	OFFICE	10.98 AC	-	-
13	LT. INDUSTRIAL/OFFICE	14.63 AC	-	-
14	LT. INDUSTRIAL/OFFICE	13.88 AC	-	-

TOTAL ACRES (TERRACE)	247.88 AC.
TOTAL ACRES (NOT OPENING)	209.84 AC.
OPENING	33.30 AC. (1.88)
LAND MARK SCHOOL SITE	6 AC.
COMMERCIAL SITE	12.79 AC.
COMM. RES. OFFICE SITE	36.72 AC.
OFFICE SITES	22.18 AC.
LT. INDUSTR./OFFICE SITES	28.51 AC.
TOTAL D.U.'s	625 D.U.'s
D.U.'s / ACRE	4.80

**BENCHMARK:**  
ARIZONA DEPARTMENT OF TRANSPORTATION  
PROVISIONAL STAMPS: STA. 2842+48.20  
ELEV. = 1457.11'

LINE DATA:

LINE	BEARING	DISTANCE
1	S 89° 15' 00" W	40.00
2	S 89° 15' 00" W	80.00
3	S 89° 15' 00" W	120.00
4	S 89° 15' 00" W	160.00
5	S 89° 15' 00" W	200.00
6	S 89° 15' 00" W	240.00
7	S 89° 15' 00" W	280.00
8	S 89° 15' 00" W	320.00
9	S 89° 15' 00" W	360.00
10	S 89° 15' 00" W	400.00
11	S 89° 15' 00" W	440.00
12	S 89° 15' 00" W	480.00
13	S 89° 15' 00" W	520.00
14	S 89° 15' 00" W	560.00
15	S 89° 15' 00" W	600.00
16	S 89° 15' 00" W	640.00
17	S 89° 15' 00" W	680.00
18	S 89° 15' 00" W	720.00
19	S 89° 15' 00" W	760.00
20	S 89° 15' 00" W	800.00

LINE	BEARING	DISTANCE
1	S 89° 15' 00" W	40.00
2	S 89° 15' 00" W	80.00
3	S 89° 15' 00" W	120.00
4	S 89° 15' 00" W	160.00
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10	S 89° 15' 00" W	400.00
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12	S 89° 15' 00" W	480.00
13	S 89° 15' 00" W	520.00
14	S 89° 15' 00" W	560.00
15	S 89° 15' 00" W	600.00
16	S 89° 15' 00" W	640.00
17	S 89° 15' 00" W	680.00
18	S 89° 15' 00" W	720.00
19	S 89° 15' 00" W	760.00
20	S 89° 15' 00" W	800.00

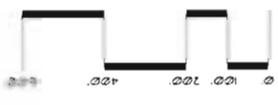
CASA GRANDE WINDSOR ADDITION  
LOT #2 (PART OF THIS ROAD)  
CASA GRANDE WINDSOR (PART OF THIS ROAD)  
CASA GRANDE WINDSOR (PART OF THIS ROAD)  
CASA GRANDE WINDSOR (PART OF THIS ROAD)

CASA GRANDE WINDSOR ADDITION  
LOT #2 (PART OF THIS ROAD)  
CASA GRANDE WINDSOR (PART OF THIS ROAD)  
CASA GRANDE WINDSOR (PART OF THIS ROAD)

# Casa Grande Crossings

## CONCEPTUAL OPEN SPACE/ COMMON AREA PLAN

EXHIBIT #3



1:200 @ 9/21/00

DR. GRAVES, INC.  
 10000 N. VERDE AVENUE, SUITE 100  
 DALLAS, TEXAS 75243  
 (214) 343-3333  
 WWW.DRGRAVES.COM



QTY.	DESCRIPTION
1	PRE-TEEN PLAY STRUCTURE
1	20'x20' RAMADA W/ CONC. SLAB
1	SUNG SET (2 OR 4 SUNG)
1	SPRING ANIMALS
1	BOG GRILL
1	BENCHES
1	BRICK WALL
1	DRYING RACK
1	DRYING FOUNTAIN
1	TABLES

### TYPICAL PLAY AREA AMENITIES

- PLAY AREA
- OPEN SPACE RETENTION



VERDE AVENUE

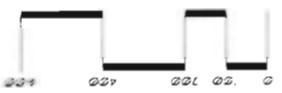
CASA GRANDE GATEWAY

EXCEPTION

# Casa Grande Crossings

## CONCEPTUAL TRAIL PLAN

EXHIBIT #4



DWG. NO. 2024-001  
 DATE: 08/20/24  
 PROJECT: CASA GRANDE CROSSINGS  
 SHEET: 01 OF 01  
 SCALE: AS SHOWN  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]  
 GIMARIS GROUP, INC.  
 10000 W. CENTURY BLVD., SUITE 100  
 DENVER, CO 80231  
 TEL: 303.755.1000  
 WWW.GIMARISGROUP.COM

**LEGEND**

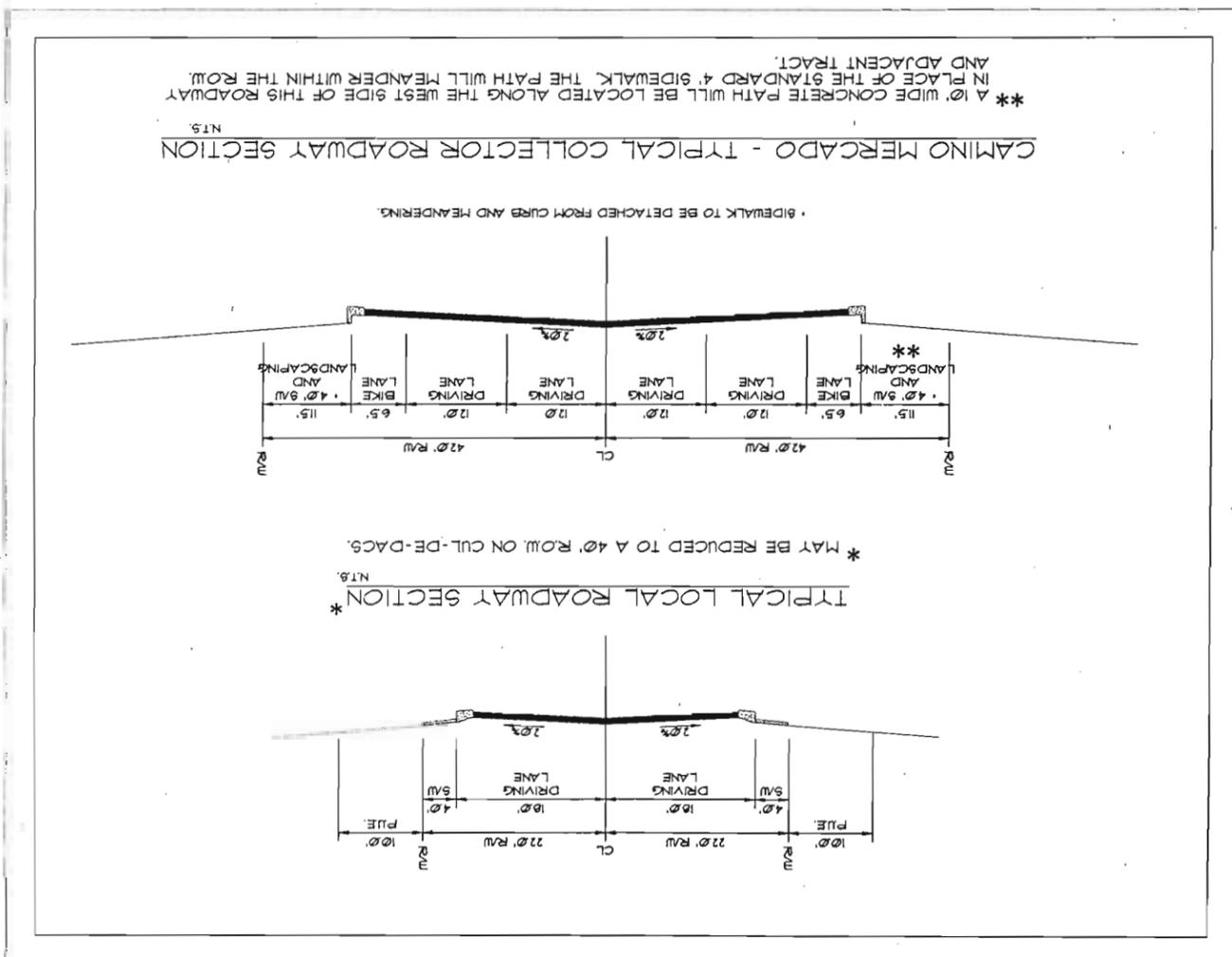
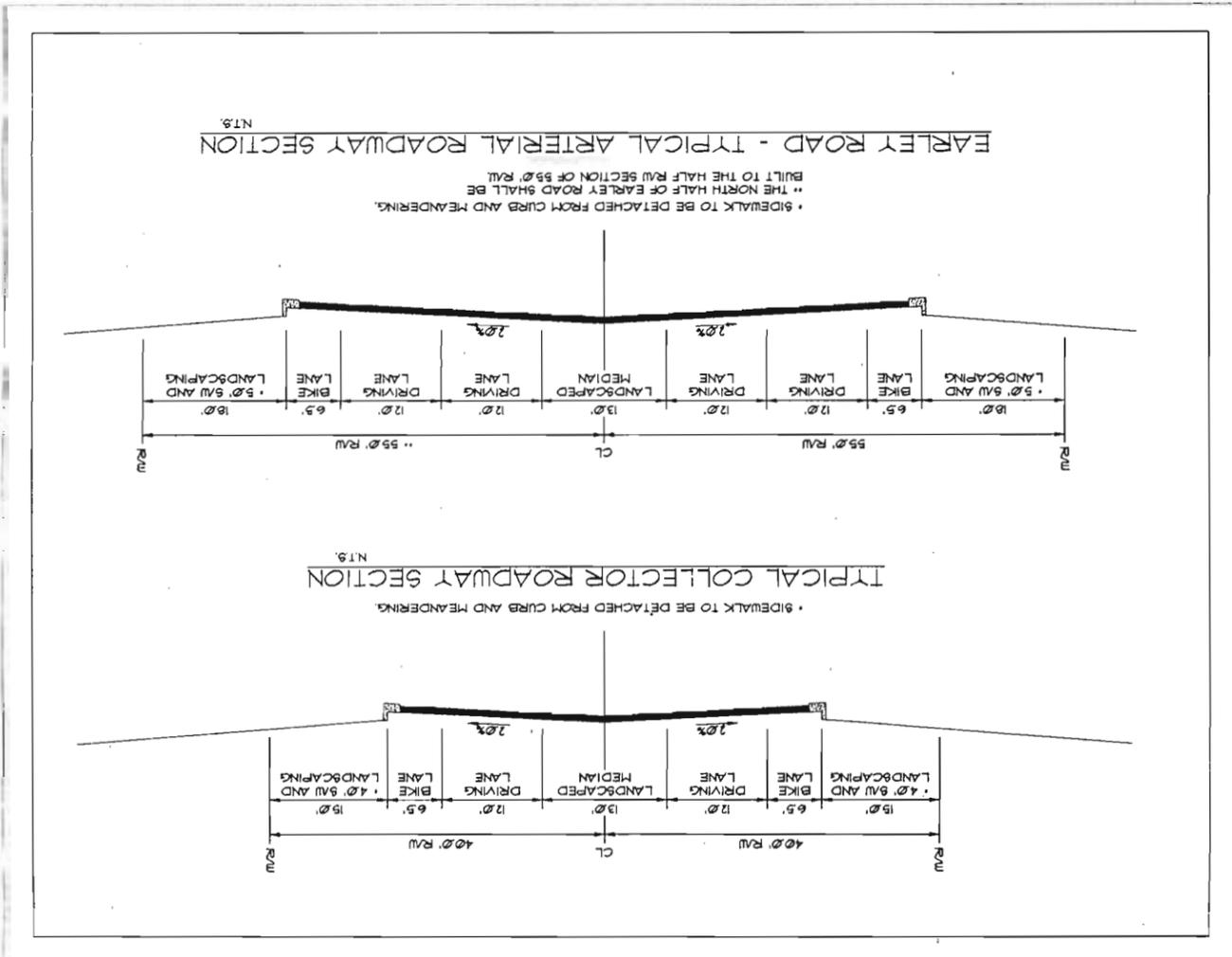
- 2' CONC. MULT-USE TRAIL
- 5' WALKWAY
- PLAY AREA



# Casa Grande Crossings

## TYPICAL STREET CROSS-SECTIONS

9/27/00





**LEGEND**

- 2' SCREEN WALL - SEE DETAIL C & D
- 1' SCREEN WALL - SEE DETAIL C & D
- 6' SCREEN WALL - SEE DETAIL C & E
- PRIMARY ENTRY MONUMENT - SEE DETAIL A
- SECONDARY ENTRY MONUMENT - SEE DETAIL B

NOTE:  
WALL ALONG MULTI-FAMILY PORTION SUBJECT TO MAJOR SITE PLAN APPROVAL REQUIREMENTS.

# Casa Grande Crossings

CONCEPTUAL WALL PLAN

1"=200'-0"  
3/21/20



PREPARED FOR: -

EXHIBIT #6



GILMORE GRAVES, INC.  
 1100 W. 10TH AVENUE  
 SUITE 200  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 FAX: 303.733.1101  
 WWW.GILMOREGRAVES.COM  
 CAD: JERRY@GGI.COM  
 FILE: CGC-17-10-11.dwg

# Casa Grande Crossings

## CONCEPTUAL WALL ELEVATIONS

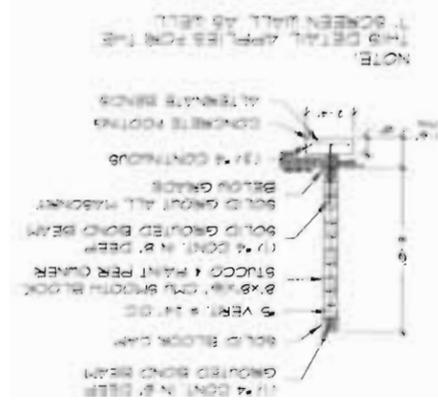
9/27/22



Gilmore Grays, Inc.  
 10000 N. 10th St.  
 Suite 100  
 Phoenix, AZ 85020  
 Phone: (602) 998-8888  
 Email: info@gilmoregrays.com  
 Website: www.gilmoregrays.com

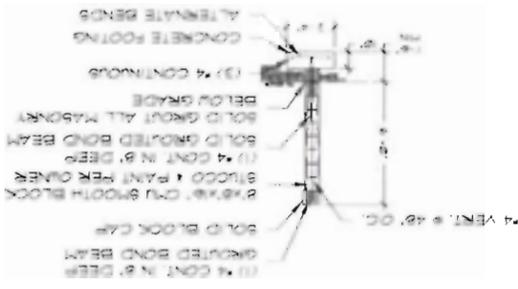
D

8' SCREEN WALL DETAIL



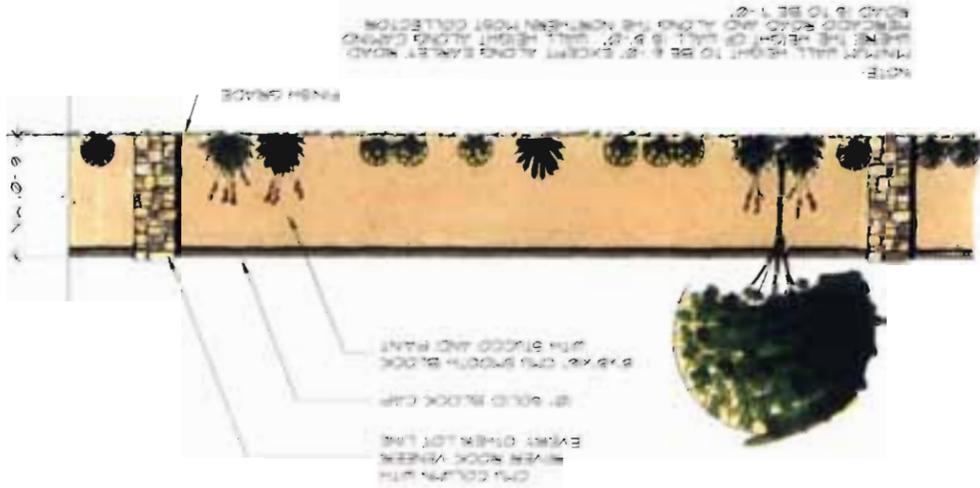
E

6' SCREEN WALL DETAIL



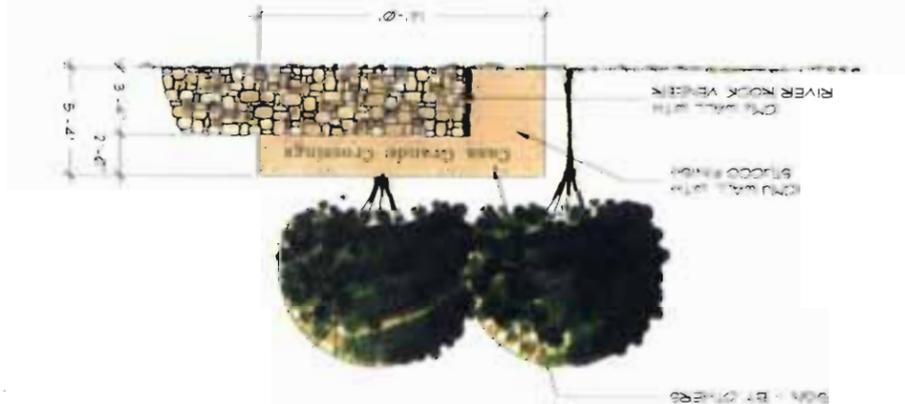
C

PERIMETER SCREEN WALL



B

SECONDARY ENTRY MONUMENT ELEVATION



A

PRIMARY ENTRY MONUMENT ELEVATION









# APPENDIX A





# APPENDIX B

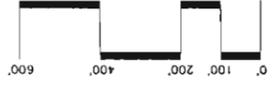
# Casa Grande Crossings

TOPOGRAPHIC SURVEY

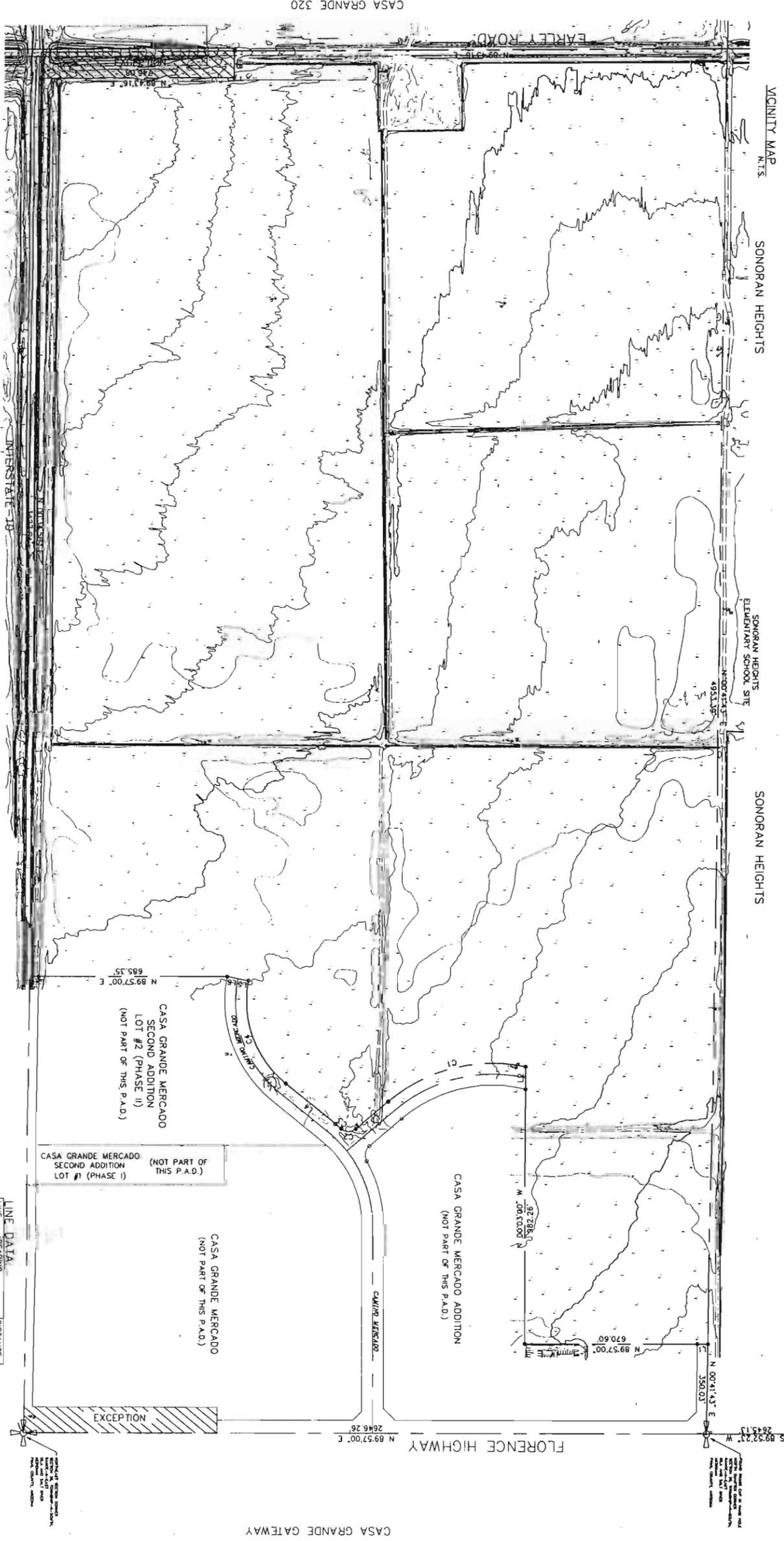
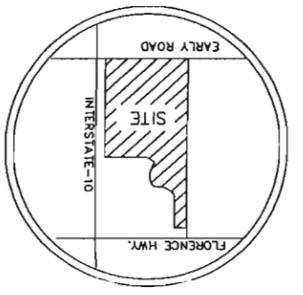
1" = 200'-0"  
9/27/00



## APPENDIX B



FILE: 000-APP-B  
C:\08\00138  
DATE: 9/27/00  
BY: JWG  
PROJECT: CASA GRANDE CROSSINGS  
DRAWN BY: JWG  
CHECKED BY: JWG  
DATE: 9/27/00  
PROJECT: CASA GRANDE CROSSINGS  
DRAWN BY: JWG  
CHECKED BY: JWG  
DATE: 9/27/00



VICINITY MAP  
N.T.S.

SONORAN HEIGHTS

SONORAN HEIGHTS  
ELEMENTARY SCHOOL SITE

SONORAN HEIGHTS

**BENCHMARK:**  
ARIZONA DEPARTMENT OF TRANSPORTATION  
BRASSCAP STAMPED : STA. 2652+86.20  
ELEV. = 1427.53'

LINE DATA

LINE	BEARING	DISTANCE
L1	N 89°57'00" E	40.01
L2	N 00°03'00" W	85.96
L3	N 50°32'22" E	162.30
L4	N 52°00'28" W	250.00
L5	N 79°09'25" W	42.00
L6	N 89°57'00" E	111.00
L7	N 00°34'50" E	100.01

CURVE DATA

CURVE	RADIUS	DELTA	LENGTH	TANGENT
C1	642.00	50°48'48"	569.36	304.94
C2	44.00	80°46'01"	62.02	37.43
C3	492.00	02°51'20"	24.52	12.26
C4	408.00	82°33'32"	444.29	247.06



# APPENDIX C

# **COMMERCIAL/OFFICE/LIGHT INDUSTRIAL DESIGN STANDARDS FOR CASA GRANDE CROSSINGS (Parcels 1, 9, 10, 11, 12, 13, & 14)**

## **Compliance with the City of Casa Grande Code and Ordinances**

All buildings, structures, walls and fences constructed within Casa Grande Crossings and the use and appearance of all land within Casa Grande Crossings, shall comply with all applicable City of Casa Grande zoning and code requirements, and these Guidelines. These Design Guidelines have been organized under the following sections:

1. Site Development
2. Architecture
3. Walls and Fences
4. Landscape
5. Hardscape
6. Maintenance

## **1. SITE DEVELOPMENT**

### **1.1 Grading and Drainage**

- ◆ Any aesthetic landscape berming on individual lots shall not direct drainage toward structures or onto adjacent lots.
- ◆ Drainage swales shall be designed to minimize runoff velocities in order to protect sites from erosion.
- ◆ Grading shall be finished to minimize erosion both on and off-site. No slopes shall be steeper than 4 to 1.
- ◆ All excavation and fill areas shall be sufficiently compacted to prevent settlement or erosion problems.
- ◆ Any imported soils needed to create landscape berming shall be free of weeds and debris and shall be of similar makeup as the existing soils.
- ◆ Site grading design should complement and reinforce the architectural and landscape design character by screening undesirable elements by helping to reduce or encourage the perception of height and mass of buildings, by providing reasonable transitions between on-site uses, and by providing elevation transitions between lots to encourage on-site and off-site views.
- ◆ All finished graded slopes shall be stabilized, landscaped with approved plant material, and finished with turf or decomposed granite.
- ◆ Retention areas enclosed by solid walls and fences shall be prohibited.

## **1.2 Setbacks**

- ◆ All commercial, office, and light industrial setbacks shall be in conformance to the approved Major Site Plan for the specific development. The minimum required building setbacks are as follows:

### **Parcel #1**

- ◆ Front, Rear, Sides, Corner, and Residential shall be per B-2 Zoning District and Site Plan Approval.
- ◆ PAD Perimeter setback shall be 25'.
- ◆ Parking, loading and circulation areas shall be set back a minimum of 15'.

### **Parcels #9-14**

- ◆ Front, Rear, Sides, Corner, and Residential shall be per I-2 Zoning District and Site Plan Approval.
- ◆ PAD Perimeter shall be 25'.
- ◆ Parking, loading and circulation areas shall be set back a minimum of 15'.

## **1.3 Building Height**

- ◆ Maximum building height shall not exceed 3 stories or 36'.

## **1.4 Screening of Refuse Areas**

- ◆ Refuse containers shall be enclosed within a wall structure, which has a minimum height of 6'. These enclosures are encouraged to abut the building's perimeter walls and should be constructed of the same material.
- ◆ All enclosures must be provided with a solid gate and is of a size that shall accommodate all refuse generated between collection times.
- ◆ Loading areas shall not disrupt normal circulation of the parking lot or sidewalks. No open storage of materials, supplies or equipment shall be permitted.
- ◆ All enclosures shall be designed and constructed to City standards and colored to complement the principal buildings.

## **1.5 Utility Structure Placement**

- ◆ All utilities, unless otherwise approved by the City Council, shall be installed and maintained underground.
- ◆ Roof mounted mechanical equipment is prohibited, unless it is completely screened by a continuous parapet wall.
- ◆ Exterior transformers, utility pads, cable television and telephone boxes should be grouped where feasible, painted a neutral color or color consistent with the principal structure, and screened with plant material subject to the access requirements of the particular utility company.

## 2. ARCHITECTURE

Architectural guidelines will help to establish visual compatibility throughout Casa Grande Crossings and assure an overall quality appearance. All structures in a defined neighborhood shall incorporate a schedule of materials, colors, and Southwest styles that blend with or complement each other.

### 2.1 General Style

A "Southwest" style is the predominant theme. Variations in front elevations, roof overhangs, accent building materials, punched openings, columns, color schemes, landscaping, etc., can be utilized for subtle variations.

### 2.2 Building Orientation

- ◆ Provide for well-defined entries.

### 2.3 Building Materials

The selection of building materials must be applied to all exterior sides of buildings and structures. Each material will be used to express its characteristics in an appropriate manner with colors and textures compatible with the natural surroundings and other buildings and structures in the general vicinity.

#### Building Finishes

- ◆ Permitted Exterior finished materials include masonry, stucco, split or textured decorative block, brick, natural stone, and limited concrete plank siding or tilt-up concrete.

#### Roofs

- ◆ Acceptable roof covering materials shall be lightweight concrete or clay tiles.
- ◆ Roof parapets must be finished with compatible material and color to the building's skin and shall continue around all sides.
- ◆ Roof features, such as overhead screens, shade covers, patio roofs, and other similar structures, are encouraged and should flow out of the building form. These features shall be constructed of materials and color to match or complement the main roof.
- ◆ All vent pipe stacks, gutters, flues and any other equipment protruding above the plane of the roof and visible from neighboring properties are discouraged and, to the extent they are necessary, must be painted and/or screened to match the roof.

### **Colors**

- ◆ The predominant colors in Casa Grande Crossings will be natural earth color tones and/or complementary pastel colors.
- ◆ All paint colors shall have a light reflectivity value of less than 50%.
- ◆ Trim colors shall not dominate the exterior appearance and shall be of compatible color as the major structure's color. Roof colors shall not produce glare, such as being white, light colored aluminum, or have a reflective surface.

## **Additional Architectural Requirements**

### **Wall Expanses**

- ◆ There shall be a minimum of a three foot stagger that is no less than every 50 feet in any linear wall expanse over 50 feet.
- ◆ Pop-outs, varied materials, canopies and windows will be utilized to break up the monotony of building walls.

### **Entries**

- ◆ Any commercial building over 25,000 square feet must have a minimum of two well-defined public entries.
- ◆ All public entries will be covered, as will walkways connecting public entries on each building and/or adjoining buildings.

### **Roofs**

- ◆ Any individual building over 15,000 square feet or any group of adjoining buildings totaling over 15,000 square feet, will vary roof heights and appearance for added diversity.

### **Four- Sided Architecture**

- ◆ All sides of buildings will have a finished appearance. Docks and services areas will be completely screened by decorative walls and landscaping.

### **3. WALLS AND FENCES**

When necessary for security, screening or to mitigate grading, walls can reinforce community identity and image. If not used carefully, however, walls can detract from the quality of open space. Walls should not be used simply to decorate property lines. Acceptable fence materials shall include, but not be limited to, masonry, stone, brick and limited wrought iron.

#### **3.1 Guidelines:**

- ◆ Landscape berming can be used as a complement to screen walls.
- ◆ The texture, color, and form of walls adjacent to buildings shall harmonize with the building's design.
- ◆ Long, continuous lengths of screen wall at the same height are discouraged. Variations of height and form are encouraged.
- ◆ Perimeter walls should be on the meandering right-of-way/property line but do not need to follow the alignment exactly.
- ◆ Walls and fences, under normal conditions, shall be a maximum of 6', as measured for an adjacent grade, along rear and side lot lines and shall conform to City zoning ordinances and visibility triangles.
- ◆ Where it is shown that an industrial-type use has a need for increased security, the Planning and Zoning Commission may approve walls and fences up to 8' in height.
- ◆ When walls are located adjacent to a road for decorative or screening purposes, they shall be a maximum of 3' in height, conforming to City zoning ordinances and visibility triangles.
- ◆ Chain link fencing is not permitted.
- ◆ Walls and fences shall be constructed to City of Casa Grande engineering and design standards.
- ◆ Open fencing shall be highly encouraged adjacent to open spaces, such as decorative block and wrought iron, in order to take advantage of views.
- ◆ Walls separating residential uses from nonresidential uses shall be installed as part of the construction of whichever use is developed first.
- ◆ The horizontal mass of continuance walls should be softened by landscape planting and vines, variations in height and berming.
- ◆ Walls built to screen ancillary structures shall complement the building materials of the principal structure.

## 4. HARDSCAPE

### 4.1 General

Hardscape elements should be used in coordination with the architecture and landscape to provide a link between the street edge and individual developments. Attention to the hardscape details can enhance the sense of community by relating developments and reinforcing the overall design theme. In addition, proper hardscape design can improve pedestrian safety, movement, and visual enjoyment of public areas.

Patterned paving materials can be used in limited areas to emphasize entries and places of special interest. Utility lines should not be installed under such special materials if at all possible.

The places appropriate for this emphasis are as follows:

- ◆ Public entries
- ◆ Major intersections

Acceptable paving material include (subject to City's Engineer approval):

- ◆ Integrated colored concrete
- ◆ Brick
- ◆ Native stone
- ◆ Pre-cast interlocking pavers
- ◆ Combinations of the above

#### **General Paving Guidelines:**

- ◆ Near buildings, paving should be consistent with major intersection treatments.
- ◆ Painted paving surfaces other than those for traffic control and marking of parking areas within parking are prohibited.
- ◆ Use smooth materials to encourage movement and rough materials to slow movement down.
- ◆ Limit the number of paving materials in one place to three.

### 4.2 Connectivity

- ◆ Paths and walkways will be provided to link the uses with the PAD and create a pedestrian friendly environment.

## 5. LANDSCAPE

Together with the Preliminary Development Plan, the Landscape Concept is a central element in the design of an overall community identity. The landscape and open space concept will establish a community framework for all common and public areas within Casa Grande Crossings. The objective of the landscape is to screen, accent, soften and improve the visual character of the Community. All plant material should be drought resistant and water conserving. Drip irrigation systems are required, except for turf areas. The streetscape is one of the most visible elements in a community. A consistent streetscape is one of the strongest cohesive feature that helps portray the image of the community to the public.

Landscape should be used:

- ◆ To soften and enhance, but not obstruct, the architecture.
- ◆ For visual screening.
- ◆ Aesthetically, as a reminder of the natural environment in which we live; and Plant material listed on the Recommended Plant Schedule, which is included in this Guide, should be used throughout the Community to reflect the principles of xeriscape. Subdivision development shall develop similar plant schedules to maintain cohesiveness throughout project landscape.
- ◆ The minimum plant sizes are as follows:

Type	General Locations	Entries & Landscape
		Features
Trees	15 gallon	24' box
Shrubs	5 gallon	5 gallon
Groundcovers	1 gallon	5 gallon

- ◆ All plant material shall be provided with fully automated drip irrigation systems. Plants should be selected to fit naturally into their space to avoid the need for excessive trimming and allow normal growth.
- ◆ Water-conserving devices, such as drip irrigation for all plant materials except turf areas, must be utilized.
- ◆ Backflow prevention devices shall be fully screened.
- ◆ Exposed earth is not permitted due to erosion and dust concerns except in planting beds.

### 5.1 Streetscape

In order to achieve an overall circulation system and provide a strong community structure and neighborhood identity, the landscape design shall be of consistent quality and shall clearly define streetscapes, major entries and intersections.

- ◆ **Collector Streets:** The landscaping along the collector streets shall be a xeriscape landscape accented with native canopy trees with desert planting below.

- ◆ **Local Streets:** The landscaping along local streets will reflect the landscaping theme of the roadways to provide cohesiveness throughout the project.
- ◆ **Major Entries:** A formal (linear) planting of trees and landscaping is intended to create a visual sense of arrival.

## 5.2 Open Space/Retention Areas

- ◆ Landscaping shall comply with the City of Casa Grande Codes and Ordinances as well as reflect the established character of Casa Grande Crossings.

## 6. LIGHTING

Light is used for both aesthetics and safety reasons. The fixtures themselves should be consistent with the overall image of Casa Grande Crossings. They should be attractive to look at during the day, as well as functional at night. For streets, parking lots, and walkways, lighting is primarily for security. An effective economical combination of ground and streetlight level fixtures may be used. Landscape and architectural lighting is primarily for aesthetics. All lighting shall be compatible with the design character of the project. No bright, colored or flashing lights will be permitted. All light fixtures are subject to approval by the City prior to the installation. All lighting shall be directed towards the ground and shielded from adjacent properties.

## 7. SIGNAGE

All signs within Casa Grande Crossings should be designed to provide a consistent reinforcement of character. Signs must communicate not only specific information but should, in themselves, add to the attractiveness of the area. Signs should advertise a place of business or provide directions and information. Signs shall be architecturally attractive and contribute to the retention of character of the area. Signs should not compete with each other or dominate the setting via inconsistent height, size, shape, number, color, lighting or movement. All signage must comply with the PAD signage provisions, as established in a Comprehensive Sign Guide for Casa Grande Crossings, reviewed and approved by the City Planning and Zoning Commission.

### 7.1 Guidelines

- ◆ Signs shall not be located within the right of way.
- ◆ All signs should be kept in good repair
- ◆ All wires, haul outs, transformers, and raceways must be concealed. Signs shall not be supported by guy wires or braces.
- ◆ Colors shall relate to other signs in the area to avoid clashing contrasts.

- ◆ Illumination should be concealed. No flashing or blinking lights are permitted. No animated or sound emitting signals are permitted.
- ◆ No fluorescent or iridescent colors are permitted
- ◆ No vehicular signs are permitted for advertising, such as on trucks, vans, automobiles, or trailers.
- ◆ No portable signs are permitted.
- ◆ Pylon signs, billboards, inflatable signs and exposed neon are not allowed.
- ◆ Where possible, integrate signage into either a perimeter wall or the landscape, such as berms. Signs shall not restrict visibility at intersections, parking areas or driveways. Roof signs are not allowed. Painted window signs are prohibited.
- ◆ Prior to the approval of any Major Site Plans for the PAD, the developers/builders shall submit for the review and approval of the Planning Director and the Planning and Zoning Commission a Comprehensive Sign Guide for the PAD that sets forth the requirements for sign locations, heights, styles, sizes, areas, colors, designs, lighting and other pertinent issues.

## **7.2 Entry Monument Signs**

- ◆ These signs establish the theme for the entire development and all other signs should reflect this "master" sign standard. Each development sign, as a small portion of the whole project, will contribute significantly to the overall image.
- ◆ All signs shall be constructed of permanent materials.

## **7.3 Directional Signage**

- ◆ There shall be no more than one directional sign per driveway entrance to a lot, parcel or multiple use lot or parcel. None of these signs may include business identification or other advertising copy.
- ◆ No directional sign shall be greater than 6 square feet in area and have a height greater than 3' above grade. All signage is subject to approval by the City of Casa Grande Planning and Zoning Commission.

## **7.4 Detached Sign Consolidation**

- ◆ The Comprehensive Sign Guide for Casa Grande Crossing will address the minimization of detached signs and methods of sign consolidation.

## **8. MAINTENANCE**

Maintenance of all infrastructure is a necessary key to the continued quality appearance of Casa Grande Crossings. Maintenance applies to buildings and other structures, paving and hardscape, landscape and all other site amenities.

### **8.1 Guidelines**

- ◆ All improvements shall be kept in good and sufficient repair.
- ◆ Plants shall be maintained in a healthy and growing condition. Fertilization, cultivation and natural looking pruning shall occur on a regular basis and shearing of plant material shall be minimized.
- ◆ All trash and weeds shall be removed on a regular basis.
- ◆ Dead plants shall be removed and replaced with a like species within ten working days, weather permitting.
- ◆ The irrigation system shall be maintained regularly to avoid water loss.
- ◆ Lawns shall be kept mowed.
- ◆ Damages to any improvements shall be repaired as promptly as the extent of the damage shall allow.

## **9. MACHINERY AND EQUIPMENT**

No machinery, fixtures, or equipment of any type, including, but not limited to, heating, evaporative cooling, air conditioning, may be placed on any parcel without screening or concealment from view of neighboring or public property. The screening or concealment shall be integrated architecturally with the design of the building or structure, shall not have the appearance of a separate piece or pieces of machinery, fixtures, or equipment, shall be constructed and positioned in such a manner so it is level and plumb with horizontal and vertical building components and shall be structurally stable in accordance with sound engineering principals. Ground mounted air conditioning units shall be concealed by a solid enclosure on all sides visible to neighboring property.

## **10. SOLAR PANELS AND EQUIPMENT**

Except where contrary to Federal or State law, solar energy devices may not be visible from public view. Roof mounted solar panels and equipment must match the roof material. Panels must be an integrated part of the roof design and mounted directly to the roof plane. Solar units must not break the roof ridgeline. Roof mounted hot water storage systems must not be visible from neighborhood properties.

## **11. EXTERIOR ACCESSORIES**

### **11.1 Antennas**

- ◆ Except as where contrary to Federal or State laws, exterior television, radio, or other antenna or dishes of any kind shall not be visible from the street.

### **11.2 Amplifier**

- ◆ No radio, stereo, television, broadcast, or loudspeaker unit, and no amplifier of any kind, may be placed upon or outside, or be directed to the outside, of any building in residential areas in a manner which would be disruptive to any such area.

### **11.3 Flagpoles**

- ◆ Flagpoles shall be limited to a height of 35'.

### **11.4 Utility and Service Lines**

- ◆ No gas, electric, power, telephone, water, cable television, or other utility or service lines of any nature or kind may be placed, allowed, or maintained upon the above the ground on any lot or parcel, except to the extent, if any, underground placement may be prohibited by law or would prevent the subject line from being functional; provided, however, above ground service pedestals, splice boxes, switch cabinets, and transformers will be permitted where required for public utilities or the landscaping of common areas.

### **11.5 Alterations**

- ◆ Any alterations are subject to the review and approval of the City Planning and Development Director. If deemed extensive, they shall also require a Major Site Plan Approval by the Planning and Zoning Commission.

## **12. SOLID WASTE**

- ◆ No garbage or trash may be placed on any lot or parcel except in covered containers meeting the specifications of the City of Casa Grande.
- ◆ Rubbish, debris and garbage shall not be allowed to accumulate. Each owner shall be responsible for removal of rubbish, debris, and garbage not only from his lot or parcel but also from all public right-of-way either fronting or siding his lot or parcel, excluding (a) public roadway improvements, and (b) those areas on a Tract Declaration or subdivision plot to be maintained by the City of Casa Grande.

### **13. ACCESSORY BUILDINGS/STRUCTURES**

- ◆ No buildings/structures, including modular buildings and portable storage containers, shall be placed on any commercial parcel without a prior Major Site Plan approval by the City Planning and Zoning Commission. This requirement shall not include temporary construction offices and facilities approved with a Temporary Use Permit.

### **14. ACCESS MANAGEMENT**

- ◆ Future commercial developments will be required to limit and space curb cuts per the recommendations of the City Engineer and Planning and Development Director.

### **15. CROSS ACCESS**

- ◆ Cross Access Easements will be established and site plans will show vehicular cross-access between all contiguous commercial parcels and commercial developments.

### **16. DECELERATION AND TURN LANES**

- ◆ Deceleration lanes and right turn lanes will be provided per the recommendations of the City Engineer in accordance with City codes.

### **17. MEDIANS**

- ◆ Landscape medians will be provided within collector rights-of-way to restrict turning movements as deemed necessary by the City Engineer in accordance with City codes, unless the Alternative Collector Roadway is specified. The developer/builder shall install landscaping within required medians and the City will be responsible for the maintenance.

### **18. SITE PLANS**

- ◆ The first commercial Major Site Plan request per parcel shall be required to submit a conceptual (final, if the request is for the full parcel) site plan layout that meets the approval of the Planning and Zoning Commission, for the entire commercial parcel.

## 19. PERMITTED USES

### ◆ Commercial Permitted Uses – Parcel #1

1. Administrative, business and professional offices
2. Athletic clubs
3. Banks and other savings and lending institutions
4. Barber shop
5. Beauty parlor
6. Business and office machine sales, service and repair
7. Candy and ice cream store
8. Clothing and costume rental shop
9. Convenience store (no more than 4,000 square feet)
10. Dancing and theatrical studio
11. Delicatessen and catering establishment
12. Drug store
13. Dry cleaning and laundry establishment
14. Florist
15. General service uses including business, personal and professional service establishments
16. General retail businesses engaged in direct sales to the ultimate consumer (excluding all principally outdoor uses)
17. Grocery store
18. Indoor movie theater
19. Laundromat, self-service
20. Lock and key shop
21. Medical, dental or health office
22. Newsstand
23. Offices
24. Optician
25. Pharmacy
26. Photographic studio
27. Public buildings (Post Office, Police, Fire, etc.)
28. Restaurants
29. Restaurant, convenience (subject to conditional use permit approval)
30. Shoe repair and shoe shine shop
31. Tavern, bar or lounge
32. Video sales and rental

### ◆ Light Industrial/Office/Commercial Permitted Uses – Parcels #9, 10, 11, 12, 13, and 14

1. Administration, business and professional offices
2. Appliance sales, service (parcels 9 and 10 only)
3. Automobile car wash (parcel 14 only and then with a conditional use permit only)
4. Athletic clubs

5. Banks and other savings and lending institutions (parcels 9 and 10 only)
6. Barber shop (parcels 9 and 10 only)
7. Beauty parlor (parcels 9 and 10 only)
8. Bowling alley (parcels 9 and 10 only)
9. Business and office machine sales, service and repair
10. Business, technical or vocational school
11. Cabinet and furniture mfg. (parcels 13 and 14 only)
12. Candy and ice cream store (parcels 9 and 10 only)
13. Call Center
14. Cigar and tobacco store (parcels 9 and 10 only)
15. Circuit board manufacturing and assembly (parcels 11, 12, 13, and 14)
16. Clothing and costume rental shop (parcels 9 and 10 only)
17. Convenience store (parcel 9 only)
18. Custom dressmaking, furrier, millinery or tailor shop ( 9 and 10 only)
19. Dancing and theatrical studio (parcels 9,10, 11 and 12 only)
20. Delicatessen and catering establishment (parcel 9 only)
21. Drug Store (parcels 9 and 10 only)
22. Dry cleaning and laundry establishment (parcels 9,10, 11 and 12 only)
23. Essential public service or utility installation
24. Florist (parcels 9 and 10 only)
25. General service uses including business, personal and professional service establishments
26. General retail businesses engaged in direct sales to the ultimate consumer (excluding all principally outdoor uses) (parcels 9 and 10 only)
27. Grocery store (parcels 9 and 10 only)
28. Hotel (parcel 9 only)
29. Indoor movie theater (parcel 9 only)
30. Interior decorator shop (parcels 9,10, 11 and 12 only)
31. Indoor animal hospital, clinic or kennel (parcels 11, 12, 13 and 14 only)
32. Laundromat, self-service (parcels 9 and 10 only)
33. Light manufacturing (parcels 13 and 14 only)
34. Lock and key shop
35. Medical, dental or health clinic (parcels 9,10, 11 and 12 only)
36. Mini-warehouse (parcels 13 and 14 only)
37. Newsstand
38. Offices
39. Optician (parcels 9,10, 11 and 12 only)
40. Pharmacy (parcels 9 and 10 only)
41. Pharmaceutical manufacture (parcels 13 and 14 only)
42. Photographic studio
43. Plant nursery (parcels 13 and 14 only)
44. Public buildings (Post Office, Police, Fire, etc)
45. Restaurants
46. Retail stores (parcels 9 and 10 only)
47. Shoe repair and shoe shine shop (parcels 9 and 10 only)
48. Video arcade (parcels 9 and 10 only)
49. Video sales and rental (parcels 9 and 10 only)



# APPENDIX D

# **SINGLE-FAMILY & MULTI-FAMILY RESIDENTIAL DESIGN STANDARDS FOR CASA GRANDE CROSSINGS**

## **Compliance with the City of Casa Grande Code**

All buildings, structures, walls and fences constructed within Casa Grande Crossings and the use and appearance of all land within the Community, shall comply with all applicable City of Casa Grande zoning and code requirements, these Design Standards, and the Conditions, Covenants, and Restrictions (CC&R's) when they are recorded with the Final Plat(s). These Design Standards have been organized under the following sections:

1. Site Development
2. Architecture
3. Walls and Fences
4. Landscape
5. Hardscape
6. Maintenance

## **1. SITE DEVELOPMENT**

### **1.1 Grading and Drainage**

- ◆ Any aesthetic landscape berming on individual lots shall not direct drainage toward structures or onto adjacent lots.
- ◆ Berming of individual lots shall meet existing grade at a minimum of 2" before back of sidewalk or back of curb or property line. Grade transitions shall be even and smooth.
- ◆ Residential runoff shall be directed to the various open space retention areas, which will serve as the major drainage and retention area for the Community.
- ◆ Drainage swales shall be designed to minimize runoff velocities in order to protect sites from erosion.
- ◆ Grading shall be finished to minimize erosion both on and off-site. No slopes shall be steeper than 4 to 1.
- ◆ All excavation and fill areas shall be sufficiently compacted to prevent settlement or erosion problems.
- ◆ Any imported soils needed to create landscape berming shall be free of weeds and debris and shall be of similar makeup as the existing soils.
- ◆ Site grading design should complement and reinforce the architectural and landscape design character by screening undesirable elements, by helping to reduce or encourage the perception of height and mass of buildings, by providing reasonable transitions between on-site uses, and by providing elevation transitions between lots to encourage on-site and off-site views.
- ◆ All finished graded slopes shall be stabilized, landscaped with approved plant material, and finished with turf or decomposed granite.
- ◆ Retention areas enclosed by solid walls and fences shall be prohibited.

## **1.2 Setbacks**

- ◆ Building setbacks, as stated earlier, help create view corridors and provide an open project feeling.
- ◆ Varied front yard setbacks along straight street frontages are required to break up “row housing”, and to strengthen the character of the architectural theme.
- ◆ Single-family front yard setbacks shall vary by at least 3 feet along streets, with no more than two homes in a row having the same front yard set back.
- ◆ No single-family lot is to front onto a collector street or arterial roadway.
- ◆ Multi-family setbacks shall be a minimum of 20’ on all sides.

## **1.3 Building Height**

- ◆ Maximum building height for the single-family residences shall not exceed two stories, or 28 feet, whichever is less.
- ◆ Maximum building height for multi-family buildings shall not exceed 36’ and buildings adjacent to single-family houses shall not exceed two stories.

## **1.4 Parking Requirements**

- ◆ All single-family residential units shall have a minimum of two off-street concrete spaces in addition to their garage spaces. (18” wide driveways with a minimum length of 20’ from back of sidewalk.)
- ◆ No parking is allowed on arterial or collector roadways.
- ◆ Parking of boats, campers, trailers, RV’s, etc. is not permitted within public or private view.
- ◆ Multi-family parking shall be per City code and a Major Site Plan approval.

## **1.5 Screening of Refuse Areas**

- ◆ Refuse containers for single-family uses shall be stored behind a block wall or within a garage except during pick-up times.
- ◆ All refuse containers must be of a size that shall accommodate all refuse generated between collection times.
- ◆ Loading areas shall not disrupt normal circulation of the lot or sidewalks. No open storage of materials, supplies or equipment shall be permitted.
- ◆ Multi-family uses shall have gated dumpster enclosures designed and constructed per code and Major Site Plan approval.

## **1.6 Utility Structure Placement**

- ◆ All utilities, unless otherwise approved by the City Council, shall be installed and maintained underground.
- ◆ Roof mounted mechanical equipment is prohibited, unless it is completely screened by a continuous parapet wall.
- ◆ Exterior transformers, utility pads, cable television and telephone boxes should be grouped where feasible, painted a neutral color or color consistent with the principal structure, and screened with plant material subject to the access requirements of the particular utility company.
- ◆ Antennas may be installed on the multi-family roofs provided that they are completely screened by a continuous parapet wall.

## **1.7 Lot Coverage**

- ◆ Single-family homes will have a maximum lot coverage of 45%.

## **1.8 Overall Project**

- ◆ Interaction of residential and open space is created through the use of hardscape and trail systems.
- ◆ Visual access from roads and residential developments to facilitate exposure and security is found throughout.
- ◆ Lighting shall be oriented to on-site uses to protect adjacent uses from unnecessary glare.
- ◆ Landscaping shall be used to break up otherwise uninterrupted building mass, frame views and connect with development on adjacent pads.

## **2. ARCHITECTURE**

Architectural guidelines will help to establish visual compatibility throughout Casa Grande Crossings and assure an overall quality appearance. All structures in a defined neighborhood shall incorporate a schedule of materials, colors, and Southwest styles that blend with or complement each other.

### **2.1 General Style**

Although architectural themes will vary from neighborhood to neighborhood, these Design Guidelines will insure their compatibility throughout the Community. While a "Southwest" style may be the predominant theme, variations in front elevations, roof overhangs, accent building materials, punched openings, columns, color schemes, landscaping, etc., can all utilize variations to maintain a consistent theme. Homebuilders shall emphasize distinctive architectural details in the front elevations (e.g. covered front entries and/or covered front porches, door and window details, roof overhangs, parapet walls with cap features, etc.)

The multi-family development, which is subject to Major Site Plan Review approval, shall maintain a similar architectural theme.

### **2.2 Building Orientation**

- ◆ The orientation of homes on lots will include a variety of site planning techniques to add interest to the streetscape. Some of those options include the following:
- ◆ Orient buildings to take advantage of solar access. Minimize east and west exposures to maximize energy efficiency.
- ◆ Provide for well-defined entries.
- ◆ Include shade trees along property lines adjacent to the driveways.
- ◆ Residential units are encouraged to mix left and right elevations.
- ◆ Alternate rooflines to create interest.
- ◆ Rear roof ridgelines backing up to arterial and collector streets shall be varied.

### **2.3 Single-Family Massing**

The careful selection of one and two story product types and their placement based on scale and proximity to adjacent units can help to establish the visual character of the neighborhood. Individual builders shall be required to consider the overall impact to adjacent units and the streetscape.

## **2.4 Building Materials**

The selection of building materials must be applied to all exterior sides of buildings and structures. Each material will be used to express its characteristics in an appropriate manner with colors and textures compatible with the natural surroundings and other buildings and structures in the general vicinity.

### **Building Finishes**

- ◆ Permitted Exterior finished materials include masonry, stucco, split or textured decorative block, brick, and limited concrete plank siding.

### **Roofs**

- ◆ Acceptable roof covering materials shall be lightweight concrete or clay tiles.
- ◆ Roof parapets must be finished with compatible material and color to the building's skin and shall continue around all sides.
- ◆ Roof features, such as overhead screens, shade covers, patio roofs, and other similar structures, are encouraged and should flow out of the building form. These features shall be constructed of materials and color to match or complement the main roof.
- ◆ All vent pipe stacks, gutters, flues and any other equipment protruding above the plane of the roof and visible from neighboring properties are discouraged and, to the extent they are necessary, must be painted and/or screened to match the roof.

### **Colors**

- ◆ The predominant colors in Casa Grande Crossings will be natural earth color tones and/or complementary pastel colors.
- ◆ All paint colors shall have a light reflectivity value of less than 50%.
- ◆ Trim colors shall not dominate the exterior appearance and shall be of compatible color as the major structure's color. Roof colors shall not produce glare, such as being white, light colored aluminum, or have a reflective surface.
- ◆ Builders shall provide and utilize a minimum of six house color schemes per parcel.

### **Accessory Buildings**

- ◆ Accessory buildings are allowed pursuant to the requirements and restrictions of the PAD and in accordance with the City's current standard. Such buildings shall be constructed and painted a color to match or complement the main structure. No residential lot will have more than 300 square feet of detached storage or accessory buildings unless approved by a Conditional Use Permit by the City. Such buildings must be kept within a walled rear yard and maintain 5' minimum setbacks.

**2.5 Single Family Home Diversity**

- ◆ A minimum of 6 unique home floor plans, each with three distinct elevations, is required per each residential parcel.
- ◆ No more than two consecutive same front home elevations will be allowed. Similar elevations will also not be located across from each other.
- ◆ No more than three consecutive same rear elevations on homes backing up to a collector or arterial roadway.

**2.6 Multi-Story Homes**

- ◆ Multi-story single-family homes will not be constructed on any lot less than 6,000 square feet in area, or any lot within Parcel Two.

**2.7 Approvals**

- ◆ Single-family home elevations, home colors, roof tile varieties and colors shall be submitted to the City Planning Commission for their review prior to the issuance of any housing building permits.

### 3. WALLS AND FENCES

When necessary for security, screening or to mitigate grading, walls can reinforce community identity and image. If not used carefully, however, walls can detract from the quality of open space. Walls should not be used simply to decorate property lines, with the exception of residential units. Acceptable fence materials shall include, but not be limited to, masonry, tubular steel (for gates only), stone, brick and masonry with wrought iron.

#### 3.1 Guidelines:

- ◆ Residential developments requiring walls or fences around the parcel shall have the walls or fences installed by the builder prior to occupancy of any adjacent residences.
- ◆ Landscape berming can be used as a complement to screen walls.
- ◆ The texture, color, and form of walls adjacent to buildings shall harmonize with the building's design.
- ◆ Long, continuous lengths of screen wall at the same height are discouraged. Variations of height and form are encouraged.
- ◆ Perimeter walls should be on the meandering right-of-way/property line but do not need to follow the alignment exactly.
- ◆ Walls and fences shall be a maximum of 6', as measured for an adjacent grade, along rear and side lot lines and shall conform to City zoning ordinances and visibility triangles.
- ◆ Walls between single-family and commercial uses shall be 7' high.
- ◆ Walls along Camino Mercado shall be 7' in height. Walls along Earley Road shall be 8' in height.
- ◆ When walls are located in the front yard for decorative or screening purposes, they shall be a maximum of 3' in height, conforming to City zoning ordinances and visibility triangles.
- ◆ Chain link fencing is not permitted for fencing, except if within a rear yard with a perimeter masonry wall.
- ◆ Walls and fences shall be constructed to City of Casa Grande engineering and design standards.
- ◆ Open fencing shall be highly encouraged adjacent to open spaces, such as decorative block and wrought iron, in order to take advantage of views.
- ◆ Walls separating single family residential from nonresidential shall be installed as part of the construction of whichever use is developed first.
- ◆ The horizontal mass of continuance walls should be softened by landscape planting and vines, variations in height and berming.
- ◆ Walls built to screen ancillary structures shall complement the building materials of the principal structure.

# APPENDIX E

## 4. HARDSCAPE

Hardscape elements should be used in coordination with the architecture and landscape to provide a link between the street edge and individual developments. Attention to the hardscape details can enhance the sense of community by relating developments and reinforcing the overall design theme. In addition, proper hardscape design can improve pedestrian safety, movement, and visual enjoyment of public areas. Patterned paving materials can be used in limited areas to emphasize entries and places of special interest. Utility lines should not be installed under such special materials if at all possible.

The places appropriate for this emphasis are as follows:

- ◆ Community entries
- ◆ Trail/road crossings
- ◆ Private walks
- ◆ Village entries
- ◆ Residential driveways
- ◆ Major intersections

Acceptable paving material include (subject to Engineering approval):

- ◆ Integrated colored concrete
- ◆ Brick
- ◆ Native stone
- ◆ Pre-cast interlocking pavers
- ◆ Combinations of the above

### **General Paving Guidelines:**

- ◆ Near buildings, paving should be consistent with major intersection treatments.
- ◆ Painted paving surfaces other than those for traffic control and marking of parking areas within parking are prohibited.
- ◆ Use smooth materials to encourage movement and rough materials to slow movement down.
- ◆ Limit the number of paving materials in one place to three.

Paths and walkways will be provided to link the various land uses within this project and create a pedestrian friendly environment.

### **Street Furniture:**

- ◆ Hardscape elements such as benches, bollards and trash receptacles should highlight the community themes as well as serve functional uses. Materials used in the construction of street furniture should reflect the surrounding architecture, walls and fences, and paving materials. Street furniture should be limited to a common design throughout each individual village and should tie into the overall theme.

#### **General Guidelines for Street Furniture:**

- ◆ Street furniture should be conservative in use of sidewalk space, and maintain a clear width to accommodate pedestrian flow.
- ◆ Street furniture should be constructed on long-wearing, vandal-resistant materials capable of withstanding climatic conditions.
- ◆ To the greatest extent possible, street furniture should be integrated into landscape areas and off street amenity areas.
- ◆ Street furniture should consider for safety, comfort and convenience of the user, including the handicapped.
- ◆ Furniture will not obstruct stairs, ramps, building entrances or exits, loading areas or public rights-of-way. Furniture will be placed to minimize policing or security hazards.

## **5. LANDSCAPE**

Together with the Preliminary Development Plan, the Landscape Theme is a central element in the design of an overall community identity. The landscape for the common area / open spaces will establish a community framework for Casa Grande Crossings. The objective of the landscape is to screen, accent, soften and improve the visual character of the Community. All plant material should be drought resistant and water conserving. Drip irrigation systems are required, except for turf areas. The streetscape is one of the most visible elements in a community. A consistent streetscape theme establishes a very effective visual reference of the Community for the residents, and to the public.

Landscape should be used:

- ◆ To soften, but not obstruct, the architecture.
- ◆ For visual screening.
- ◆ Aesthetically, as a reminder of the natural environment in which we live. The plant list in this Guide shall be used by all homebuilders to maintain cohesiveness throughout the Community.
- ◆ All plant material shall be provided with fully automated drip irrigation systems. Plants should be selected to fit naturally into their space to avoid the need for excessive trimming and allow normal growth.
- ◆ Water-conserving devices, such as drip irrigation for all plant materials except turf areas, must be utilized.
- ◆ Backflow prevention devices shall be fully screened.
- ◆ Exposed earth is not permitted due to erosion and dust concerns except in planting beds.

The following landscape standards shall apply to streetscapes and residential site development.

### **5.1 Streetscape**

In order to achieve an overall circulation system and provide a strong community structure and neighborhood identity, the landscape design shall be of consistent quality and shall clearly define streetscapes, major entries and intersections.

- ◆ **Collector Streets:** The landscaping along the collector streets shall be a xeriscape landscape accented with native canopy trees with desert planting below.
- ◆ **Local Streets:** The landscaping along the neighborhood streets will reflect the landscaping theme of the roadways to provide cohesiveness throughout the project.
- ◆ **Major Entries:** A formal (linear) planting of trees and landscaping is intended to create a visual sense of arrival.

### **5.2 Residential Site Development**

- ◆ Landscaping shall comply with these Design Standards, City codes and specific Master Site Plan approvals by the City.
- ◆ Individual developments' landscape designs shall be integrated with the streetscapes.
- ◆ At least one 15 gallon tree and four 5 gallon shrubs are required in the front yard of each single-family residential unit. Groundcover may be plants, decomposed granite, or other natural rock material. All bare earth must be covered by a City approved plant or rock material to provide a neat dust-free appearance.
- ◆ All completed dwelling units must have the front yards landscaped and street trees planted prior to occupancy. Prior to landscaping, all yards must be maintained in a neat dust-free appearance.
- ◆ All landscaping must reflect the character of the development.
- ◆ Rocks and boulders, patios, sidewalks, etc, may be used to supplement and create imaginative landscaping design.
- ◆ Artificially colored rock yards are not acceptable at any location.
- ◆ Ponds, water-falls and ornaments such as wagons, characters and flamingos are prohibited in the front yards. (This requirement will only be enforced by the Homeowner's Association.)

### **5.3 Open Space/Retention Areas**

- ◆ Landscaping shall comply with the City of Casa Grande Codes and Ordinances and final landscaping plans that are reviewed and approved by the City Planning Director. The landscape design shall compliment the established character of the approved streetscape theme.

## **6. LIGHTING**

Light is used for both aesthetics and safety reasons. The fixtures themselves should be consistent with the overall image of the Community. They should be attractive to look at during the day, as well as functional at night. For streets, parking lots, and walkways, lighting is primarily for security. An effective economical combination of ground and streetlight level fixtures may be used. Landscape and architectural lighting is primarily for aesthetics. All lighting shall be compatible with the design character of the project. No bright, colored or flashing lights will be permitted. All light fixtures are subject to approval by the City prior to the installation.

## **7. SIGNAGE**

Signage for the single-family residential components of this PAD will be per the approved PAD guide for Casa Grande Crossings and all applicable City codes.

Multi-family signage will be per the review and approval of the City Planning and Zoning Commission's Major Site Plan process.

### **7.1 Entry Monument Signs – Conceptual**

- ◆ Monument signs will be utilized to create enhanced entryways into each neighborhood within the Community.
- ◆ The Entry Monument signs shall be designed and installed by the developer. These signs establish the theme for the entire development and all other signs should reflect this "master" sign standard. Each development sign, as a small portion of the whole project, will contribute significantly to the overall image.
- ◆ Subdivision signs shall be constructed of permanent materials.

## **8. MAINTENANCE**

Maintenance of all infrastructure is a necessary key to the continued quality appearance of the Community. Maintenance applies to buildings and other structures, paving and hardscape, landscape and all other site amenities.

### **8.1 Guidelines**

- ◆ All improvements shall be kept in good and sufficient repair.
- ◆ Plants shall be maintained in a healthy and growing condition. Fertilization, cultivation and natural looking pruning shall occur on a regular basis and shearing of plant material shall be minimized.
- ◆ All trash and weeds shall be removed on a regular basis.
- ◆ Dead plants shall be removed and replaced with a like species within ten working days, weather permitting.
- ◆ The irrigation system shall be maintained regularly to avoid water loss.
- ◆ Lawns shall be kept mowed.
- ◆ Damages to any improvements shall be repaired as promptly as the extent of the damage shall allow.

## **9. MACHINERY AND EQUIPMENT**

No machinery, fixtures, or equipment of any type, including, but not limited to, heating, evaporative cooling, air conditioning, and clotheslines, may be placed on any lot or parcel without screening or concealment from view of neighboring or public property. The screening or concealment shall be integrated architecturally with the design of the building or structure, shall not have the appearance of a separate piece or pieces of machinery, fixtures, or equipment, shall be constructed and positioned in such a manner so it is level and plumb with horizontal and vertical building components and shall be structurally stable in accordance with sound engineering principals. Ground mounted air conditioning units shall be concealed by a solid enclosure on all sides visible to neighboring property. All pool equipment shall be screened from off-site public view.

## **10. SOLAR PANELS AND EQUIPMENT**

Except where contrary to Federal or State law, solar energy devices may not be visible from public view. Roof mounted solar panels and equipment must match the roof material. Panels must be an integrated part of the roof design and mounted directly to the roof plane. Solar units must not break the roof ridgeline. Roof mounted hot water storage systems must not be visible from neighborhood properties. Tacker type systems will be allowed only when not visible from neighboring property.

## **11. EXTERIOR ACCESSORIES**

### **11.1 Antennas**

- ◆ Except as where contrary to Federal or State laws, exterior television, radio, or other antenna or dishes of any kind shall not be visible from the street.

### **11.2 Amplifier**

- ◆ No radio, stereo, television, broadcast, or loudspeaker unit, and no amplifier of any kind, may be placed upon or outside, or be directed to the outside, of any building in residential areas in a manner which would be disruptive to any such area.

### **11.3 Basketball Backboards**

- ◆ Basketball backboards can be of the "portable" type or they must be installed only on a separate freestanding pole. Portable backboards shall be kept within the rear yards or garages when not in use.

### **11.4 Flagpoles**

- ◆ Flagpoles shall be limited to a height of 20' in residential areas.
- ◆ Temporary flagpoles at model home complexes shall be per City code.

### **11.5 Utility and Service Lines**

- ◆ No gas, electric, power, telephone, water, cable television, or other utility or service lines of any nature or kind may be placed, allowed, or maintained upon the above the ground on any lot or parcel, except to the extent, if any, underground placement may be prohibited by law or would prevent the subject line from being functional; provided, however, above ground service pedestals, splice boxes, switch cabinets, and transformers will be permitted where required for public utilities or the landscaping of common areas.

### **11.6 Additions or Alterations**

- ◆ Any addition or alteration to any building, structure, lot, or parcel must, unless the additions and alterations are not visible from neighboring properties or public properties, not violate or conflict with these Guidelines. No garages shall be converted to liveable area or otherwise altered to change their original function.

## **12. ADDITIONAL REQUIREMENTS FOR PAD SINGLE-FAMILY RESIDENTIAL ARCHITECTURE**

### **12.1 MANDATORY PAD DESIGN STANDARDS FOR OPEN SPACE**

- ◆ Approximately 33.7 acres of open space is to be landscaped as inviting recreational areas and pedestrian corridors. The open space equates to 15% of the net project area. The open space areas are centralized as much as possible to maximize the use by all neighborhoods. As stated previously, there will be two designated children's play areas with ramadas, picnic tables and barbecues. A Master Homeowners Association will be formed to maintain all common area open spaces and landscape tracts.
- ◆ The open spaces are strategically located for high visibility and serve as pedestrian/bike pathways through the site. Views into open space areas are provided to create dramatic entries to the project. In addition, numerous interior roads and cul-de-sacs terminate with views into open space areas. The open space is centralized, as much as possible for maximum use by residents of Casa Grande Crossings. These open spaces are connected by a 10-foot multi-use pathway, which serves to physically and visually tie the neighborhoods together as a community.
- ◆ The open space areas were designed to retain storm water generated on the site as well as carry off-site drainage through the site in an aesthetically pleasing design. Creatively designed, these retention basins will utilize varied side slopes, varied plant massing, and curvilinear pedestrian pathways in order to make the basins pleasant open space features. At least 15% of the retention basins that are designed for recreational usage will be elevated above the 25-year flood water surface elevation.

### **12.2 ADDITIONAL DEVELOPMENT STANDARDS**

#### **12.2.1 Enhanced Subdivision Entrance Features**

- ◆ The Developer / Homebuilder will construct entrance features for the project as illustrated in this PAD. Selection of building materials and landscaping will reflect the theme to be extended throughout the Community for the streetscape and project walls. Crosswalks at these entrance features will be constructed of stamped integral color concrete or integral colored concrete pavers.
- ◆ There will be one primary and two secondary entry features situated at strategic corners to identify the entrance into the Casa Grande Crossings residential community (Refer to Exhibit 7). The primary entrance feature will be situated along the major access route into the project. That feature as illustrated will include; a sign wall, large specimen trees for a more mature appearance, massing of low water shrubs and groundcovers to appear more lush, and an undulating grade to form berms that can add visual interest. The secondary entrances will be very similar to the primary with sign walls and landscaping, only smaller in scale.

### **12.2.2 Curvilinear Street System**

- ◆ The project has been designed with a curvilinear street system which follows the natural lay of the land. The street were designed in a discontinuous manner to discourage cut through traffic and as a traffic slowing measure

### **12.2.3 Hardscape**

- ◆ The developer will provide stamped, colored concrete/pavers at the entries into the neighborhoods, street intersections where pathways cross, in order to create a unifying throughout the community.

### **12.2.4 Theme Wall Design**

- ◆ The theme wall design as illustrated in this in this document, uses stucco and a cultured stone as the accent. The use of these materials begins with the entrance features and continues throughout the perimeter walls of the project.

### **12.2.5 Multi-Use Path**

- ◆ A 10-foot wide multi-use path will meander through the development's proposed open space corridors physically linking the community together as one. The path will meet minimum AASHTO standards. All paths will be included within a pedestrian access easement, where deemed necessary by the City.

### **12.2.6 Staggered Setbacks**

- ◆ Front yard setbacks will be staggered a minimum of three feet at every third or fourth consecutive home.

### **12.2.7 Landscape Buffers**

- ◆ A landscape tract is provided along all collector and arterial roadways for increased buffering.

### **12.2.8 School Site**

- ◆ A 6-acre site will be reserved for the Elementary School District for the development of a future school on this parcel and an adjacent parcel.

### **12.2.9 Incorporate a Variety of Exterior Materials**

- ◆ The homebuilders shall utilize at least four different roofing colors per parcel/subdivision. Two or more tile types shall be utilized per subdivision. Stone veneers will be offered on all housing elevations.

### **12.2.10 Provide Significant Architectural Features**

- ◆ The homebuilders shall include at least one of the following on at least 50% of its product for each parcel: covered front entries, front porches, or front bay windows.

### **12.2.11 Exceed the Mandatory Requirements for Home Color Schemes and Floor Plans**

- ◆ The homebuilders shall utilize at least 6 distinct home color schemes and 6 floor plans within each residential subdivision/parcel.

#### **12.2.12 Miscellaneous Requirements**

- ◆ All homes will have their main entrance facing a roadway
- ◆ At least one floor plan per parcel will have the liveable home area forward of the garage by at least 5'.
- ◆ Non-tandem front-loaded garages for 3 or more cars will not be allowed on any lot that is less than 65' wide at the 20' setback line.
- ◆ Front loaded garages shall not extend more than 12' forward of the home's liveable area.
- ◆ All gang mailboxes will be constructed with a decorative block and/or stone veneer that reflects the architectural finish for that particular subdivision.



# APPENDIX F

## Recommended Landscape Palette

### Botanical Name

#### Trees:

Acacia aneura  
Acacia salicina  
Acacia smallii  
Caesalpinia cacalaco  
Cercidium floridum  
Cercidium microphyllum  
Cercidium praecox  
Chilopsis linearis  
Dalbergia sissoo  
Fraxinus velutina "Rio Grande"  
Jacaranda mimosifolia  
Lysiloma microphylla var. thornberi  
Olea Europa "Swan Hill"  
Olneya tesota  
Phoenix dactylifera  
Pinus canariensis  
Pinus eldarica  
Pinus roxburghii  
Pistachia chinensis  
Pithecellobium flexicaule  
Pithecellobium mexicanum  
Prosopis chilensis  
Prosopis glandulosa  
Prosopis juliflora  
Pyrus calleryana "Bradford"  
Quercus species  
Ulmus parvifolia  
Washingtonia robusta

#### Shrubs:

Buddleia marrubifolia  
Caesalpinia mexicana  
Caesalpinia pulcherrima  
Calliandra californica  
Calliandra eriophylla  
Cassia species  
Convolvulus cneorum  
Cordia boissieri  
Cordia parvifolia  
Dalea species  
Dodonea viscosa  
Encelia farinosa  
Ericamaria larcifolia  
Justicia species  
Leucophyllum candidum  
Leucophyllum frutescens

### Common Name

#### Trees:

Mulga  
Willow Acacia  
Sweet Acacia  
Casalote  
Blue Palo Verde  
Foothill Palo Verde  
Palo Brea  
Desert Willow  
Sissoo Tree  
Fan-tex Ash  
Jacaranda  
Desert Fern  
"Swan Hill" Olive  
Ironwood  
Date Palm  
Canary Island Pine  
Eldarica Pine  
Chir Pine  
Chinese Pistache  
Texas Ebony  
Mexican Ebony  
Chilean Mesquite  
Honey Mesquite  
Native Mesquite  
Bradford Pear  
Oak  
Evergreen Elm  
Mexican Fan Palm

#### Shrubs:

Woolly Butterfly Bush  
Mexican Bird of Paradise  
Red Bird of Paradise  
Baja Fairy Duster  
Pink Fairy Duster  
Cassia  
Silverbush Morning Glory  
Texas Olive  
Littleleaf Cordia  
Dalea  
Hop Bush  
Brittlebush  
Turpentine Bush  
Justica  
"Silver Cloud" Sage  
"Green Cloud" TM Sage

**Shrubs (continued):**

Leucophyllum laevigatum  
Leucophyllum zygophyllum  
Myrtus communis "Boetica"  
Penstemon species  
Ruellia peninsularis  
Salvia clevelandii  
Salvia greggi  
Salvia leucantha  
Simmondsia chinensis  
Spaeralcea ambigua  
Tecoma v. stans  
Xylosma species

**Perennials/Groundcover/Vines:**

Acacia species  
Antigonon leptopus  
Baccharis "Centennial"  
Baileya multiradiata  
Bougainvillea sp "Barbara Karst"  
Bougainvillea  
Convolvulus species  
Dalea capitata  
Euphorbia rigida  
Gazania species  
Hymenoxys acaulis  
Lantana camara  
Lantana "New Gold"  
Mascagnia lalacaena  
Melampodium leucanthum  
Myoporum parvifolium  
Penstemon species  
Verbena species  
Cynodon dactylon "Midiron"

**Accents/Cacti and Succulents:**

Agave species  
Aloe species  
Carnegiea gigantea  
Dasylirion species  
Echinocactus  
Fouquieria splendens  
Hesperaloe species  
Nolina species  
Yucca species  
Opuntia species

**Shrubs (continued):**

Chihuahuan Sage  
"Cimarron" TM Sage  
Twisted Desert Myrtle  
Penstemon  
Desert Ruellia  
Chaparral Sage  
Autumn Sage  
Mexican Sage  
Jojoba  
Globemallow  
Arizona Yellow Bells  
Xylosma

**Perennials/Groundcover/Vines:**

Acacia  
Queen's Wreath  
Desert Broom hybrid  
Desert Marigold  
Barbara Karst  
Bougainvillea  
Morning Glory  
"Sierra Gold" TM  
Gopher Plant  
Gazania  
Angelita Daisy  
Trailing Lantana  
"New Gold" Lantana  
purple Orchid Vine  
Blackfoot Daisy  
Myoporum  
Penstemon  
Verbena  
Hybrid Bermuda

**Accents/Cacti and Succulents:**

Agave  
Aloe  
Saguaro  
Desert Spoon  
Barrel cactus  
Ocotillo  
Hesperaloe  
Bear Grass  
Yucca  
Prickly Pear