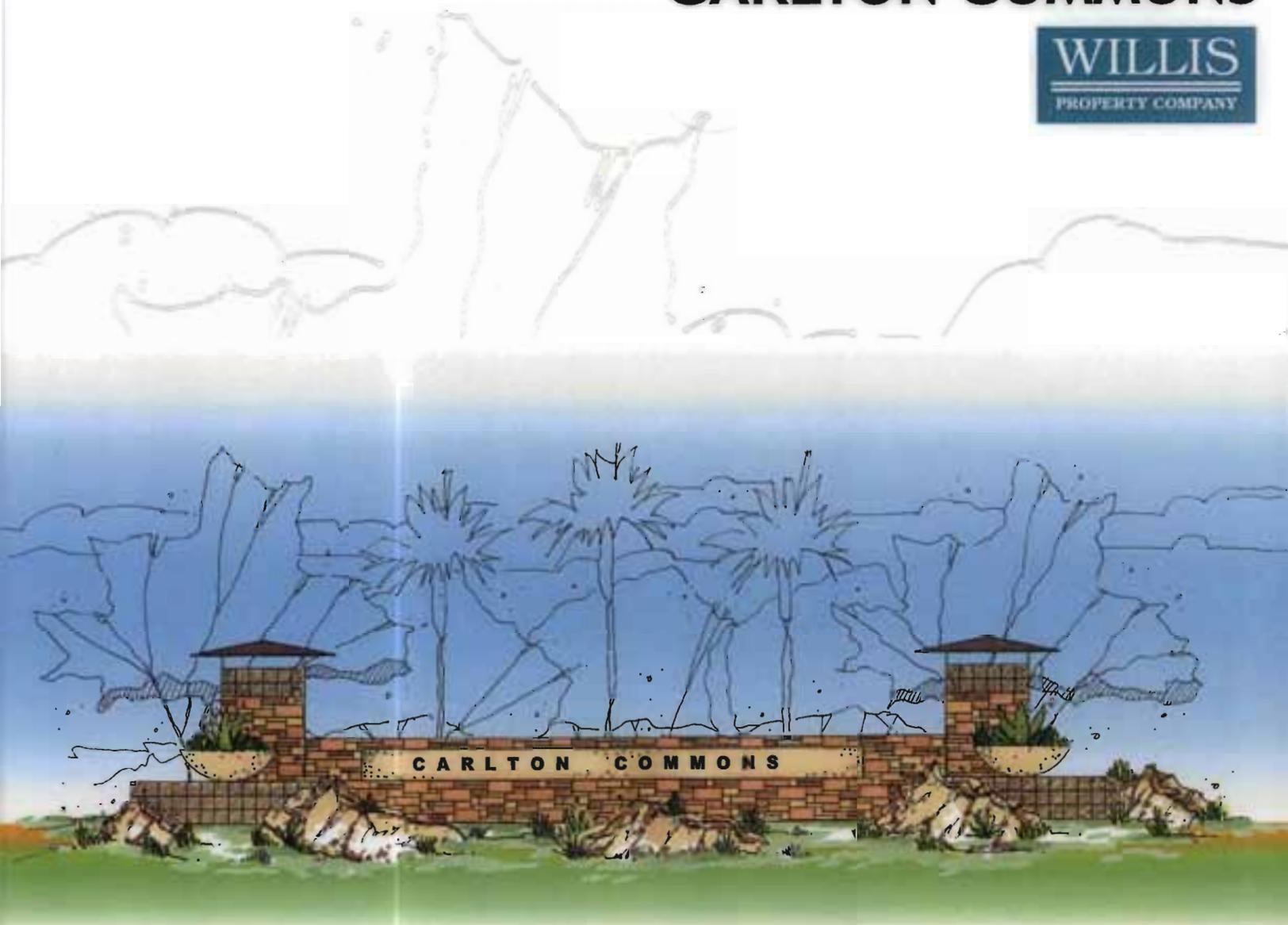


PAD LIBRARY COPY

CARLTON COMMONS

WILLIS
PROPERTY COMPANY



PRELIMINARY DEVELOPMENT PLAN and DEVELOPMENT GUIDE CASA GRANDE, ARIZONA

amec  **PLANNING STUDIO**

December 12, 2003
Revised: February 19, 2004
April 5, 2004

Carlton Commons

PLANNED AREA DEVELOPMENT (PAD) PRELIMINARY DEVELOPMENT PLAN AND DEVELOPMENT GUIDE

LOCATED ON 394 ACRES BETWEEN PEART AND HENNESS ROADS
SOUTH OF DOAN ROAD
CASA GRANDE, ARIZONA

Submitted: December 1, 2003
Revised: February 19, 2004
Revised: April 5, 2004

SUBMITTED TO:

City of Casa Grande Planning Department
510 East Florence Boulevard
Casa Grande, Arizona 85222
(520) 421-8637

PREPARED BY:

AMEC Infrastructure
4435 East Holmes Avenue
Mesa, Arizona 85206
(480) 830-3700

ON BEHALF OF:

Carlton Ranch, LLC
C/o Willis Property Company
3850 E. Baseline Road, Suite 118
Mesa, AZ 85206
Contact: Mr. Dale Willis

TABLE OF CONTENTS

PART I – PROJECT OVERVIEW	7
1.0 GENERAL PLAN COMPLIANCE	8
2.0 PLANNED AREA DEVELOPMENT ZONING REQUEST	8
3.0 EXISTING SITE AND AREA CONDITIONS.....	8
3.1 EXISTING SITE CONDITIONS	9
3.2 TOPOGRAPHY AND DRAINAGE	9
3.3 RELATIONSHIP TO SURROUNDING PROPERTIES	9
3.4 ACCESSIBILITY	9
3.5 LEGAL DESCRIPTION	9
4.0 PROJECT LAND USE.....	10
4.1 GENERAL SITE DESCRIPTION	10
4.2 LOT SIZING AND PLACEMENT.....	10
4.3 LOT DESIGN.....	12
4.4 COMMUNITY OPEN SPACE AND RECREATION AMENITIES	12
4.5 CONCEPTUAL LANDSCAPING, WALL AND MONUMENTATION.....	13
A. Walls/Fences	14
B. Right-of-Way and Open Space Landscaping	14
C. Signage and Entry Monumentation	14
D. Wall, Landscape, and Signage & Monumentation Maintenance	15
5.0 TRAFFIC CIRCULATION AND STREET DESIGN	15
5.1 ARTERIAL STREETS.....	15
5.2 COLLECTORS/LOCAL STREET	15
5.3 PEDESTRIAN AND MULTI-USE PATHS	15
5.4 RESIDENTIAL STREETS AND ROADWAYS	15
5.5 RESPONSIBILITY FOR DEVELOPMENT AND MAINTENANCE	16
6.0 UTILITY SERVICE AND PUBLIC FACILITIES.....	16
6.1 WATER AND SEWER.....	16
6.2 IRRIGATION WATER	16
6.3 DRY UTILITIES.....	17
6.4 SCHOOL DISTRICT.....	17
6.5 SOLID WASTE	17
6.6 POLICE AND FIRE.....	17
6.7 PUBLIC FACILITIES NEARBY	17
7.0 GRADING AND DRAINAGE CONCEPT.....	18
7.1 OFF-SITE DRAINAGE.....	18
7.2 ON-SITE DRAINAGE	18
8.0 PHASING PLAN	18
9.0 RESIDENTIAL COVENANTS, CONDITIONS AND RESTRICTIONS	18
PART II - PAD RESIDENTIAL DESIGN STANDARDS.....	19
1.0 PAD PROJECT LAYOUT AND DESIGN.....	19
1.1 MANDATORY PAD LAYOUT AND DESIGN STANDARDS	19
A. Open Space	19
B. Single Family Lot Sizes	20
C. Setbacks and Lot Standards	20
D. Multi Family and Single Family Attached Development	21
E. Manufactured Homes	21
F. Multistory Homes	22

G.	Streetscapes and Entrances	22
H.	Front Yard Landscaping	22
I.	School Site	23
J.	Miscellaneous	23
1.2	ADDITIONAL REQUIREMENTS FOR PAD LAYOUT AND DESIGN	23
A.	Cul-de-sac Mix and Curvilinear Street System	23
B.	Multi-Use Path	23
C.	Staggered Front Setbacks	23
D.	Enhanced Arterial and Collector Road Theme Fencing	24
2.0	RESIDENTIAL PAD ARCHITECTURAL STANDARDS	24
2.1	MANDATORY RESIDENTIAL ARCHITECTURAL STANDARDS	24
A.	Floor Plans and Elevations	24
B.	Roofs	25
C.	Garages	25
D.	Patio Covers	25
E.	Additions and Modifications	25
2.2	ADDITIONAL REQUIREMENTS FOR PAD RESIDENTIAL ARCHITECTURE	26
A.	Durable Exterior Materials and Finishes	26
B.	Significant Architectural Features	26
C.	Two Story Home Impact Reduction	26
D.	Window Treatments	26
2.3	HOME FLOOR PLANS AND ELEVATION APPROVALS	26
	CONCLUSION	27

LIST OF EXHIBITS

EXHIBIT A - REGIONAL VICINITY MAPS

EXHIBIT B - AERIAL PHOTO

EXHIBIT C - CONCEPTUAL SITE PLAN

EXHIBIT D - CASA GRANDE GENERAL PLAN

EXHIBIT E - ALTA SURVEY

EXHIBIT F - TOPOGRAPHIC MAP

EXHIBIT G - FLOOD INSURANCE RATE MAP

EXHIBIT H - CONCEPTUAL LANDSCAPE PLANS

EXHIBIT I - TRAFFIC STUDY

EXHIBIT J - STREET CROSS SECTIONS

EXHIBIT K - MASTER WATER/SEWER PLANS

EXHIBIT L - SCHOOL SITE ALTERNATE AND DISTRICT LETTER

EXHIBIT M - PRELIMINARY DRAINAGE PLAN

EXHIBIT N - PRELIMINARY PHASING PLAN

EXHIBIT O - PRELIMINARY DEVELOPMENT PLAN

PROJECT DEVELOPMENT TEAM

OWNER

Carlton Farm, Inc., KMC Farms, LLC, and Carlton Pension Trust
P.O. Box 10556
Casa Grande, Arizona 85230

DEVELOPER

Carlton Ranch, LLC
C/O Willis Property Company
3850 E. Baseline Road, Suite 118
Mesa, AZ 85206
Contact: Mr. Dale Willis

PLANNING / LANDSCAPE / ENGINEERING

AMEC Infrastructure
4435 East Holmes Avenue
Mesa, Arizona 85206
(480) 830-3700
Contact: Josh Hannon

TRAFFIC ENGINEERING

Task Engineering
5125 North 16th Street, Suite A-210
Phoenix, AZ 85016
(602) 277-4224

Carlton Farms PAD Conditions

The following conditions shall apply to this PAD. In the event that there is a conflict between these conditions and language in the Carlton Farms Development Guide, these conditions shall take precedence:

1. A PAD Plat shall not be required for this PAD. All plats shall comply with the City Subdivision regulations.
2. All traffic, grading, drainage, retention, sewer, and water reports/studies for the PAD are subject to the review and approval of the City Engineer.
3. Front yard landscaping requirements shall be in accordance with the *Residential Design Standards for Planned Area Developments*. Plant quantities, standard plan designs, and optional plan designs shall be subject to the review and approval of the Planning and Development Director.
4. Deceleration lanes and left turn lanes shall be indicated on the preliminary plat and shall be subject to the review and approval of the Planning and Zoning Commission at the time of preliminary plat reviews for the PAD.
5. The Parcel One unique product area shall specifically be conditioned as follows:
 - A. Parcel One shall have its own internal amenities including, but not necessarily limited to one ramada, covered tot lot, walkways, and benches.
 - B. A single-family detached housing product is required for Parcel One.
 - C. The lot layout, exact number of lots, circulation plan, and access for Parcel One shall be subject to the review and approval of the Planning and Zoning Commission at the time of preliminary plat approval for Parcel One.
 - D. The subdivision plat shall not be processed for Parcel One until such time a homebuilder has been selected and the unique housing product for Parcel One can be submitted to the Planning and Zoning Commission for their review and approval.
 - E. Landscape, wall, sign, and amenity plans for Parcel One shall be subject to the review and approval of the Planning and Development Director.
 - F. The minimum lot width for Parcel One shall be forty-five (45') feet.
 - G. Minimum side yard setbacks for Parcel One shall be five-foot/five-foot (5'/5').
 - H. The minimum rear yard setback for Parcel One lots backing Parcel Two shall be twenty feet (20').
6. The City shall maintain the right to require one or more local street connections to properties to the south and west of the PAD.
7. The builders and/or developers of this PAD shall make reference within their public reports as to the close proximity of a dairy and the potential impacts of the dairy, including odor, noise, flies, etc. The City will require additional notifications on the Final plats for the PAD.
8. Development of the site shall be in accordance with the Carlton Commons Development Guide/Plan (as corrected to reflect the zoning conditions of approval) and all applicable City codes and ordinances.
9. Owner shall complete the process for the formation of a park maintenance or enhanced municipal services improvement district pursuant to Arizona state statutes for maintenance of the common areas for which a homeowners association (HOA) is primarily responsible. This Improvement District will only levy assessments if HOA fails to maintain or replace common area amenities.

PART I – PROJECT OVERVIEW

The proposed Carlton Commons Master Planned Community consists of 394 acres and is designed to offer a range of housing types with numerous open space areas and greenbelts. Carlton Commons also incorporates an elementary school site near the center of the community. This project will offer the residents of Casa Grande a sustainable, high quality community with a variety of housing options, architectural styles, streetscapes and recreational amenities.

The property lies in Range 6 East, Township 6 South, in the southeast and southwest quarter of Section 27 and the northwest quarter of Section 34, Gila and Salt River Meridian. A set of regional location maps is included in **Exhibit A**. Annexation into the City of Casa Grande is required for this project. The property is currently a part of unincorporated Pinal County, and Carlton Ranch LLC is currently requesting annexation of the subject property and has had the first hearing.

Carlton Commons is currently zoned in the County for agriculture and one dwelling unit per acre. An aerial photograph of the current site is located in **Exhibit B**. The Carlton Commons Master Plan calls for a rezoning to the City of Casa Grande Planned Area Development. This zoning request is consistent with the Casa Grande General Plan. The highest densities will be located near the Peart Road and Doan Road intersection, with the higher densities located near the Henness Road and Earley Road intersection. This creates a gradual transition between densities while creating a diverse, yet cohesive community.

This development enhances Casa Grande's goal of attracting high quality housing to the community and provides attainable housing for the growing work force. This proposed development contains a variety of active and passive open space areas in the form of neighborhood parks, generous open space, and multi-use trails to serve the residents and create a cohesive neighborhood. Carlton Commons is a well-designed and attractive Planned Area Development that will provide a great deal of benefit to the surrounding area and the City of Casa Grande. The Carlton Commons preliminary site plan can be found in **Exhibit C**.

The proposed Carlton Commons Master Planned Community will include:

- A Low Density Residential single family development with 17 subdivisions or development phases with an overall density range of 2.8 to 8.0 residential dwelling units per acre;
- Usable open space that encompasses a minimum of 15% of the community;
- Numerous recreation areas containing tot lots, sports fields, ramadas, barbeques, park benches, picnic tables, and open space areas, all linked together;
- Pedestrian access from each residential subdivision connecting all parts of the development to open space and to each of the recreation areas;
- A unique collector road system in compliance with the General Plan 2010 that offers safe, limited access from each of the subdivisions to all parts of the City;
- An entry feature that gives a sense of destination and identity to the community; and
- A twelve-acre school site for the benefit of community children and residents.

1.0 GENERAL PLAN COMPLIANCE

This project is within the City of Casa Grande planning area and is in conformance with the City of Casa Grande General Plan 2010. The Land Use Element of the General Plan calls for Low Density Residential (1-4 DU/ac) for the entire project area and can be found in **Exhibit D**. The project utilizes a variety of single-family detached residential uses. The overall density of this project, when taken as a whole is within the 1-4 DU/AC allowed within the General Plan Low Density range. The property is located in the Urban Fringe Growth Area of the General Plan and is immediately adjacent to the Urban Core area.

Carlton Commons also complies with the Community Character Element, a subsection of the Land Use Plan Element, by incorporating a variety of materials and landscaping in the treatment of the perimeter walls, and by staggering front yard setbacks. Likewise, Carlton Commons is in compliance with the School Planning Element subsection by coordinating with the local School Districts to minimize the impact of additional student load by providing a school site.

The Transportation/Circulation Element of the General Plan has designated the particular placement of the collector roadways to be developed in the area containing the Site. The Carlton Commons Development Plan has been designed using the collector roadway configuration designated by the General Plan Roadway Circulation Plan.

The General Plan Circulation Element shows Peart, Henness and Earley Roads as arterial streets and Arizola and Doan Streets as collectors. The Transportation/Circulation Element has designated these arterial and collector roadways in the area to be developed with bike lanes. The Carlton Commons Development Plan has been designed using the designated bike paths along all of these streets with the exception of Doan Street.

KEY GENERAL PLAN ELEMENTS – CARLTON COMMONS COMPLIANCE		
✓	Land Use Element	LDR Designation/Density Range
✓	Community Character	Wall Variety; Streetscape Diversity and Staggered Front Setbacks
✓	School Planning	School Location & Dedication
✓	Traffic/Circulation Element	Roadways & Multiuse Paths

2.0 PLANNED AREA DEVELOPMENT ZONING REQUEST

Carlton Commons is a well-planned development that has been designed in conjunction with the City's vision for high quality housing and the Casa Grande General Plan Land Use Element. The proposed Carlton Commons Planned Area Development (PAD) zoning was chosen as a way to meet the requirements of the General Plan while providing for a diversity of housing and recreational open space within this community. The site is currently zoned for agriculture and one dwelling unit per acre within the County.

3.0 EXISTING SITE AND AREA CONDITIONS

The following sections describe the current conditions of the Site and those of the surrounding area.

3.1 EXISTING SITE CONDITIONS

Carlton Commons is an approximately 394-acre parcel of agricultural land located in the City of Casa Grande planning area, but is currently in the unincorporated area of Pinal County. The parcel currently exists as an agricultural field with a mild slope from southeast to northwest at approximately 0.3%. The property lies in Range 6 East, Township 6 South, in the southeast and southwest quarter of Section 27 and the northwest quarter of Section 34, Gila and Salt River Meridian. An ALTA survey and legal description are included as **Exhibit E**. Regional transportation system proximity is: 1 mile east of Interstate 10 and 2 miles north of Interstate 8. The site is currently being used for agriculture and contains the original farming homestead. These homes will be moved or demolished as part of this project.

3.2 TOPOGRAPHY AND DRAINAGE

A majority of the Site has been graded to accommodate the irrigation of crops. The Site slopes very gently to the north, northwest. The high point of the Site is at the southeast corner that is approximately 1,405 feet above mean sea level ("MSL"). The low point of the Site, at the northwest corner, is approximately 1,396 feet above MSL. Elevation and topographic information was derived from the U.S. Geological Survey, Waddell, Arizona, 7.5 Minute Series quadrangle map, 1957, photo revised 1971. A Topographic Map is attached as **Exhibit F**.

The Pinal County, Arizona and Incorporated Areas Flood Insurance Rate Map (FIRM) Panel Number 0400770925 D, dated March 5, 1990, indicate that the project falls predominantly within Zone C. Zone C is defined by the Federal Emergency Management Agency (FEMA) as: Areas of minimal flooding. Zone C is outside the delineated 100-year floodplain. Flood insurance is available, but not required by the Federal Insurance Administration, for buildings concerned with a federally insured loan. Flood insurance is optional at the discretion of the owner or lending institution. A Floodplain Map is attached as **Exhibit G**.

3.3 RELATIONSHIP TO SURROUNDING PROPERTIES

The existing land use within a one-quarter mile radius of the Site may be characterized as a mixture of agricultural, residential and commercial uses.

A recreational vehicle park, single family projects and Mesquite Elementary School are located to the north of Carlton Commons. Undeveloped land is on the west. Several proposed planned communities including Sierra Ranch and Casa Grande 320 are located directly to the east of Carlton Commons. Both projects to the east contain single family uses adjacent to the site with proposed commercial located at the Earley Road and Henness Road intersections. To the south of the proposed development are county rural residential lots with single-family homes, except for a dairy located immediately south of Earley Road, immediately east of Peart Road.

3.4 ACCESSIBILITY

Carlton Commons is easily accessible from Interstate 10 to the east via SR 287 (Florence Boulevard) and from the downtown area to the west via Florence Boulevard and Peart Road or Arizola Road.

3.5 LEGAL DESCRIPTION

This proposed residential PAD is comprised of 11 parcels of land in a part of the SE ¼ and SW ¼ of Section 27 and the NE ¼ and NW ¼ of Section 34, Township 6 South, Range 6 East; G&SRM, City of

Casa Grande, Pinal County, Arizona. A copy of the current ALTA Survey, and legal description is located in **Exhibit E**.

4.0 PROJECT LAND USE

Carlton Commons is a residential community composed of a variety of single-family detached uses and one single-family "z-lot" area. The community has been divided into small neighborhood parcels that are carefully coordinated and integrated via open space elements and an internal collector road system. The community is proposed as a Planned Area Development (PAD) and is designed to conform with Residential Design Standards for Planned Area Developments.

Annexation into the City of Casa Grande is required for this project. The property is currently a part of unincorporated Pinal County, and Carlton Ranch LLC is requesting annexation prior to proceeding with the proposal.

4.1 GENERAL SITE DESCRIPTION

Carlton Commons has been planned with the design flexibility of being developed with a maximum of 1,418 single family detached homes (including "z-lot" area and potential school site), with linear open space and pocket parks throughout the development. A minimum of 15% of the project has been set aside for open space and retention and is accessible from any part of the community by using a combination of detached sidewalks and neighborhood trails within the development.

4.2 LOT SIZING AND PLACEMENT

Eight lot/housing types are planned for Carlton Commons development under the proposed PAD Overlay District. The PAD will allow for innovative techniques that will encourage the spirit of the community, and provide the neighborhood a distinctive character. The single family districts have been divided into eight (8) categories of lot sizes ranging from a minimum of 3,200 square feet to 8,050 square feet and larger. A smaller lot may be permitted on Parcel #1 subject to Planning and Zoning Commission and City Council approval. (See Preliminary Development Plan - **Exhibit O**.)

PAD Land Use Data

Parcel	Land Use or Zoning Category	Min Lot Size (Ft)	Gross District Area (AC)	Gross Du/Ac	Number of Lots	OS/R Total Acres	% OS/R
1	PAD (Unique)	45' x 80'	21.98	6.5	144	3.3	15.0
2	PAD (SFD)	55' x 115'	24.25	4.2	101	3.9	16.1
3	PAD (SFD)	65' x 125'	29.56	3.1	92	4.6	15.6
4	PAD (SFD)	65' x 125'	25.46	2.7	70	5.0	19.6
5	PAD (SFD)	60' x 117'	32.25	3.8	123	4.0	12.4
6	PAD (SFD)	55' x 110'	23.88	4.0	95	3.7	15.5
7	PAD (SFD)	55' x 110'	26.42	4.1	109	3.1	11.7
8	PAD (SFD)	60' x 117'	29.45	3.8	111	4.0	13.6
9	PAD (SFD)	70' x 115'	22.91	2.8	65	4.4	19.2
10	PAD (SFD)	55' x 128'	14.98	3.2	48	2.7	18.0
11	PAD (SFD)	65' x 125'	24.74	3.3	81	3.2	12.9
12	PAD (SFD)	65' x 115'	33.54	3.2	106	5.6	16.7
13a	PAD/SFD/ School *	60' x 117'	12.56	2.4	40	4.5	15.0
13b	PAD (SFD)	60' x 117'	16.78	3.7	52	3.3	19.7
14	PAD (SFD)	55' x 110'	19.36	3.9	75	2.1	10.8
15	PAD (SFD)	60' x 117'	21.25	3.0	63	5.3	24.9
16	PAD (SFD)	70' x 115'	14.65	2.9	43	2.7	18.4
Totals		N/A	394.02	3.6	1418	57.5	15.0

Density and Open Space calculated on **Gross Residential Acres**

* The Carlton Commons PAD will set aside an additional 12.5 acre school site, that the school district may use for future expansion and to serve the school needs of Carlton Commons and the local area, for a period of five years from the commencement of construction of Phase 1. **Exhibit L** contains the school site exhibit (Parcel 13a) along with the proposed 40 residential units (60' x 117') for the parcel, if the school district is unable to build a school within the time frame allotted. We have also attached the school district letter of intent for this site.

4.3 LOT DESIGN

All lots that side onto streets within Carlton Commons have a landscape buffer between the lot and the street. This makes the lots more enjoyable as well as providing open space to create both a classic and contemporary upscale feel of the development. The lots that back up to arterial roads have a generous landscape tract that separates the arterial road from the development.

4.4 COMMUNITY OPEN SPACE AND RECREATION AMENITIES

As part of the conceptual Landscape Plan shown in **Exhibit H**, Carlton Commons has been designed with distinctive, but fully integrated, open space areas. This Master Open Space encompasses a minimum of 15% of the project and has been designed to be part of each of the proposed residential subdivisions with this development.

The Master Open Space is a combination of numerous common open space areas linked to the various neighborhood "pocket parks" and landscaped areas. The Site also contains designated active recreation areas, all of which are linked within the development by a neighborhood trail and public sidewalk system. In addition, all proposed subdivisions within the community include bicycle lanes along the interior collector roads linking the overall development.

To ensure that the Master Open Space plan is incorporated into each subdivision, the Community Developer will create and record a set of Covenant, Conditions, and Restrictions ("C,C&Rs") establishing a master homeowner's association ("Master HOA") for the Carlton Commons project. The Master HOA will be responsible for maintaining the landscaping and designated recreation areas for the Master Open Space including any landscaping within adjacent rights-of-way. The following sections are a brief outline of the various features of the Master Open Space.

Carlton Commons open space has been designed to enhance the quality of life for the residents as well as the surrounding community of Casa Grande. The well-planned neighborhoods are designed around the open spaces to ensure that recreational and leisure activities will be accessible and plentiful.

The extensive open space, throughout the community, provides acres of active and passive recreational opportunities. 15% of the total residential development area is composed of this open space. With over 60% of this area being reserved for active recreation, there are ample opportunities for enjoyment of the space by all residents. Additionally, many of the internal collector streets are designed with extra wide tracts and open space areas.

Larger neighborhood parks are the major open space elements and occur along collector streets or at central locations. These parks are designed to function as community focal points and are easily accessible from adjacent residential areas. Each of these parks contains multi-use fields, basketball courts and a large ramada with picnic tables and barbecues. These parks will serve as the main community gathering space, and allow all residents the occasion to meet each other and create strong community ties.

Within neighborhood areas, there are small mini-parks containing a tot lot, benches and open play areas. There are numerous mini-parks throughout Carlton Commons and each one will serve the residents of the adjacent residential neighborhood.

Carlton Commons will have a 15-foot landscape tract along all collector and arterial roadways in addition to street rights-of-way landscaping. Also, there are larger tracts that provide storm water retention and occur along the collector and arterial roads in this project. In addition to providing needed retention, these open space tracts also provide visual relief and field areas for play.

All open space areas that serve as retention basins will be designed to handle the surface water retention for the proposed development. This retention basin system will be sized for a 100 year, 1 hour storm. Drywells will be used per the recommendations of the City Engineer.

4.5 CONCEPTUAL LANDSCAPING, WALL AND MONUMENTATION

Pinal County has a rich agricultural history that has been an essential part of the growth and achievement. Carlton Commons, through its community design and landscape framework, makes every effort to convey those characteristics that make special. The preliminary Landscape Plan located in **Exhibit H** details the various themes of the community.

Carlton Commons is a Master Planned Community with a theme that reflects the project's heritage and ties to the community. The project's theme has been crafted with careful attention to design and the lifestyle of its future residents. Open space has taken the forefront as the community image. This is accented by creating a lifestyle amenity-based theme using open space, character elements, plant palette, and master plan layout.

The lighted entry monuments include ornamental iron connected to large columns with a planter surrounding. The ornamental design provides a strong development identification with contemporary fields or meadow theme. The columns will incorporate smooth block and stone, with stone caps. The theme walls will be primarily constructed of split face block, with single score cmu block accents. The theme walls will incorporate accent columns with ornamental block, faux stone to match the theme columns, and stone caps. View wall is utilized wherever possible and is intermitted by theme wall for variety in adjacent landscape tracts. A 'Wall Layout and Concept Plan' is included for review.

Carlton Commons' plant palette consists of a unique blend of trees that will add a distinctive texture to the community as well as be reminiscent of the community's farm oriented history with a classic Arizona contemporary low water use palette. This will include plants that are consistent with those commonly used as windbreak or accent trees on fields and meadows throughout Arizona. The main theme trees will include Sissoos, Palms, Ash, Swan Hill Olives, and Elms. The entire plant palette is shown on the Landscape Plan.

The master plan is laid out to reinforce the distinctive amenity based theme. The layout includes meandering street patterns designed to slow traffic speeds. The streets have also been designed to provide good views of open space as residents drive through their neighborhoods to promote safety and a feeling of openness throughout the community.

The master plan has been designed with ample open space emphasizing outdoor living enjoyment and the ability for people to live and play in a secure and safe environment. The Open Space Amenity Plan illustrates the proposed location of the park and retention areas.

A. Walls/Fences

Subdivision Theme and Perimeter Walls: The Site will have a perimeter theme wall along the arterial roadways and along both sides of the interior collector streets. This wall will be decoratively designed and built to meet City fencing requirements and standards. The theme wall will follow the proposed rear or side lot lines of the adjacent subdivisions in the development to create a visually pleasing streetscape along both the collector roads and the arterial road.

The location and design criteria of each of these walls are presented on the Conceptual Landscape Plan, which is presented in Exhibit H.

View Fence along Open Spaces: A modified 6 foot tall subdivision view fence is proposed along the rear lot lines of the interior lots that back onto common open space. Both wall options are shown on the Conceptual Landscape Plan.

The view fence will be a 2-foot block wall with 4-foot wrought iron top of the wall. The location and design criteria for this view fence are presented on the Conceptual Landscape Plan. Final wall plans, designs, and colors are subject to the review and approval of the Planning Director, and are to be designed per City of Casa Grande pool code regulations.

Internal Lot Line Walls: A standard 6 foot tall subdivision or site wall will be provided for the side and rear lot lines within each subdivision of this development. The individual property owners, not the Master HOA, will maintain the common lot line walls within these subdivisions. Fence returns will be located within 10 feet of the front corners of the homes.

B. Right-of-Way and Open Space Landscaping

Landscaping will be provided along all arterial and collector roadways. The landscaping of the two interior collector roads will be located in portions of the rights-of-way and additional adjacent open space tracts of Carlton Commons. Landscaping will also be provided in the open space/retention basin tracts within the Site.

The landscaping will, at a minimum, fulfill the requirements identified in the provisions of the Municipal Code of the City. Plant information and pictorial renderings of the conceptual landscaping in the open space areas will be presented in the Construction Drawings to be submitted to the City for final approval. Final landscaping plans are subject to the review and approval of the Planning Director.

C. Signage and Entry Monumentation

Primary lighted, monumentation and signage will be placed with the major entry features along the arterial roadways. Additional secondary monumentation and signage will be placed at the remaining secondary entries along collector roadways. The exact locations for primary and secondary monumentation will be determined prior to final plat. Monuments, sign plans, designs and colors are subject to review and approval of the Planning Director.

D. Wall, Landscape, and Signage & Monumentation Maintenance

The Master HOA will be responsible for the maintenance of all the walls except the internal lot line walls. The individual homeowner will be responsible for the maintenance of the internal lot line walls.

Likewise, the Master HOA will maintain the landscaping, the signage at the entries, and the proposed Entry Water Features as well as all landscaping located within adjacent rights-of-way.

5.0 TRAFFIC CIRCULATION AND STREET DESIGN

A Traffic Impact Study has been completed under a separate cover and can be found in **Exhibit I** by reference. The actual study will be submitted as a separate document with the PAD.

5.1 ARTERIAL STREETS

The primary entrances to Carlton Commons will be from Peart Road and Henness Road with minor traffic to be generated from the collector Arizola Road. These are primarily north/south roads, and are expected to provide the majority of traffic access. Earley Road, an east west arterial will provide access to the site as well. Typical street cross-sections can be found in **Exhibit J**. Developer/Builder will be responsible for designing and constructing arterial streets to City standards. Deceleration lanes will be constructed along the arterial roadways at the main entrances to the project as recommended by the City Engineer.

5.2 COLLECTORS/LOCAL STREET

The primary circulation route throughout Carlton Commons will be via the central collector streets, curving from the access points off the arterials (Peart and Henness Roads) and via the north south collector Arizola. Internal to the single family districts, curvilinear street design, cul-de-sacs and looped local streets provide functionality, interest, visual appeal and respect homeowner privacy as it improves public safety throughout the project while vehicular speeds are reduced. This design also serves to significantly discourage cut-through traffic and unifies each of the neighborhoods. Typical street sections are depicted in **Exhibit J**. Developer/Builder will be responsible for designing and constructing collector streets to City standards.

5.3 PEDESTRIAN AND MULTI-USE PATHS

Pedestrian sidewalks extend along arterial and collector streets within and adjacent to the project. In addition, sidewalks are to be provided on every street in the community. The sidewalks allow all residents access to community amenities, and other residences. Pedestrian connections will be provided to major open space and recreational areas within and adjacent to neighborhood areas.

5.4 RESIDENTIAL STREETS AND ROADWAYS

The Community Developer will be responsible for the engineering and construction of local residential streets within Carlton Commons. A 44-foot right-of-way will be dedicated to the City. Local street improvements will include paving, curb and gutter, and a 4-foot wide sidewalk.

5.5 RESPONSIBILITY FOR DEVELOPMENT AND MAINTENANCE

The Street cross sections for Arterial and Collector roadways, and the striping plans will be subject to the review and approval of the City prior to the approval of the Preliminary Plat. The City will be responsible for the maintenance of improvements within the rights-of-way, with the exception of the landscaping. The Master HOA will be responsible for said landscaping.

6.0 UTILITY SERVICE AND PUBLIC FACILITIES

Private utility companies will provide water, gas, cable TV, phone, and electric service. The City will provide the sewer, police, fire protection, and refuse collection per annexation agreement.

6.1 WATER AND SEWER

The Conceptual Master Water and Sewer plan is attached as **Exhibit K** for information and review. As previously discussed, this site is proposed in five separate phases. The water and sewer extensions/connections will be constructed as development dictates for each phase to serve itself. This concept allows for each phase to be independent from the other, as each phase will most likely be constructed on its own. The water and sewer will be designed and constructed by the developer and owned and operated by the private water company and the City respectively.

The Arizona Water Company will provide water service to the subject property. The City of Casa Grande currently does not maintain a 100-year assured water supply certification as issued by the Arizona Department of Water Resources. Therefore, an assured water supply certification will need to be applied once platting has been finalized. The Arizona Water Company operates and maintains all water supplies, wells and pumping facilities that will serve the supply lines to the site.

Water supply piping in residential collector streets will be 8", 10" or 12" depending on the demand. Water piping within the individual subdivision parcels requires a 6" minimum water line size. These line sizes are necessary for maintaining adequate operating pressures and flows to serve both the fire fighting and domestic water needs for the development. As required by The City of Casa Grande, a looped (connected/supplied at two ends) water supply system will be provided for each phase of the site. See **Exhibit K** for the Conceptual Water Plan.

The City of Casa Grande will provide sanitary sewer service for this development and is responsible for operating all sanitary sewer facilities, including treatment plants, lift station and mains, which will receive the wastewater from this development. Sewer improvements within the subdivision will be 8" to 10" depending on the demand. It is proposed that this site sewer north into the existing 12" sewer in Peart Road and into the existing 12" sewer in Arizola Road. Sewer improvements in the adjacent arterial roads will be provided as necessary to provide sewer service to this site. See **Exhibit K** for the Conceptual Sewer Plan.

6.2 IRRIGATION WATER

The site irrigates from the supply canal running throughout the property. There are private laterals that run north within the property. These will be removed or tiled as required.

6.3 DRY UTILITIES

Local utility companies shall provide dry utility services such as electrical power, natural gas, cable television, telephone, etc. Upon construction completion and acceptance, operation and maintenance of all utilities and facilities shall rest with the operating agency. All utility extensions will be installed as services are required and per City of Casa Grande standards.

6.4 SCHOOL DISTRICT

Carlton Commons is located within the Casa Grande Elementary School District and the Casa Grande Union High School District. The Casa Grande Elementary School District serves students from Kindergarten to Sixth Grade. Mesquite Elementary School at the northwest corner of Arizola Road and Doan Road and Cactus Middle School, which is located just east of the intersection of Kortsen and Trekell Roads, serves the projects middle school needs. Casa Grande Union High School District serves the site with a school located at the intersection of McCartney and Trekell Roads, which will serve the project area.

The Carlton Commons PAD will set aside an additional 12.5 acre school site, that the school district may use for future expansion and to serve the school needs of Carlton Commons and the local area, for a period of five years from the commencement of construction of Phase 1. **Exhibit L** contains the school site exhibit (Parcel 13a) along with the proposed 40 residential units (60' x 117') for the parcel, if the school district is unable to build a school within the time frame allotted. We have also attached the school district letter of intent for this site.

6.5 SOLID WASTE

Casa Grande provides weekly collection of solid waste and recyclables from all residential units in the incorporated areas as an exclusive service provider. Monthly collection of uncontained items is also provided to residential customers. County residents located within the City of Casa Grande Planning Area are not included in this service. They must utilize private subscription services for the removal of their solid waste.

6.6 POLICE AND FIRE

Community security, fire safety and the associated ease of on-site circulation will be principal determinants in the design and planning of Carlton Commons. All parcels will be designed to have a minimum of two (2) points of ingress/egress to allow emergency vehicle access. A fire station is currently located north of the project site, within the City limits. The nearest police station is located in downtown Casa Grande. Street lighting and fire hydrants will be provided as required by the building codes of the City of Casa Grande.

6.7 PUBLIC FACILITIES NEARBY

The Casa Grande Regional Medical Center is just three miles away from the Site at Florence Boulevard and Henness Road.

The closest major City Park is Mosley Park, which is located at the intersection of Pueblo Drive and 2nd Street.

7.0 GRADING AND DRAINAGE CONCEPT

As previously discussed, this site is proposed in five separate phases. The grading and drainage concept proposed is for each phase to retain its own on site runoff and, at a minimum, its adjacent half street arterial runoff in on site retention basins. This concept allows for each phase to be independent from the other, as each phase will most likely be constructed on its own. For discussions below, see the enclosed Preliminary Drainage Plan in **Exhibit M**.

7.1 OFF-SITE DRAINAGE

Offsite drainage information has been obtained from The Casa Grande Drainage Study (C.G.D.S.), prepared by Carter Associates for the City of Casa Grande in June 1987, which analyzes the potential 100-year storm water runoff in the City and the contributing drainage areas outside the city limits. Per this study, an off site flow impacts Phase 1 of this site. The 146 cfs flow generated from undeveloped land south and east of this site, crosses the intersection of Peart and Earley Road and continues north along Peart Road. With the City's improvements of Peart Road in 2001, culverts at the intersection with Doan Road collect this drainage where it is then retained in a basin on the west side of Peart between Florence Blvd and Doan. Therefore, a drainage channel along Peart Road is proposed to convey the flow northerly to the culvert at Doan Road. As the land south and east of this project develops, as described by the Future Land Use General Plan, the flow impacting the site will diminish, as the developments will retain their own site runoff.

7.2 ON-SITE DRAINAGE

The storm water runoff from the 100-year, 1-hour storm will be retained on-site in accordance with the City of Casa Grande Design Guidelines. As described in section 7.0, each phase will retain its own on site and adjacent arterial runoff in basins provided within each phase. The basins, which are incorporated with the open space areas throughout the neighborhood, will be graded with varying cross slopes and undulating side slopes to create an aesthetic look for the subdivision. All basins will drain within 36 hours by means of natural ground percolation and dry wells where necessary.

8.0 PHASING PLAN

Proposed phasing for the project is shown on **Exhibit N**. There are five major phases planned. It is anticipated that development will begin in the areas north of Earley Road, between Peart and Arizola Roads. This would be Phases one and two. Phase three is the area north of Earley Road and east of Arizola Road. The fourth major phase is the area south of Earley Road and west of Arizola road. The fifth phase is the remaining area south of Earley road and east of Arizola road. Sub-areas of each of the major phases could be phased based on market conditions. While individual parcels may be phased the backbone improvements – arterials, collectors, water and sewer – will be completed for the major phase all at one time. All phasing of public infrastructure improvements will be subject to the review and approval of the Planning Director and City Engineer.

9.0 RESIDENTIAL COVENANTS, CONDITIONS AND RESTRICTIONS

A Homeowners Association (HOA) will be created to manage all common open space facilities. In addition to these tracts, the HOA will assume the maintenance responsibility for collector roads and local roads median landscaping and landscaping within the public rights-of-way abutting the community's internal and external boundaries. The community's HOA shall also maintain landscape/common areas.

The HOA will develop CC&Rs to incorporate the design principals as outlined in this document and will promote diversity in home plans and elevations, use of color, home amenities, and subdivision streetscapes and maintenance.

PART II - PAD RESIDENTIAL DESIGN STANDARDS

1.0 PAD PROJECT LAYOUT AND DESIGN

Carlton Commons has been designed to incorporate and meet the City's Residential Design Standards for PAD zoned developments ("RDS/PAD"), adopted January/February of 2003. The following sections outline how the subdivision design of Carlton Commons will meet or exceed these PAD residential design standards for the development.

1.1 MANDATORY PAD LAYOUT AND DESIGN STANDARDS

There are ten concepts within the design standards of the RDS/PAD that must be followed. The following subsections provide information on how Carlton Commons will comply with those mandatory layout and design standards.

A. Open Space

Carlton Commons complies with the following requirements:

- Minimum of 15% Open Space: The project proposes 57.5 acres of open space, which is 15%.
- Clubhouses, indoor recreation centers, parking lots, street rights-of-way, and non-landscaped or cement retention areas and drainage channels do not count towards the open space requirement.
- At least 50% of the required open space must include parks, multi-use trails, turfed retention areas, tot lots, and/or other outdoor active or passive recreation improvements.
- When retention areas are designed for recreation usage, at least 15% of the basin needs to be elevated above a 25-year flood water surface elevation.
- All open space not considered natural preservation area shall be landscaped according to an approved water-conserving final landscape plan. There are no proposed natural preservation areas. See the landscape concept plan, Exhibit – that utilizes a water conservation palette of plant materials. Retention areas designated for field play are turfed.
- PAD's located along interstate 10 corridor: Not applicable
- Golf courses: Not applicable
- Landscape, landscape lighting and open space amenity plans shall be subject to the review and approval of the Planning Development Director. Concept plans are enclosed in this application and final plans will be submitted for review.

The overall design of open spaces is intended to create a sense of community and identity. This is achieved by provided small open space/recreation facilities in residential neighborhoods, within easy walking distance of all homes. Larger areas are consolidated to provide for larger recreation

areas and to provide focal points within the overall community. The goal is to create a sense of 'arrival' within Carlton Commons. Additionally, open space has been coordinated with storm water retention, so that drainage requirements are met, while contributing to community usage, identity and buffering.

B. Single Family Lot Sizes

- No single-family lot shall be smaller than 6,000 square feet (with the exception of one parcel being reserved for a unique housing product, where minimum lot size will be 3,200 square feet). The smallest lot is 6050 square feet. There are no manufactured homes proposed.
- A minimum 55-foot width is required for all single-family lots. The minimum single-family lot width is 55 feet, (except for in the unique product parcel where the minimum lot width is 40').
- Lot and space diversity is required to encourage diversity in housing product types and neighborhoods. The project proposes eight lot types: Single family lots of 6050 SF, 6325 SF, 7020 SF, 7040 SF, 7475 SF, 8050 SF, 8125 SF and approximately 3,200 SF for the unique product lots.
- For every single-family lot less than 7,000 square feet in area, an equal number of lots that are at least 8,000 square feet in area shall be provided. This condition is met in that there are 378 lots less than 7,000 square feet and 400 lots over 8,000 square feet proposed. This is shown in Exhibit O.

C. Setbacks and Lot Standards

Included below are requests made for flexibility from certain City Code development standards. In the spirit of a PAD, creative options for development are arranged and designed in accordance with modern land planning principles and development techniques. Additionally, substantial community benefit is provided as demonstrated with the provision of over twice the minimum required open space and site amenities, as well as design in consideration of both aesthetic and functional appeal desirable in the marketplace.

The flexibility from City Code standards is proposed to provide greater diversity to the project. In addition to the rationale stated below, all of the PAD design flexibility requests are warranted by the substantial benefit provided to the community both immediate and ongoing with examples such as provision of, substantial open space, ample amenities, and master plan excellence through design both congruous and complimentary to adjacent developments as illustrated and described in this guide. The following development standards table and accompanying additional criterion are the standards proposed with this application.

Lot Sizes/Types

Zoning District	Proposed PAD		
	Average Area	Dimensions	Bldg Height
Unique	3,600 SF	45' x 80'	28'
SFD	6,050 SF	55' x 110'	28'
SFD	6,325 SF	55' x 115'	28'
SFD	7,040 SF	55' x 128'	28'
SFD	7,020 SF	60' x 117'	28'
SFD	7,475 SF	65 x 115'	28'
SFD	8,125 SF	65' x 125'	28'
SFD	8,050 SF	70' x 115'	28'

Setbacks

Zoning District	Proposed PAD				
	Front	Side	Corner	Rear	Bldg Height
SFD	15'/20' *	5'/10' **	15' **	20'	28'
Unique	15'/20' *	5'/5'	15' **	10'***	28'

Notes:

* A minimum front yard set back of 15' is permitted from livable areas or side entry garages. Every third or fourth front loaded garage will be staggered a minimum of 3 feet for a total front setback of 23 feet.

** At least one side yard shall be 10'; the remaining side yard may be less than 10' but at least 5'. On corner lots a 15' setback can include up to 10' of the adjacent landscape tract.

*** 20' for lots backing Parcel two (2).

D. Multi Family and Single Family Attached Development

One parcel of single-family attached homes may be built in this development in the unique housing product parcel #1. The overall site density is 3.6 du/ac, which is below the 4.0 du/ac standard required by the City for an exception on parcel #1.

E. Manufactured Homes

No Manufactured homes will be built in this development.

F. Multistory Homes

- No multi-story homes shall be built on corner or end lots.
- No multi-story homes shall be located immediately adjacent to established one-story single-family home subdivisions.
- The unique product parcel may vary from the above multistory requirements.

G. Streetscapes and Entrances

- A unique and cohesive theme for the PAD shall be demonstrated through the PAD's streetscapes, perimeter walls, signage and landscaping design. The project has been designed with a comprehensive theme in order to create a cohesive feeling throughout the project.
- Perimeter walls and walls adjacent to roadways must be decorative, etc. Walls have been designed to be decorative and provide variety.
- A minimum 15-foot wide landscape tract shall be provided between every residential portion of a PAD and an adjacent arterial or collector right-of-way.

The main entrances into a subdivision have been designed to create a sense of arrival. Lighted monument signage, increased vegetation and larger plant sizes are required to enhance subdivision entrances. Additional enhancements shall include a combination of the following features: landscaped medians, brick walls, decorative paving, and stone features. Project entries are shown on exhibit --I. There is a hierarchy of entries planned with the most significant treatment for entries off Peart and Henness Roads. These entries include medians, increased setbacks and stone faced features. Secondary entries reflect the overall theme and occur at collector roads. Edge identity treatments are planned for key corners, including Peart/Doan, Peart/Earley, Earley/Henness and Earley/Arizola intersections. Secondary entries are proposed for individual neighborhood parcels within the project.

H. Front Yard Landscaping

The homebuilders in this development will offer to the homebuyer a selection of front yard landscape packages. The front yard landscaping will be installed by the homebuilder within 3 weeks of home occupancy, and will be maintained by the individual homebuyer. The homebuilder will offer a minimum number of front yard landscape packages that will include a variety of water conserving plants, a set minimum of 15 gallon trees, 5 gallon shrubs or accent plants, 1 gallon ground cover plants, granite rock topping or turf; and an automatic irrigation system. Where grass is proposed in a front yard, the turf area is not to exceed 20% of the front yard area and will be separated from the granite areas by a concrete or brick header. Decomposed Granite will cover all exposed areas to reduce dust in the air. Landscaping packages will offer the option of berming, contouring, boulders and river runs to add variety to each front yard landscape package. The landscape packages are subject to review and approval of the City Planning and Development Director.

I. School Site

Carlton Commons is located within the Casa Grande Elementary School District and the Casa Grande Union High School District. The Casa Grande Elementary School District serves students from Kindergarten to Sixth Grade. Mesquite Elementary School at the northwest corner of Arizola Road and Doan Road and Cactus Middle School, which is located just east of the intersection of Kortsen and Trekell Roads, serves the projects middle school needs. Casa Grande Union High School District serves the site with a school located at the intersection of McCartney and Trekell Roads, which will serve the project area.

The Carlton Commons PAD will set aside an additional 12.5 acre school site, that the school district may use for future expansion and to serve the school needs of Carlton Commons and the local area, for a period of five years from the commencement of construction of Phase 1. **Exhibit L** contains the school site exhibit (Parcel 13a) along with the proposed 40 residential units (60' x 117') for the parcel, if the school district is unable to build a school within the time frame allotted. We have also attached the school district letter of intent for this site.

J. Miscellaneous

1. Side yard fence returns for all interior lot walls shall extent to within 10 feet of the front corner of the home. Agreed.
2. All walls exposed to the public (e.g., streets and open areas), shall be stained or painted the color of the primary decorative theme or perimeter walls, except walls for individual home lots may be the color of the residence. Wall designs and colors will be carefully coordinated so that all project/community walls will be similarly treated to provide for continuity of appearance throughout the project.

1.2 ADDITIONAL REQUIREMENTS FOR PAD LAYOUT AND DESIGN

In addition to the mandatory requirements of the RDS/PAD, at least four of seven proposed standards must also be selected to apply to the entire development. The following four additional development standards will be used in Carlton Commons.

A. Cul-de-sac Mix and Curvilinear Street System

Provide a mix of cul-de-sac designs (where cul-de-sacs are provided), including eyebrows, short courts, cul-de-sacs with open space ends, and landscaped circles and a curvilinear street system.

B. Multi-Use Path

Provide a ten-foot wide or wider concrete multi-use path meandering through the development.

This standard must be selected for all projects with open space corridors, including washes and utility easements.

C. Staggered Front Setbacks

The front setbacks for each subdivision within this development will be established to allow a stagger of at least three feet (20' or 23'). These front setback staggers will occur on every third or forth home with front loaded garages and will be determined by the Homebuilder.

D. Enhanced Arterial and Collector Road Theme Fencing

Developer will use wrought iron or similar view fencing along portions of collectors and/or arterial roadways where homes are not backing/siding these portions of roadways.

2.0 RESIDENTIAL PAD ARCHITECTURAL STANDARDS

The residential product for the three lot sizes in Carlton Commons has not been determined at this time. However, the homes will have architectural diversity while maintaining a cohesive architectural theme and character. The varying use of house forward, side entry garages, as well as staggered garage forward elevations will help create a diverse and visually pleasing street scene. Product elevations and floor plans will be presented to the City staff and the Planning and Zoning Commission for review and approval prior to issuance of any building permits for homes in any proposed subdivisions within Carlton Commons.

In order to provide architectural diversity, the following standards will be provided in the housing products offered in the project to meet the City's PAD Residential Architecture Standards. The following sections outline the housing design standards for the development.

2.1 MANDATORY RESIDENTIAL ARCHITECTURAL STANDARDS

There are five housing concepts within the architectural standards for a proposed PAD development that must be followed. The following subsections provide information on how Carlton Commons will comply with those mandatory residential architectural standards.

A. Floor Plans and Elevations

1. A minimum of five home floor plans, each with three distinct elevations, will be offered within each definitive housing price range or product type.
2. A minimum of five distinct home color schemes will be offered within each definitive housing price range or product type.
3. The Homebuilders for each subdivision within Carlton Commons will strive to offer diversity and uniqueness in the elevations and the color schemes.
4. The Homebuilder will not allow two homes with the same front elevation or color scheme to be located on adjacent lots or across from each other. A variety of architectural design features will be incorporated into each home elevation to promote diversity from home to home.
5. There will not be any more than three consecutive similar rear elevations for homes backing on Cottonwood Lane or the two interior collector streets.
6. The Homebuilder will place emphasis on designing covered front porches, bay windows, etc., into the front elevations of homes. Front entries will be visible from the street.
7. Window pop outs, windowsills, recessed windows and/or similar architectural embellishments will be provided on windows.

B. Roofs

1. A variety of home roofing colors, shapes and/or textures will be offered. Concrete tile roofs will be required for all sloped roofs, however, the City may give consideration to alternative durable roofing materials that are consistent with the proposed housing theme.
2. A variation of ridgelines and designs will be provided.
3. Unique roof colors will be matched to each home color scheme.
4. Residential dwelling units and accessory buildings/structures will have no roof mounted or wall mounted mechanical equipment including HV AC or evaporative coolers. This type of mechanical equipment will be ground mounted.

C. Garages

1. In subdivisions where side entry garages can be accommodated, at least one elevation per floor plan per parcel or product type will be designed with a standard side entrance garage.
2. No garage will extend forward of a home's livable area or covered front porch by more than 10 feet.
3. At least one elevation per floor plan per parcel or product type will have the livable area of the home forward of the garage.
4. Front loaded garage doors shall not exceed 50% of the house width (frontage). In a home where more than a standard two car front entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

D. Patio Covers

1. Rear or side yard covered patios or covered courtyards will be standard on every home.
2. Where possible, covered patio areas will be incorporated into the architecture of the home.
3. The patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns will be subject to the review and approval of the Planning and Zoning Commission.

E. Additions and Modifications

1. All additions to homes will be constructed of the same building materials as the principal residence and painted to complement the home.
2. Garages will not be converted or enclosed for other uses.
3. Accessory building will be located within walled rear yards. Accessory building over 200 square feet in area will be constructed to match or complement the building materials and colors used on the principal residence.

2.2 ADDITIONAL REQUIREMENTS FOR PAD RESIDENTIAL ARCHITECTURE

In addition to the mandatory requirements, at least four of eight proposed standards must be selected to apply to the entire development. At minimum, the following five additional residential architecture standards will be used in Carlton Commons.

A. Durable Exterior Materials and Finishes

The Homebuilders will incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.

B. Significant Architectural Features

The Homebuilder will provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and/or dormers as standard features on all homes.

C. Two Story Home Impact Reduction

The Homebuilder will reduce the impact of two story homes by limiting the second story portion of the home, providing second story plane changes, multiple roof changes, and/or other equally effective measures.

D. Window Treatments

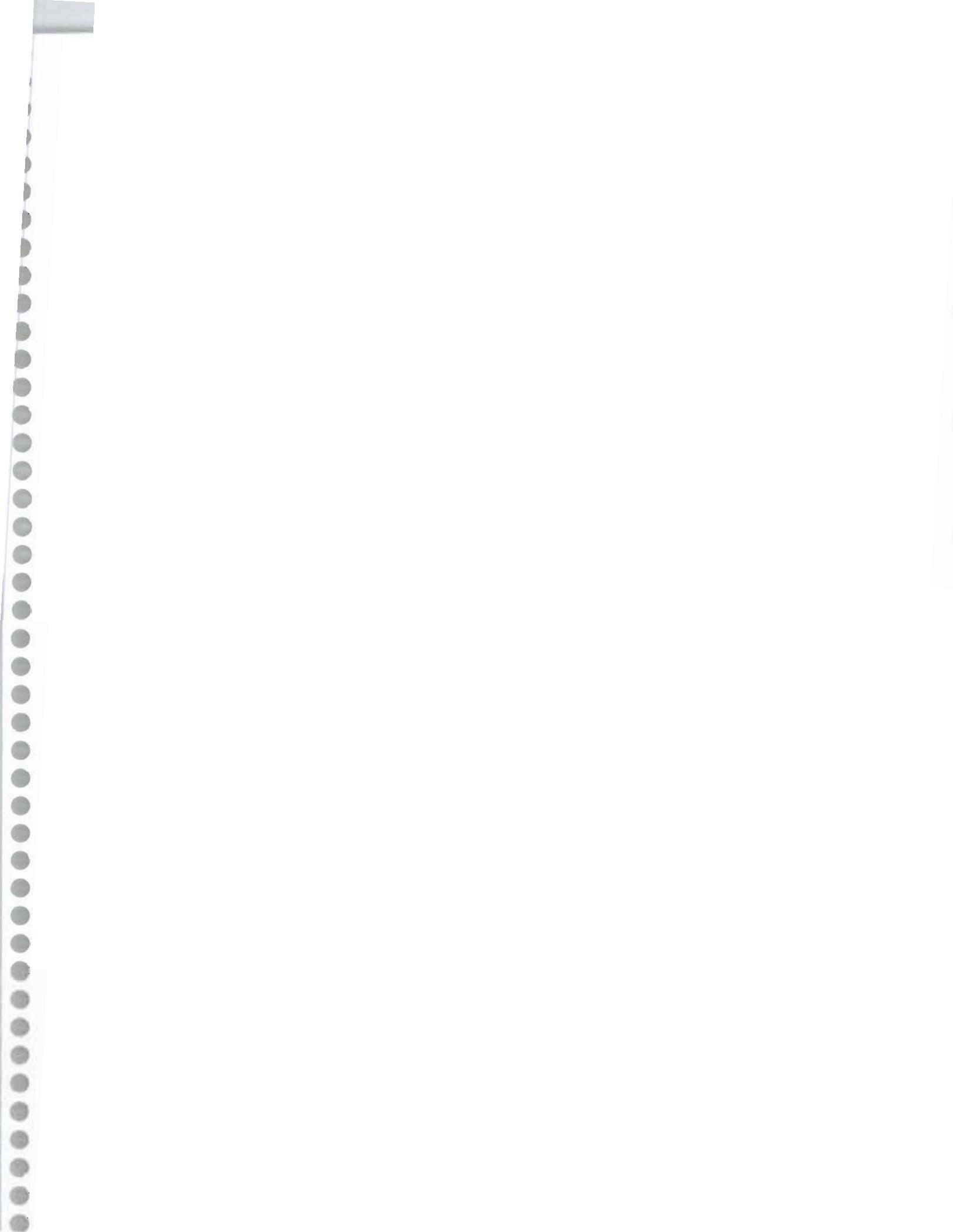
The Homebuilder will place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.

2.3 HOME FLOOR PLANS AND ELEVATION APPROVALS

The Community Developer is proposing to develop platted and engineered lots or finished lots for the homebuilding community of the City. Therefore, it will not be possible to present home floor plans and elevations as part of the PAD zoning process. At the time of the selection of the Homebuilder(s) by the Community Developer, the home floor plans, elevations, colors and other materials for the selected subdivision will be presented to the Planning and Zoning Commission for their review and approval prior to obtaining permits for the homes. Note that the Planning and Zoning Commission will maintain discretion to modify the architectural standards for the unique product during the design review process.

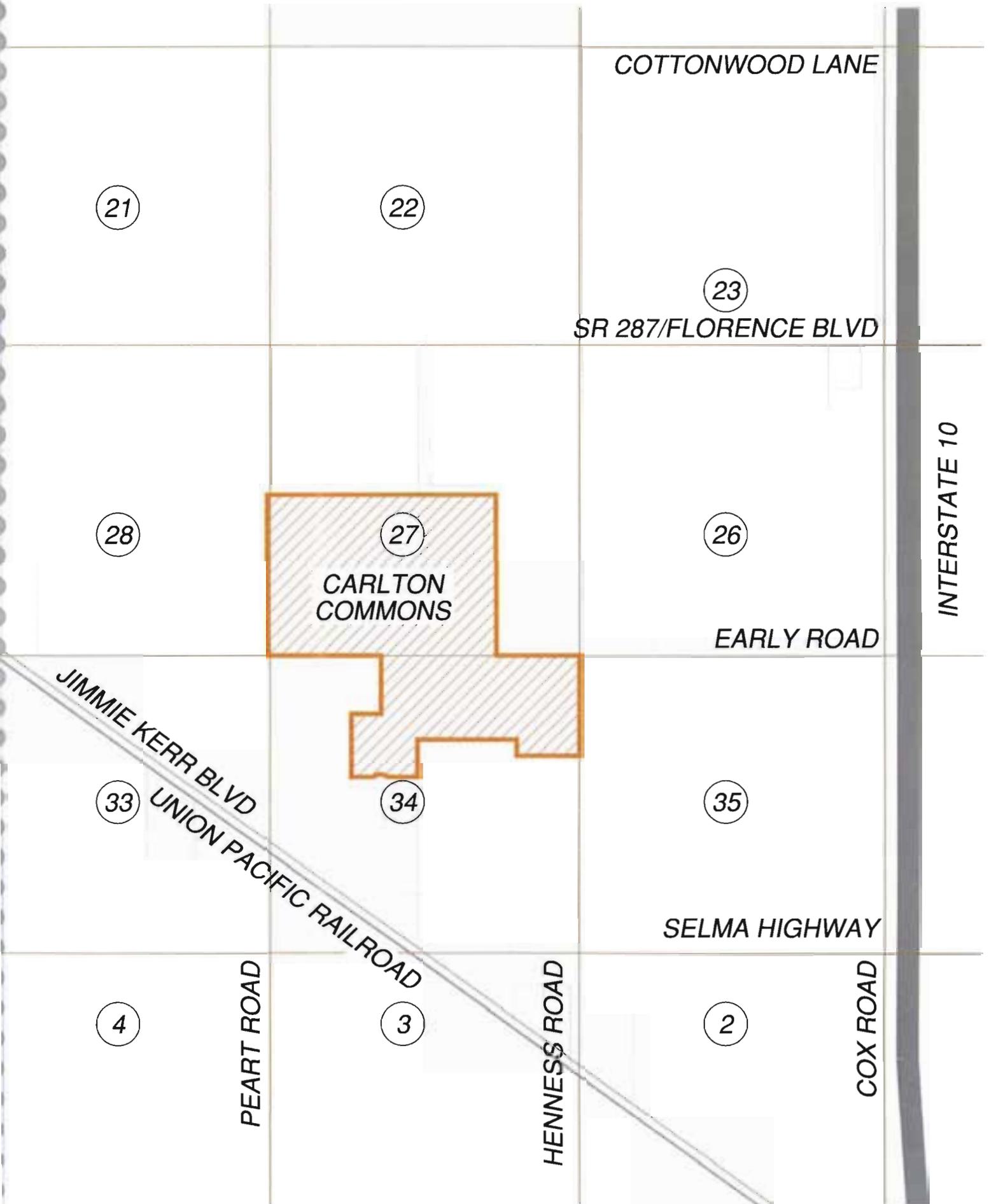
CONCLUSION

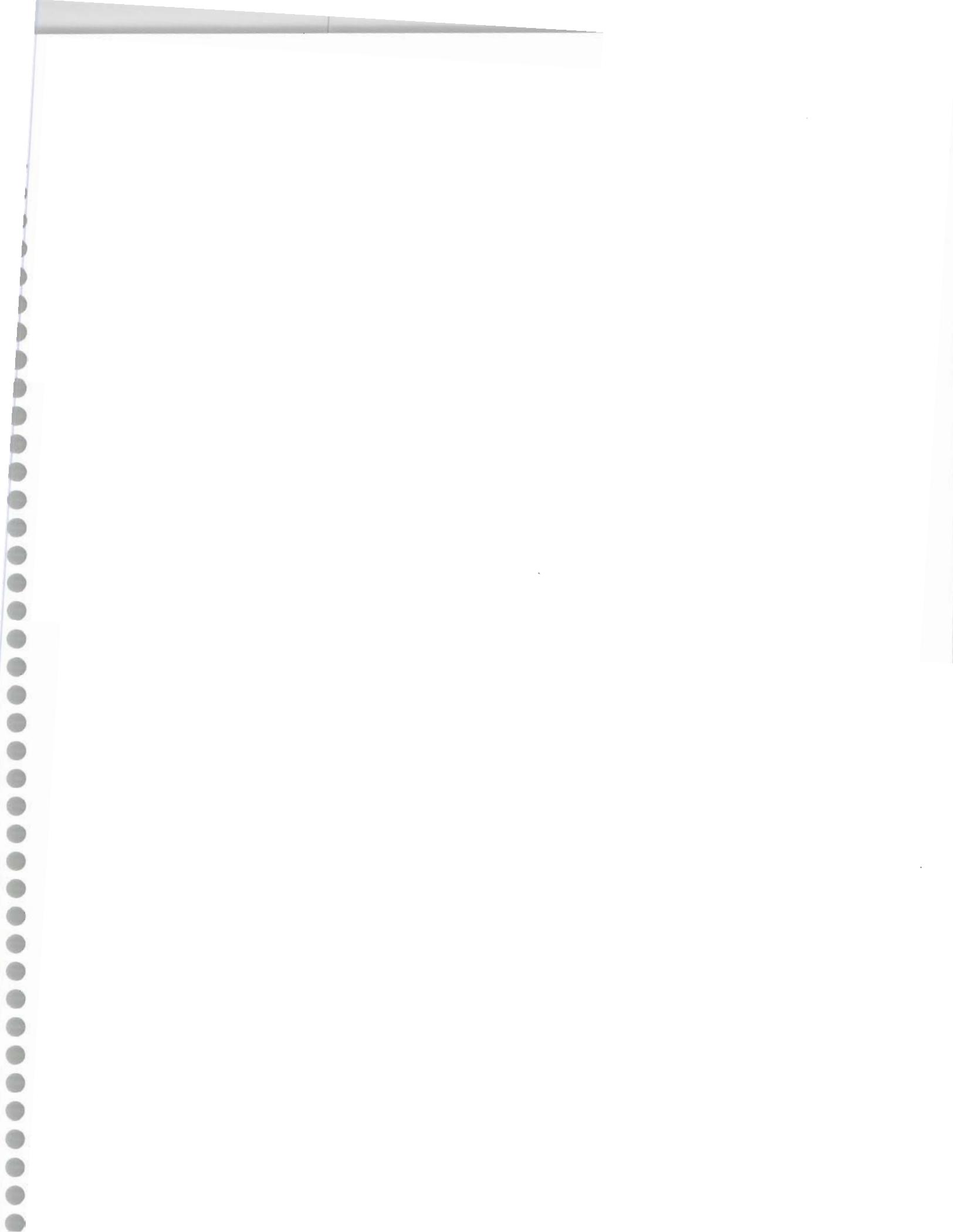
As demonstrated, the development team strongly desires to bring forth an appealing neighborhood to complement and enrich the City of Casa Grande. We envision a development that both enhances and respects the surrounding district. Carlton Commons reflects quality, diversity and compatibility with the area and will provide both future and existing City of Casa Grande residents with a high quality living environment that residents and the City will be proud of. Carlton Commons PAD allows the development of a diversified residential community in a park-like setting centered on common-use open space. A variety of residential lots have been created to enhance the uniqueness of this master-planned community. Carlton Commons is a diverse, well-designed and attractive planned area development that builds upon the City of Casa Grande General Plan as well as the areas history and character to create a development that exceeds the goals and vision encouraged by The Plan. We respectfully request your approval.



VICINITY MAP

SCALE: N.T.S.







LAND USE DATA

PARCEL	MIN. LOT SIZE	GROSS AREA (AC)	DENSITY (DU/AC)	NUMBER OF LOTS	TOTAL OPEN SPACE AREA
1	45' x 80'	21.98	6.6	144	3.3 (15.0%)
2	55' x 115'	24.25	4.2	101	3.9 (16.1%)
3	65' x 125'	29.56	3.1	92	4.6 (15.6%)
4	65' x 125'	25.46	2.7	70	5.0 (19.6%)
5	60' x 117'	32.25	3.8	123	4.0 (12.4%)
6	55' x 110'	23.88	4.0	95	3.7 (15.5%)
7	55' x 110'	26.42	4.1	109	3.1 (11.7%)
8	60' x 117'	29.45	3.8	111	4.0 (13.6%)
9	70' x 115'	22.91	2.8	65	4.4 (19.2%)
10	55' x 128'	14.98	3.2	48	2.7 (18.0%)
11	65' x 125'	24.74	3.3	81	3.2 (12.9%)
12	65' x 115'	33.54	3.2	106	5.6 (16.7%)
13A	60' x 117'	12.56	2.4	40	4.5 (15.0%)
13B	60' x 117'	16.78	3.7	52	3.3 (19.7%)
14	55' x 110'	19.36	3.9	75	2.1 (10.8%)
15	60' x 117'	21.25	3.0	63	5.3 (24.9%)
16	70' x 115'	14.65	2.9	43	2.7 (18.4%)
TOTAL	N/A	394.0	3.6*	1418	57.5 (15.0%)

* Density and Open Space calculated on Gross Residential Acres.



Project Number: 01-2003-041



AMEC Planning Studio
 4435 E. Holmes Ave.
 Mesa, Arizona 85206
 Phone: (480) 830-3700
 Fax: (480) 830-3903

CARLTON COMMONS

Casa Grande, Arizona

All information contained in this drawing is Preliminary, and Not for Construction

Conceptual Land Use Plan

Date: February 19, 2004



City of Casa Grande General Plan 2010

Future Land Use

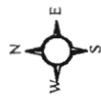
Figure 3.1

Legend

Land Use Designation	Target
Rural Residential (0-1 DU/AC*)	Target: .5 DU/AC
Low Density Residential (1-4 DU/AC)	Target: 2.5 DU/AC
Medium Density Residential #1 (4-8 DU/AC)	Target: 5.0 DU/AC
Medium Density Residential #2 (8-12 DU/AC)	Target: 10.0 DU/AC
High Density Residential (12-16 DU/AC)	Target: 14.0 DU/AC
Commercial	
Regional Commercial	
Office/Business Park	
Employment	
Natural Resource Extraction	
Public/Semi-Public	
Parks/Open Space	
Revitalization Area	
City Incorporated Boundary	
Planning Area Boundary	
Airport Noise Exposure Contours	

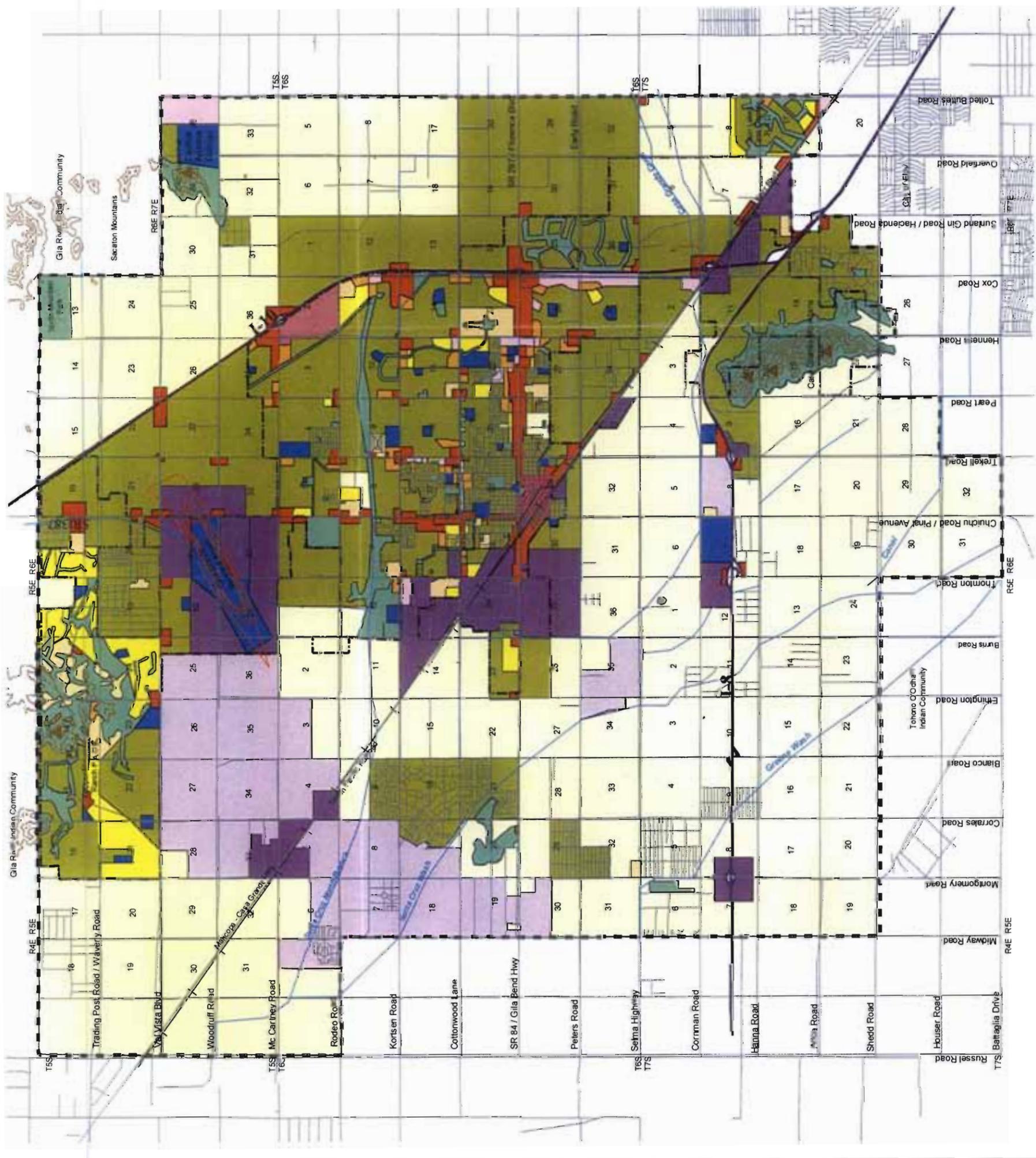
* Du/AC = dwelling units per acre

Note: A different target density for land designated Low Density Residential may be allowed depending on location. See Growth Areas and text in the General Plan document.



Partners For Strategic Action, Inc.
Lima & Associates

January 2002



**LEGAL DESCRIPTION
CARLTON COMMONS
FOR ZONING**

Job No. 01-2003-041

November 24, 2003

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 27, A PORTION OF THE SOUTHWEST QUARTER OF SECTION 27, A PORTION OF THE NORTHEAST QUARTER OF SECTION 34 AND A PORTION OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 6 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASSCAP IN A HANDHOLE AT THE SOUTHWEST CORNER OF SAID SECTION 27, FROM WHICH A BRASSCAP IN A HANDHOLE AT THE WEST QUARTER CORNER OF SAID SECTION 27 BEARS AN ASSUMED BEARING OF NORTH 00 DEGREES 17 MINUTES 23 SECONDS EAST AT A DISTANCE OF 2653.15 FEET; THENCE ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 27, NORTH 00 DEGREES 17 MINUTES 23 SECONDS EAST FOR A DISTANCE OF 2653.15 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 27; THENCE ALONG THE EAST-WEST MID-SECTION LINE, NORTH 89 DEGREES 41 MINUTES 04 SECONDS EAST FOR A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID EAST-WEST MID-SECTION LINE, NORTH 89 DEGREES 41 MINUTES 04 SECONDS EAST FOR A DISTANCE OF 2101.27 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTH, WITH A RADIUS OF 1100.00 FEET; THENCE ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 04 DEGREES 01 MINUTES 07 SECONDS FOR A DISTANCE OF 77.15 FEET TO A POINT ON A TANGENT LINE; THENCE ALONG SAID TANGENT LINE, SOUTH 86 DEGREES 17 MINUTES 49 SECONDS EAST FOR A DISTANCE OF 205.06 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO NORTHEAST, WITH A RADIUS OF 1100.00 FEET; THENCE ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 04 DEGREES 01 MINUTES 07 SECONDS FOR A DISTANCE OF 77.15 FEET TO A POINT ON A TANGENT LINE; THENCE ALONG SAID TANGENT LINE, NORTH 89 DEGREES 41 MINUTES 04 SECONDS EAST FOR A DISTANCE OF 150.36 FEET; THENCE



AMEC Infrastructure, Inc.
4435 East Holmes Avenue
Mesa, Arizona 85206-3372
Tel (480) 830-3700
Fax (480) 830-3903
www.amec.com

NORTH 03 DEGREES 41 MINUTES 45 SECONDS WEST FOR A DISTANCE OF 5.19 FEET; THENCE NORTH 00 DEGREES 16 MINUTES 45 SECONDS EAST FOR A DISTANCE OF 14.82 FEET; THENCE NORTH 89 DEGREES 45 MINUTES 50 SECONDS EAST FOR A DISTANCE OF 1319.94 FEET; THENCE SOUTH 00 DEGREES 16 MINUTES 48 SECONDS WEST FOR A DISTANCE OF 2676.58 FEET; THENCE NORTH 89 DEGREES 43 MINUTES 42 SECONDS EAST FOR A DISTANCE OF 47.29 FEET; THENCE NORTH 00 DEGREES 36 MINUTES 43 SECONDS EAST FOR A DISTANCE OF 22.00 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 27; THENCE ALONG SAID SOUTH LINE, NORTH 89 DEGREES 43 MINUTES 42 SECONDS EAST FOR A DISTANCE OF 1327.61 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 27 SAID POINT ALSO BEING THE NORTHEAST CORNER OF SECTION 34, TOWNSHIP 6 SOUTH, RANGE 6 EAST; THENCE ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 34, SOUTH 00 DEGREES 37 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 1328.48 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 34; THENCE ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 45 MINUTES 01 SECONDS WEST FOR A DISTANCE OF 30.00 FEET TO A POINT ON THE WEST LINE OF THE EAST 30.00 FEET OF THE NORTHEAST QUARTER OF SAID SECTION 34; THENCE ALONG SAID WEST LINE, SOUTH 00 DEGREES 37 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 746.40 FEET TO A POINT ON THE NORTH LINE OF SOUTH 698.00 FEET OF BLOCK 42, ARIZOLA TOWNSITE AS PER BOOK 4 OF MAPS, PAGE 17, PINAL COUNTY RECORDERS OFFICE; THENCE ALONG SAID NORTH LINE, NORTH 89 DEGREES 54 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 1020.27 FEET; THENCE NORTH 00 DEGREES 35 MINUTES 59 SECONDS EAST FOR A DISTANCE OF 189.94 FEET; THENCE NORTH 89 DEGREES 54 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 1590.00 FEET TO THE CENTERLINE OF ARIZOLA ROAD; THENCE ALONG SAID CENTERLINE, SOUTH 00 DEGREES 35 MINUTES 59 SECONDS WEST FOR A DISTANCE OF 402.00 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 42.00 FEET OF LOT 3, BLOCK 31, ARIZOLA TOWNSITE AS PER BOOK 2 OF MAPS, PAGE 10, PINAL COUNTY RECORDERS OFFICE; THENCE ALONG SAID NORTH LINE, NORTH 89 DEGREES 54 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 491.39 FEET; THENCE NORTH 62 DEGREES 07 MINUTES 24 SECONDS WEST FOR A DISTANCE OF 65.72 FEET; THENCE NORTH 61 DEGREES 54 MINUTES 24 SECONDS WEST FOR A DISTANCE OF 79.10 FEET; THENCE NORTH 89 DEGREES 14 MINUTES 24 SECONDS WEST FOR A DISTANCE OF 49.90 FEET; THENCE SOUTH 63 DEGREES 42 MINUTES 06 SECONDS WEST FOR A DISTANCE OF 69.00 FEET; THENCE SOUTH 59 DEGREES 10 MINUTES 06 SECONDS WEST FOR A DISTANCE OF 57.40 FEET; THENCE



SOUTH 73 DEGREES 13 MINUTES 06 SECONDS WEST FOR A DISTANCE OF 28.07 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 42.00 FEET OF LOT 12, BLOCK 31, ARIZOLA TOWNSITE AS PER BOOK 2 OF MAPS, PAGE 10, PINAL COUNTY RECORDERS OFFICE; THENCE ALONG SAID NORTH LINE, NORTH 89 DEGREES 54 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 282.43 FEET; THENCE NORTH 00 DEGREES 35 MINUTES 59 SECONDS EAST FOR A DISTANCE OF 885.97 FEET; THENCE SOUTH 89 DEGREES 54 MINUTES 02 SECONDS EAST FOR A DISTANCE OF 539.81 FEET; THENCE NORTH 00 DEGREES 35 MINUTES 59 SECONDS EAST FOR A DISTANCE OF 1410.49 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 30.00 FEET OF THE SOUTHWEST QUARTER OF SAID SECTION 27; THENCE ALONG SAID NORTH LINE, SOUTH 89 DEGREES 43 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 2114.54 FEET TO A POINT ON THE EAST LINE OF THE WEST 30.00 FEET OF THE SOUTHWEST QUARTER OF SAID SECTION 27; THENCE ALONG SAID EAST LINE, NORTH 00 DEGREES 17 MINUTES 23 SECONDS EAST FOR A DISTANCE OF 2623.17 FEET TO THE POINT OF BEGINNING.

EXCEPT; A PORTION OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 6 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASSCAP IN A HANDHOLE AT THE SOUTHWEST CORNER OF SAID SECTION 27, FROM WHICH A BRASSCAP IN A HANDHOLE AT THE WEST QUARTER CORNER OF SAID SECTION 27 BEARS AN ASSUMED BEARING OF NORTH 00 DEGREES 17 MINUTES 23 SECONDS EAST AT A DISTANCE OF 2623.17 FEET; THENCE ALONG THE SOUTH LINE OF THE SOUTH HALF OF SAID SECTION 27, NORTH 89 DEGREES 43 MINUTES 42 SECONDS EAST FOR A DISTANCE OF 2940.64 FEET; THENCE NORTH 00 DEGREES 16 MINUTES 46 SECONDS EAST FOR A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 00 DEGREES 16 MINUTES 46 SECONDS EAST FOR A DISTANCE OF 253.46 FEET; THENCE NORTH 89 DEGREES 43 MINUTES 42 SECONDS EAST FOR A DISTANCE OF 169.01 FEET; THENCE SOUTH 00 DEGREES 16 MINUTES 46 SECONDS WEST FOR A DISTANCE OF 253.46 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 169.01 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS AN AREA OF 17,164,052 SQUARE FEET OR 394.0324 ACRES MORE OR LESS.



ALTA/ACSM LAND TITLE SURVEY

CARLTON PROPERTY

PART OF SE 1/4 AND SW 1/4 OF SECTION 27 AND THE NE 1/4 AND NW 1/4 OF SECTION 34, T.6 S., R.6 E., GILA AND SALT RIVER MERIDIAN, CITY OF CASA GRANDE, PINAL COUNTY, ARIZONA

CURVE	DELTA	RADIUS	LENGTH
C10	470.07"	1100.00'	77.15'
C10	(R) 470.07"	(R) R=1100.00'	(R) L=76.79'
C11	470.07"	1100.00'	77.15'
C11	(R) 470.07"	(R) R=1100.00'	(R) L=76.79'

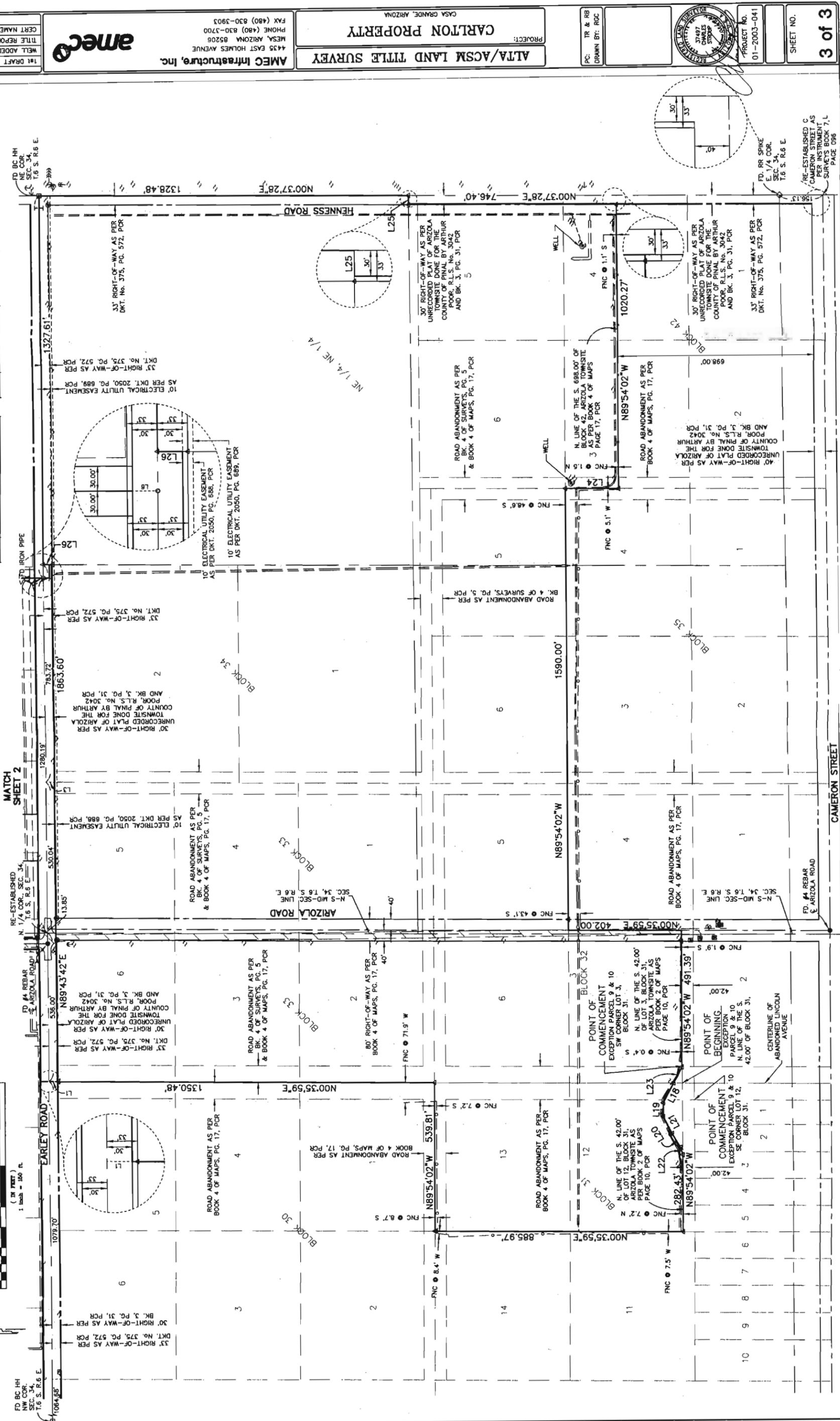
GRAPHIC SCALE



LINE	BEARING	DISTANCE
L20	N89°10'06"E	57.40'
L21	N83°42'06"E	69.00'
L22	N73°13'06"E	28.00'
L23	N62°07'24"W	65.72'
L24	N00°35'59"E	189.94'
L25	N89°43'42"E	30.00'
L26	N89°43'42"E	253.46'
L27	N89°45'50"E	2590.16'
L27	(R) N89°45'57"E	(R) 2590.13'

LINE	BEARING	DISTANCE
L11	N00°35'59"E	30.00'
L11	(R) S89°40'18"W	(R) 130.00'
L12	N00°35'59"E	30.00'
L12	(R) S00°15'45"W	(R) 20.03'
L13	N00°35'59"E	30.00'
L13	(R) N00°18'46"E	(R) 253.46'
L14	N00°35'59"E	30.00'
L14	(R) N89°43'42"E	(R) 169.01'
L15	N00°35'59"E	30.00'
L15	(R) N89°43'42"E	(R) 253.46'
L16	N00°35'59"E	30.00'
L16	(R) N89°43'42"E	(R) 279.97'
L17	N00°35'59"E	30.00'
L17	(R) N89°43'42"W	(R) 78.10'
L18	N89°43'42"W	205.06'
L18	(R) N89°43'42"W	(R) 205.73'
L19	N89°43'42"W	49.50'

LINE	BEARING	DISTANCE
L1	N00°35'59"E	30.00'
L1	(R) S89°40'18"W	(R) 130.00'
L2	N00°35'59"E	30.00'
L2	(R) S00°15'45"W	(R) 20.03'
L3	N00°35'59"E	30.00'
L3	(R) N00°18'46"E	(R) 253.46'
L4	N00°35'59"E	30.00'
L4	(R) N89°43'42"E	(R) 169.01'
L5	N00°35'59"E	30.00'
L5	(R) N89°43'42"E	(R) 253.46'
L6	N00°35'59"E	30.00'
L6	(R) N89°43'42"E	(R) 279.97'
L7	N00°35'59"E	30.00'
L7	(R) N89°43'42"W	(R) 78.10'
L8	N89°43'42"W	205.06'
L8	(R) N89°43'42"W	(R) 205.73'
L9	N89°43'42"W	49.50'



AMC Infrastructure, Inc.
 4435 EAST HOLMES AVENUE
 MESA, ARIZONA 85206
 PHONE (480) 830-3700
 FAX (480) 830-3903

ALTA/ACSM LAND TITLE SURVEY
 PROJECT: CARLTON PROPERTY
 CASA GRANDE, ARIZONA

1st DRAFT
 05-15-03
 WELL ADDED SEC. 34
 05-16-03
 TITLE REPORT & LAWYER COMMENTS 03/05/04
 CERT NAME & LAWYER COMMENTS 03/05/04

PC: TR & RB
 DRAWN BY: RGC

PROJECT NO.
 01-2003-041

SHEET NO.
 3 of 3

01-2003-041



RECYCLED PAPER MADE FROM 30% POST-CONSUMER WASTE

100% RECYCLED PAPER MADE FROM 30% POST-CONSUMER WASTE



AMEC Infrastructure, Inc.
 4435 EAST HOLMES AVENUE
 MESA, ARIZONA 85206
 PHONE (480) 830-3700
 FAX (480) 830-3903

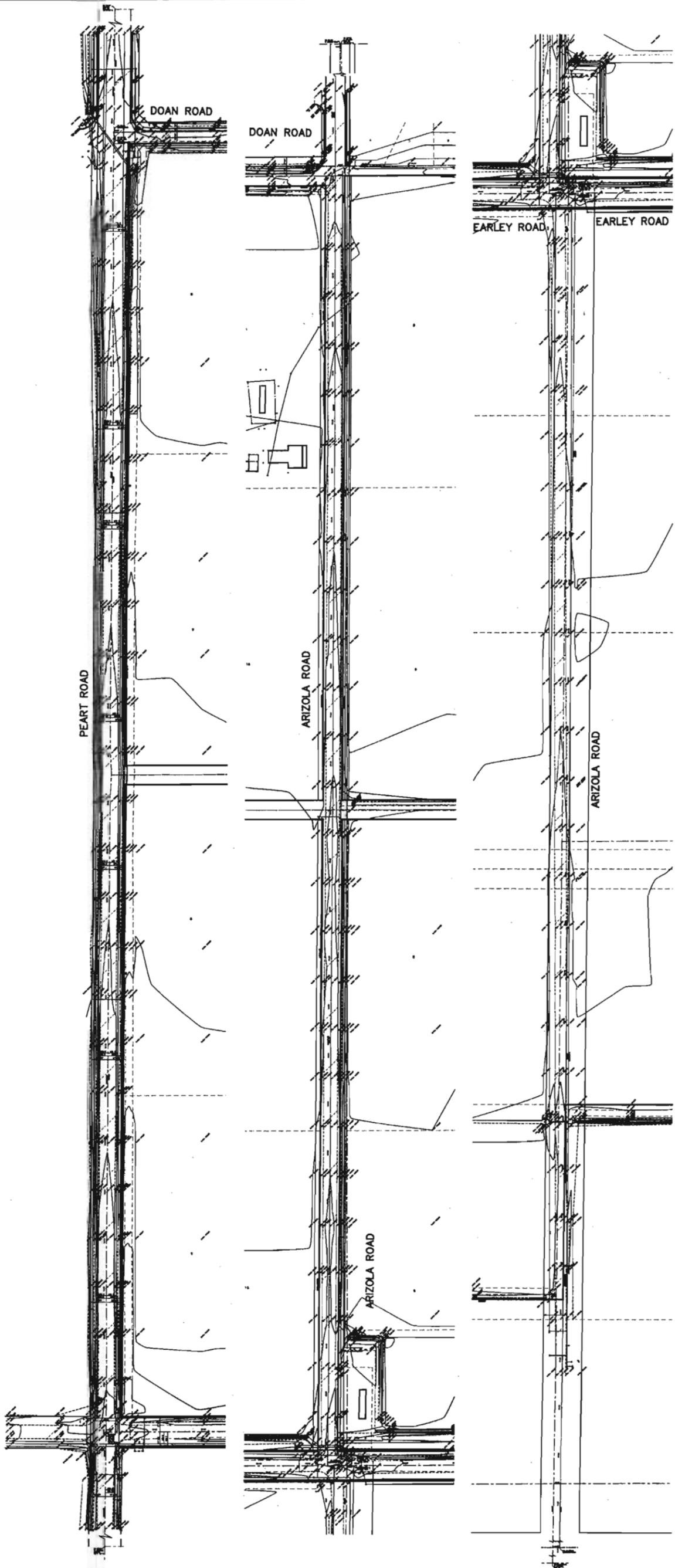
PROJECT: OFFSITE TOPOGRAPHIC PLAN
 CITY OF CASA GRANDE, ARIZONA

PC: RB
 DRAWN BY: RGC

PROJECT NO.
 01-2003-041

SHEET NO.

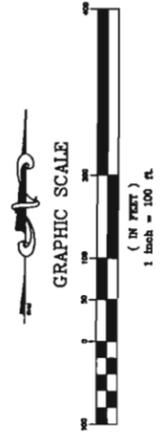
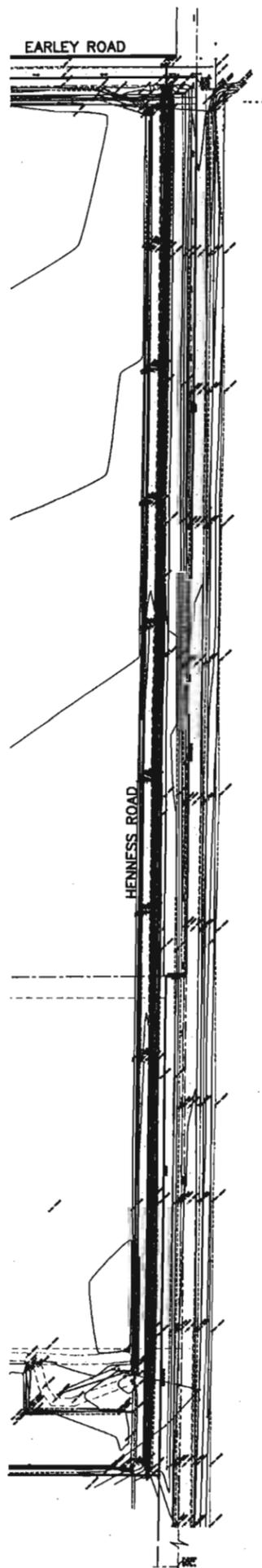
1 of 2



BENCHMARK
 1/2" IRON PIPE
 S 1/4 COR.
 SEC. 28
 T.6 S. R.6 E.
 CITY OF CASA GRANDE DATUM
 ELEVATION= 1415.26'

IBM
 BRASS CAP IN A HAND-HOLE
 SW COR. SEC. 27,
 T.6 S. R.6 E. INTERSECTION
 OF PEART ROAD AND
 EARLEY ROAD AND
 ELEVATION= 1420.03'

- LEGEND:**
- SIGN SINGLE POST
 - BRASS CAP FLUSH UNLESS OTHERWISE NOTED
 - FIRE HYDRANT
 - ELECTRICAL BOX
 - ELECTRICAL PULLBOX
 - LIGHT STANDARD
 - GUY WIRE
 - GAS VALVE
 - WATER MANHOLE
 - TELEPHONE JUNCTION BOX
 - POWER POLE
 - SANITARY SEWER MANHOLE
 - TELECOMMUNICATIONS MANHOLE
 - WATER METER
 - WATER VALVE
 - IRRIGATION METER
 - IRRIGATION VALVE
 - SANITARY SEWER
 - WATER LINE
 - BURIED TELEPHONE
 - GAS LINE
 - UNDERGROUND ELECTRIC
 - OVER HEAD LINE
 - UNDERGROUND FIBER OPTIC
 - CHAIN LINK FENCE
 - WOODEN FENCE
 - EXISTING PAVEMENT



01-2003-041



AMEC Infrastructure, Inc.
 4435 EAST HOLMES AVENUE
 MESA, ARIZONA 85206
 PHONE (480) 830-3700
 FAX (480) 830-3903

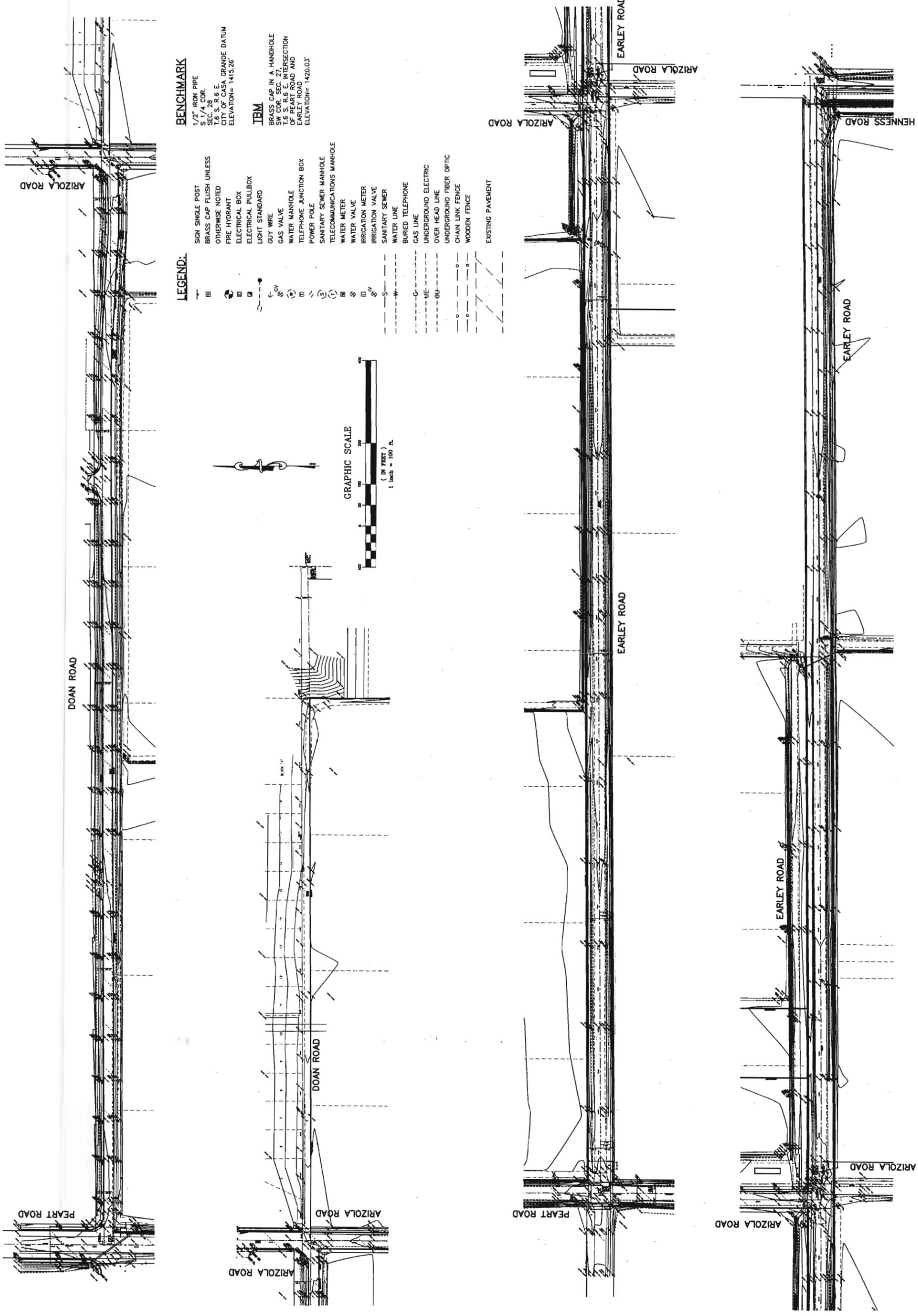
PROJECT: OFFSITE TOPOGRAPHIC PLAN
 CITY OF CASA GRANDE, ARIZONA
 CARLTON COMMONS

PC: RB
 DRAWN BY: RCC

PROJECT NO.
 01-2003-041

SHEET NO.

2 of 2



BENCHMARK

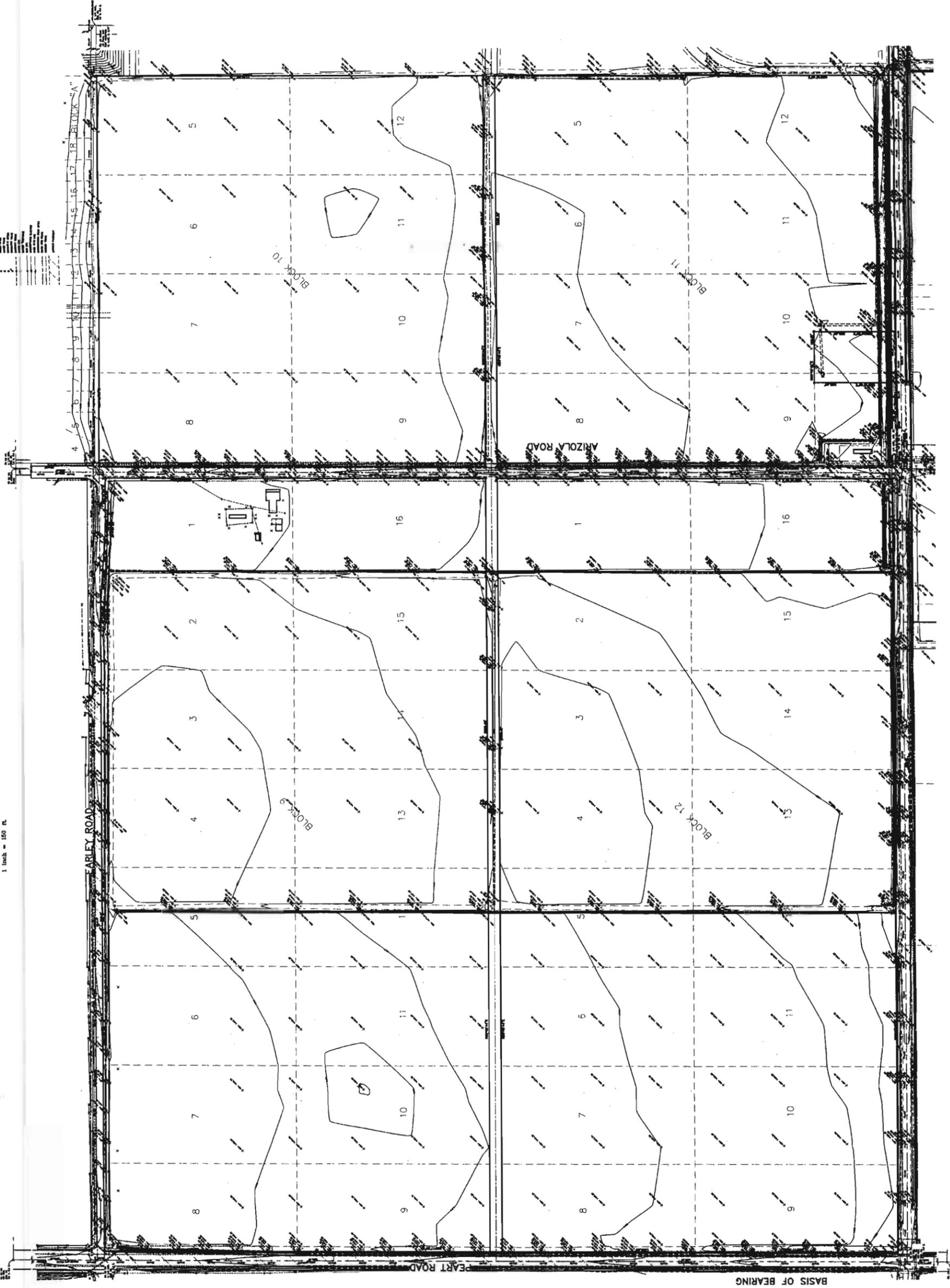
1/2" IRON PIPE
 S 1/4 COR.
 SEC. 28
 T.6 S., R.6 E.
 CITY OF CASA GRANDE DATUM
 ELEVATION= 1415.26'

IBM

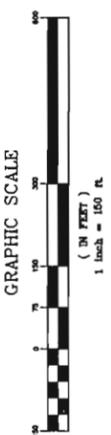
BRASS CAP IN A HANDHOLE
 SW COR. SEC. 27,
 T.6 S., R.6 E. INTERSECTION
 OF PEART ROAD AND
 EARLEY ROAD
 ELEVATION= 1420.03'

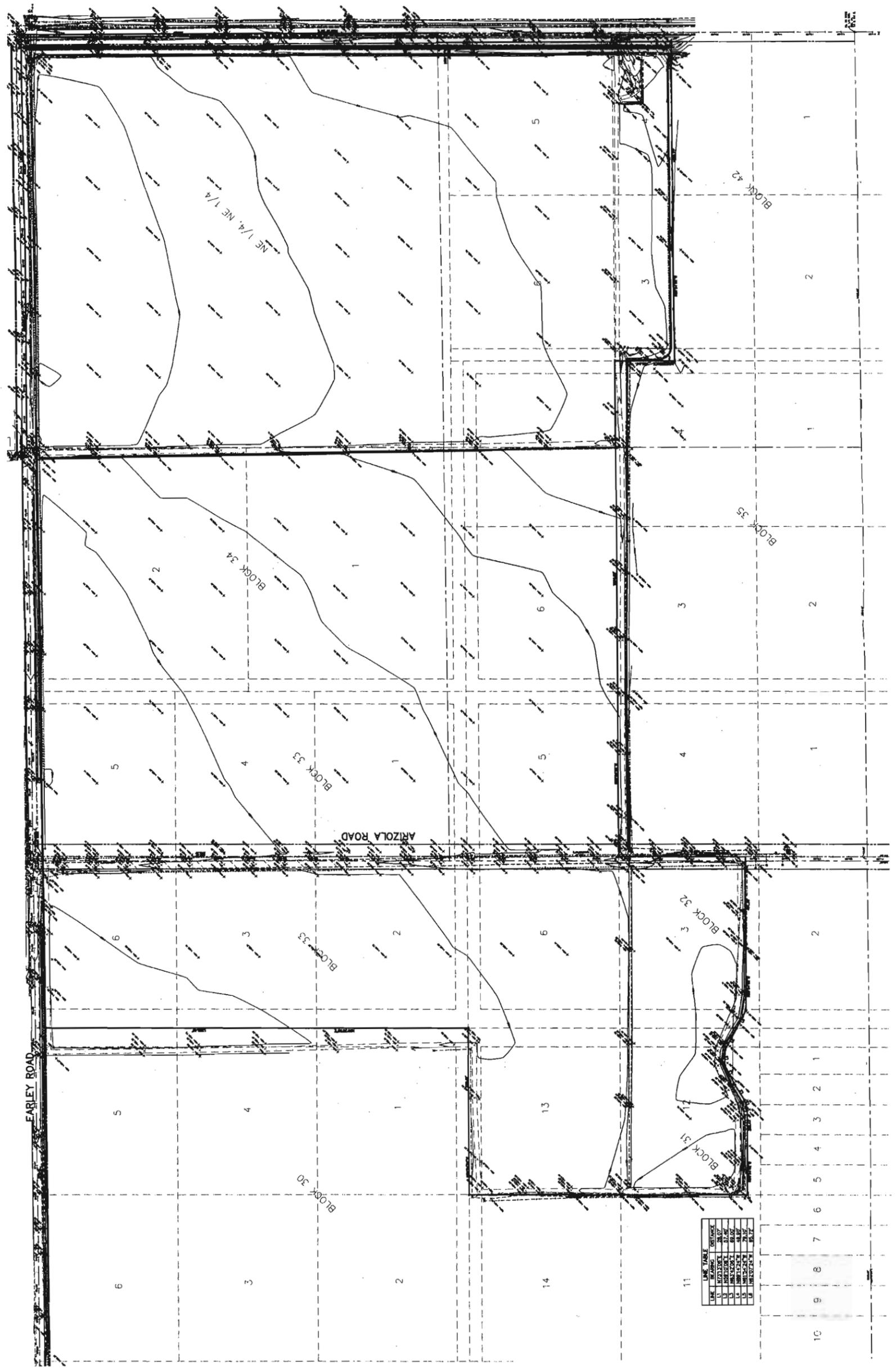
LEGEND:

- SIGN SINGLE POST
- BRASS CAP FLUSH UNLESS OTHERWISE NOTED
- FIRE HYDRANT
- ELECTRICAL BOX
- ELECTRICAL PULLBOX
- LIGHT STANDARD
- GUY WIRE
- GAS VALVE
- WATER MANHOLE
- TELEPHONE JUNCTION BOX
- POWER POLE
- SANITARY SEWER MANHOLE
- TELECOMMUNICATIONS MANHOLE
- WATER METER
- WATER VALVE
- IRRIGATION METER
- IRRIGATION VALVE
- SANITARY SEWER
- WATER LINE
- BURIED TELEPHONE
- GAS LINE
- UNDERGROUND ELECTRIC
- OVER HEAD LINE
- UNDERGROUND FIBER OPTIC
- CHAIN LINK FENCE
- WOODEN FENCE
- EXISTING PAVEMENT



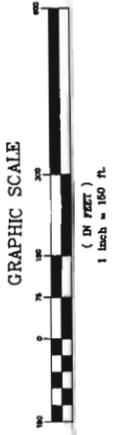
NO.	DESCRIPTION
1	EXISTING CONTOUR
2	PROPOSED CONTOUR
3	PROPOSED LOT LINES
4	PROPOSED ROAD LINES
5	PROPOSED UTILITY LINES
6	PROPOSED CURB LINES
7	PROPOSED SIDEWALK LINES
8	PROPOSED DRIVEWAY LINES
9	PROPOSED DRIVEWAY CURB LINES
10	PROPOSED DRIVEWAY SIDEWALK LINES
11	PROPOSED DRIVEWAY DRIVEWAY LINES
12	PROPOSED DRIVEWAY DRIVEWAY CURB LINES
13	PROPOSED DRIVEWAY DRIVEWAY SIDEWALK LINES
14	PROPOSED DRIVEWAY DRIVEWAY DRIVEWAY LINES
15	PROPOSED DRIVEWAY DRIVEWAY DRIVEWAY CURB LINES
16	PROPOSED DRIVEWAY DRIVEWAY DRIVEWAY SIDEWALK LINES





LINE TABLE

LINE NO.	DESCRIPTION	DATE
1	10/12/02	10/12/02
2	11/12/02	11/12/02
3	12/12/02	12/12/02
4	01/12/03	01/12/03
5	02/12/03	02/12/03
6	03/12/03	03/12/03
7	04/12/03	04/12/03
8	05/12/03	05/12/03
9	06/12/03	06/12/03
10	07/12/03	07/12/03



SYMBOLS

[Symbol]	Proposed Right-of-Way
[Symbol]	Proposed Easement
[Symbol]	Proposed Lot
[Symbol]	Proposed Block
[Symbol]	Proposed Road
[Symbol]	Proposed Utility
[Symbol]	Proposed Structure
[Symbol]	Proposed Fencing
[Symbol]	Proposed Landscaping
[Symbol]	Proposed Survey
[Symbol]	Proposed Boundary
[Symbol]	Proposed Corner
[Symbol]	Proposed Monument
[Symbol]	Proposed Marker
[Symbol]	Proposed Stake
[Symbol]	Proposed Nail
[Symbol]	Proposed Pipe
[Symbol]	Proposed Cable
[Symbol]	Proposed Wire
[Symbol]	Proposed Fence
[Symbol]	Proposed Gate
[Symbol]	Proposed Wall
[Symbol]	Proposed Foundation
[Symbol]	Proposed Footing
[Symbol]	Proposed Slab
[Symbol]	Proposed Beam
[Symbol]	Proposed Column
[Symbol]	Proposed Wall
[Symbol]	Proposed Ceiling
[Symbol]	Proposed Floor
[Symbol]	Proposed Roof
[Symbol]	Proposed Siding
[Symbol]	Proposed Shingles
[Symbol]	Proposed Bricks
[Symbol]	Proposed Blocks
[Symbol]	Proposed Tiles
[Symbol]	Proposed Stairs
[Symbol]	Proposed Ramps
[Symbol]	Proposed Driveways
[Symbol]	Proposed Walkways
[Symbol]	Proposed Patios
[Symbol]	Proposed Decks
[Symbol]	Proposed Porches
[Symbol]	Proposed Balconies
[Symbol]	Proposed Terraces
[Symbol]	Proposed Retaining Walls
[Symbol]	Proposed Foundations
[Symbol]	Proposed Footings
[Symbol]	Proposed Slabs
[Symbol]	Proposed Beams
[Symbol]	Proposed Columns
[Symbol]	Proposed Walls
[Symbol]	Proposed Ceilings
[Symbol]	Proposed Floors
[Symbol]	Proposed Roofs
[Symbol]	Proposed Siding
[Symbol]	Proposed Shingles
[Symbol]	Proposed Bricks
[Symbol]	Proposed Blocks
[Symbol]	Proposed Tiles
[Symbol]	Proposed Stairs
[Symbol]	Proposed Ramps
[Symbol]	Proposed Driveways
[Symbol]	Proposed Walkways
[Symbol]	Proposed Patios
[Symbol]	Proposed Decks
[Symbol]	Proposed Porches
[Symbol]	Proposed Balconies
[Symbol]	Proposed Terraces
[Symbol]	Proposed Retaining Walls
[Symbol]	Proposed Foundations
[Symbol]	Proposed Footings
[Symbol]	Proposed Slabs
[Symbol]	Proposed Beams
[Symbol]	Proposed Columns
[Symbol]	Proposed Walls
[Symbol]	Proposed Ceilings
[Symbol]	Proposed Floors
[Symbol]	Proposed Roofs

CARLTON COMMONS

Casa Grande, Arizona

All information contained in this drawing is Preliminary, and Not for Construction

Project Number: 01-2003-041

PRELIMINARY PLANT LEGEND

Symbol	Common Name	Quantity	Size
	Sweet Hill Olive	24"	Box Min.
	Olea europaea 'Swan Hill'	24"	Box Min.
	Sissoo Tree	24"	Box Min.
	Dalbergia sissoo	24"	Box Min.
	Feather Tree	24"	Box Min.
	Lysitoma wilsonii 'Thomben'	24"	Box Min.
	Desert Willow	24"	Box Min.
	Chilopsis linearis	24"	Box Min.
	Velvet Ash	24"	Box Min.
	Fraxinus velutina	24"	Box Min.
	Chinese Elm	24"	Box Min.
	Ulmus parviflora	24"	Box Min.
	Chinese Pistache	24"	Box Min.
	Pistacia chinensis	24"	Box Min.
	Sweet Acacia	24"	Box Min.
	Acacia smallii	24"	Box Min.
	Casahuate	24"	Box Min.
	Caesalpinia cacalaco	24"	Box Min.
	Texas Ebony	24"	Box Min.
	Lysitoma wilsonii 'Thomben'	24"	Box Min.
	Palo Verde	24"	Box Min.
	Cercidium 'Desert Museum'	24"	Box Min.
	Date Palm	10'-12"	72

SHRUBS

Symbol	Common Name	Quantity	Size
	Bala Red Fairy Duster	5 Gal.	5 Gal.
	Calliandra californica	5 Gal.	5 Gal.
	Coleander	5 Gal.	5 Gal.
	Neurum cleaner 'Peltie pink'	5 Gal.	5 Gal.
	Leucophyllum species	5 Gal.	5 Gal.
	Coleander	5 Gal.	5 Gal.
	Feathery Cassia	5 Gal.	5 Gal.
	Cassia attenuatodes	5 Gal.	5 Gal.
	Cape Honeyuckle	5 Gal.	5 Gal.
	Tecomara capensis	5 Gal.	5 Gal.
	Natal Plum	5 Gal.	5 Gal.
	Cantsea macrocarpa	5 Gal.	5 Gal.
	Ruellia	5 Gal.	5 Gal.
	Ruellia pensilvanica	5 Gal.	5 Gal.
	Salvia	5 Gal.	5 Gal.
	Salvia species	5 Gal.	5 Gal.
	Mexican Bird of Paradise	5 Gal.	5 Gal.
	Caesalpinia mexicana	5 Gal.	5 Gal.
	Texas Mountain Laurel	5 Gal.	5 Gal.
	Sophora secundiflora	5 Gal.	5 Gal.

ACCENT PLANTS

Symbol	Common Name	Quantity	Size
	Red Yucca	5 Gal.	5 Gal.
	Hesperaloe parviflora	5 Gal.	5 Gal.
	Ornamental Grass	5 Gal.	5 Gal.
	Muhlenbergia species	5 Gal.	5 Gal.
	Agave wilsoniana	5 Gal.	5 Gal.
	Desert Mangold	1 Gal.	1 Gal.
	Baileya multiradiata	1 Gal.	1 Gal.
	Damianita	1 Gal.	1 Gal.
	Chrysochloris mexicana	1 Gal.	1 Gal.
	New Gold Lantana	1 Gal.	1 Gal.
	Lantana sp. 'New Gold'	1 Gal.	1 Gal.
	Trailing Rosemary	1 Gal.	1 Gal.
	Rosmarinus officinalis	1 Gal.	1 Gal.
	Wedelia	1 Gal.	1 Gal.
	Wedelia tinobata	1 Gal.	1 Gal.
	Myoporum parvifolium	1 Gal.	1 Gal.
	Verbena	1 Gal.	1 Gal.
	Verbena rigida	1 Gal.	1 Gal.

LANDSCAPE DATA:

Net Site Area: 380 Acres
 Net Landscape Area: 2,503,829 Sq. Ft. / 57.48 Acres / 15%
 Sq. Ft. 455,279
 Midiron Hybrid Bermuda

Sq. Ft. 2,048,550
 1/2" Screened Madison Gold
 Decomposed Granite

**Fractured granite to be used in all non-lift basin bottoms and erosion prone areas





PRELIMINARY PLANT LEGEND

Symbol	Common Name Botanical Name	Size:	Quantity
TREES:			
	Swan Hill Olive <i>Olea europaea 'Swan Hill'</i>	24" Box Min.	Total: 2,476
	Sissoo Tree <i>Dalbergia sissoo</i>	24" Box Min.	
	Feather Tree <i>Lysiloma watsonii thomberi</i>	24" Box Min.	
	Desert Willow <i>Chilopsis linearis</i>	24" Box Min.	
	Velvet Ash <i>Fraxinus velutina</i>	24" Box Min.	
	Chinese Elm <i>Ulmus parvifolia</i>	24" Box Min.	
	Chinese Pistache <i>Pistacia chinensis</i>	24" Box Min.	
	Sweet Acacia <i>Acacia smallii</i>	24" Box Min.	
	Casahuate <i>Caesalpinia cacalaco</i>	24" Box Min.	
	Texas Ebony <i>Lysiloma watsonii Thomberi</i>	24" Box Min.	
	Palo Verde <i>Cercidium 'Desert Museum'</i>	24" Box Min.	Total: 210
	Date Palm <i>Phoenix dactylifera</i>	10'-12'	

Symbol	Common Name Botanical Name	Size:	Quantity
SHRUBS:			
	Baja Red Fairy Duster <i>Calliandra californica</i>	5 Gal.	Total: 13,440
	Texas Sage <i>Leucophyllum species</i>	5 Gal.	
	Oleander <i>Nerium oleander 'Petite pink'</i>	5 Gal.	
	Feathery Cassia <i>Cassia artemisoides</i>	5 Gal.	
	Cape Honeysuckle <i>Tecomaria capensis</i>	5 Gal.	
	Natal Plum <i>Carissa macrocarpa</i>	5 Gal.	
	Ruellia <i>Ruellia peninsularis</i>	5 Gal.	
	Salvia <i>Salvia species</i>	5 Gal.	
	Mexican Bird of Paradise <i>Caesalpinia mexicana</i>	5 Gal.	
	Texas Mountain Laurel <i>Sophora secundiflora</i>	5 Gal.	

Symbol	Common Name Botanical Name	Size:	Quantity
ACCENT PLANTS:			
	Red Yucca <i>Hesperaloe parviflora</i>	5 Gal.	Total: 8,274
	Ornamental Grass <i>Muhlenbergia species</i>	5 Gal.	
	Octopus Agave <i>Agave vilmoriniana</i>	5 Gal.	
GROUNDCOVERS and VINES:			
	Desert Marigold <i>Baileya multiradiata</i>	1 Gal.	Total: 26,880
	Damianita <i>Chrysactinia mexicana</i>	1 Gal.	
	New Gold Lantana <i>Lantana sp. 'New Gold'</i>	1 Gal.	
	Trailing Rosemary <i>Rosmarinus officianis</i>	1 Gal.	
	Wedelia <i>Wedelia trilobata</i>	1 Gal.	
	Myoporum <i>Myoporum parvifolium</i>	1 Gal.	
	Verbena <i>Verbena rigida</i>	1 Gal.	

LANDSCAPE DATA:

Net Site Area: 380 Acres
 Net Landscape Area: 2,503,829 Sq.Ft./ 57.48 Acres/15%

Cymodon cactylon 'Midiron' Sq.Ft. 455,279
 Midiron Hybrid Bermuda

Decomposed Granite Sq.Ft. 2,048,550
 1/2" Screened Madison Gold

***Fractured granite is to be used in all non-turf basin bottoms and erosion prone areas*



Project Number: 01-2003-041



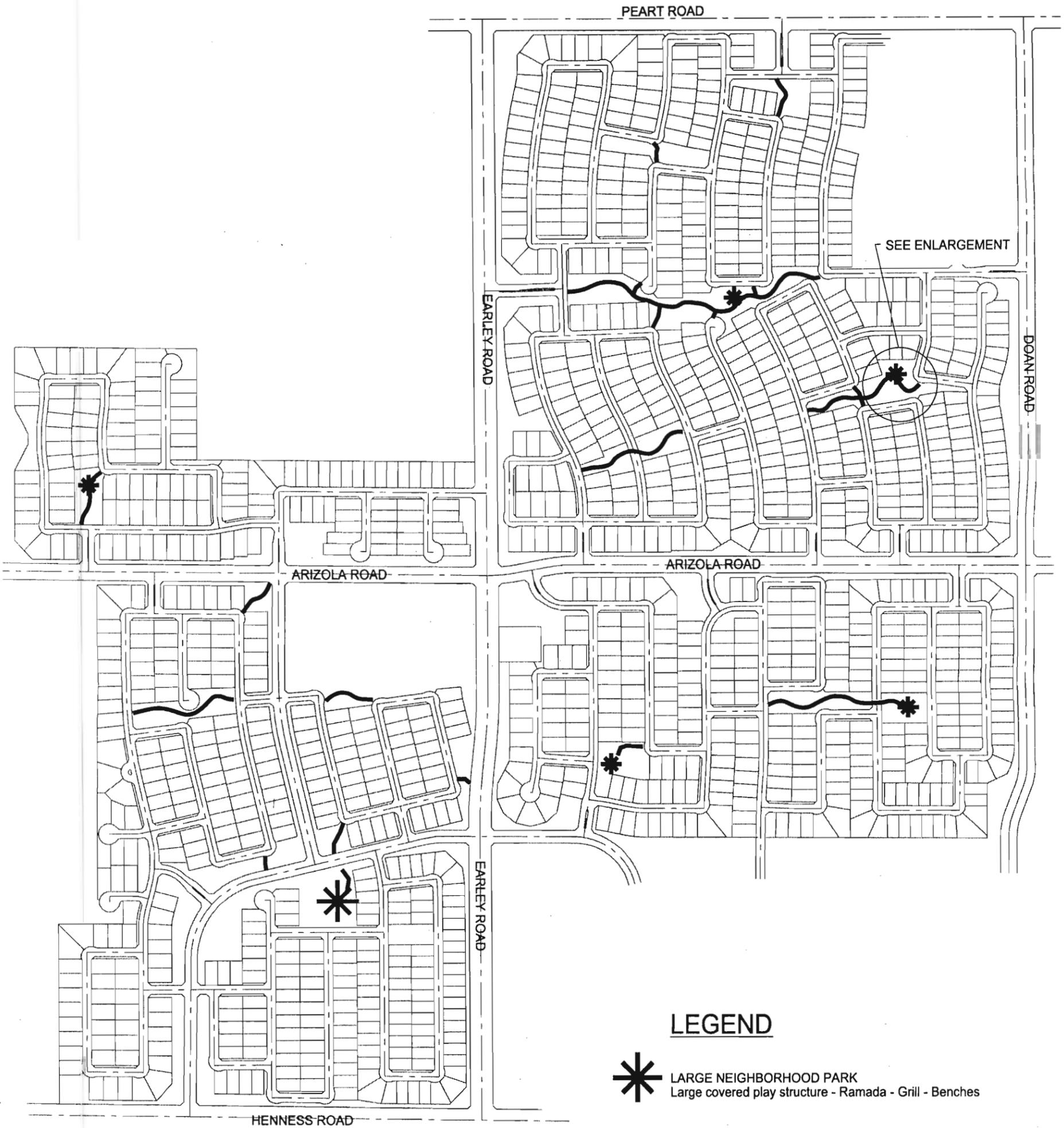
AMEC Planning Studio
 2001 W. Camelback Rd., Suite 300
 PHOENIX, ARIZONA 85015
 PHONE (602) 343-2400
 FAX (608) 343-2499

CARLTON COMMONS

Casa Grande, Arizona

All information contained in this drawing is Preliminary, and Not for Construction

Conceptual Landscape Plan
 Date: November 19, 2003 **L1.2**



LEGEND

-  **LARGE NEIGHBORHOOD PARK**
Large covered play structure - Ramada - Grill - Benches
-  **SMALL NEIGHBORHOOD PARK**
Small covered tot lot - Ramada - Grill - Benches
-  **TRAIL**
10' wide concrete multi-use with safety lighting

Additional path and/or sidewalk connects may be required upon review of the final landscape plans for the site.





5' WIDE CONCRETE SIDEWALK

6' BENCH WITH BACK

POLE MOUNTED AREA LIGHT

5-12 YR. OLD TOT LOT MIRACLE #718-075 OR SIMILAR 45' HEXAGON SHADE STRUCTURE BY SUNPORTS

TURF PLAY AREA

116' SQ. RAMADA WITH GRILL, PICNIC TABLE, AND TRASH CAN

10' WIDE CONCRETE MULTI-USE TRAIL

POLE MOUNTED AREA LIGHT



Project Number: 01-2003-041



AMEC Planning Studio
 2001 W. Camelback Rd., Suite 300
 PHOENIX, ARIZONA 85015
 PHONE (602) 343-2400
 FAX (608) 343-2499

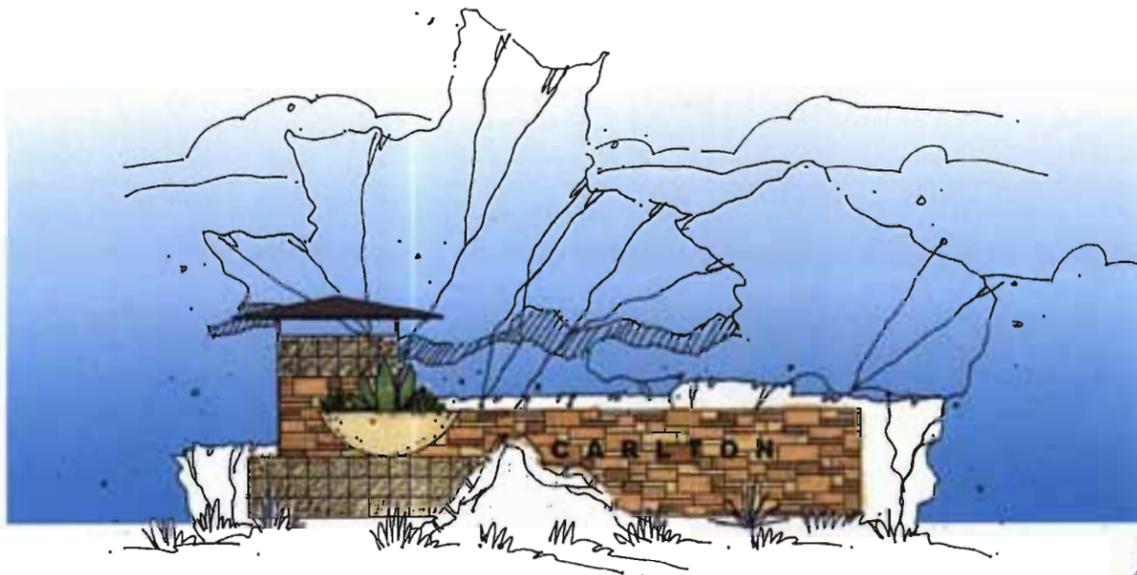
CARLTON COMMONS

Casa Grande, Arizona

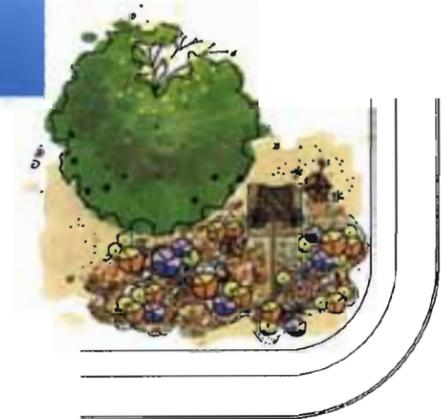
All information contained in this drawing is Preliminary, and Not for Construction

Conceptual Neighborhood Park

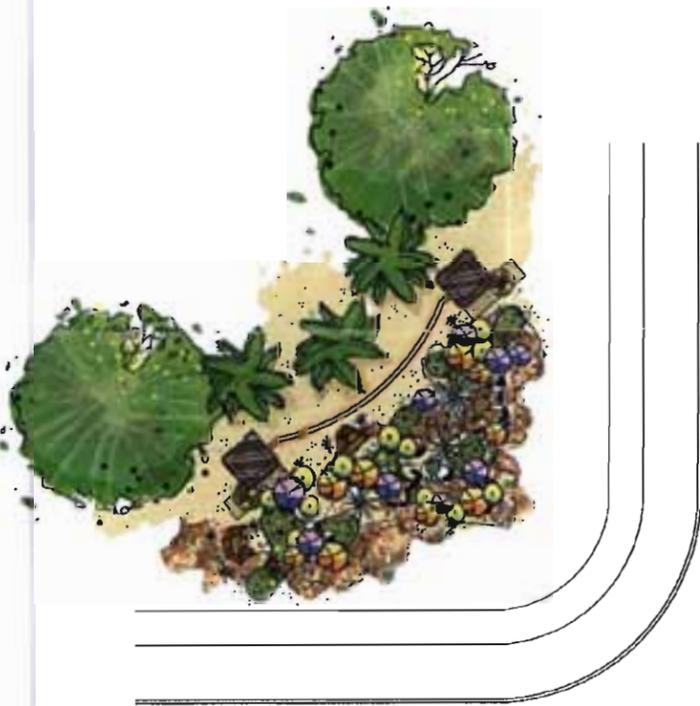
Date: February 19, 2004



SECONDARY ENTRY WALL ELEVATION



SECONDARY ENTRY PLAN



PRIMARY ENTRY PLAN



Terrace Brown



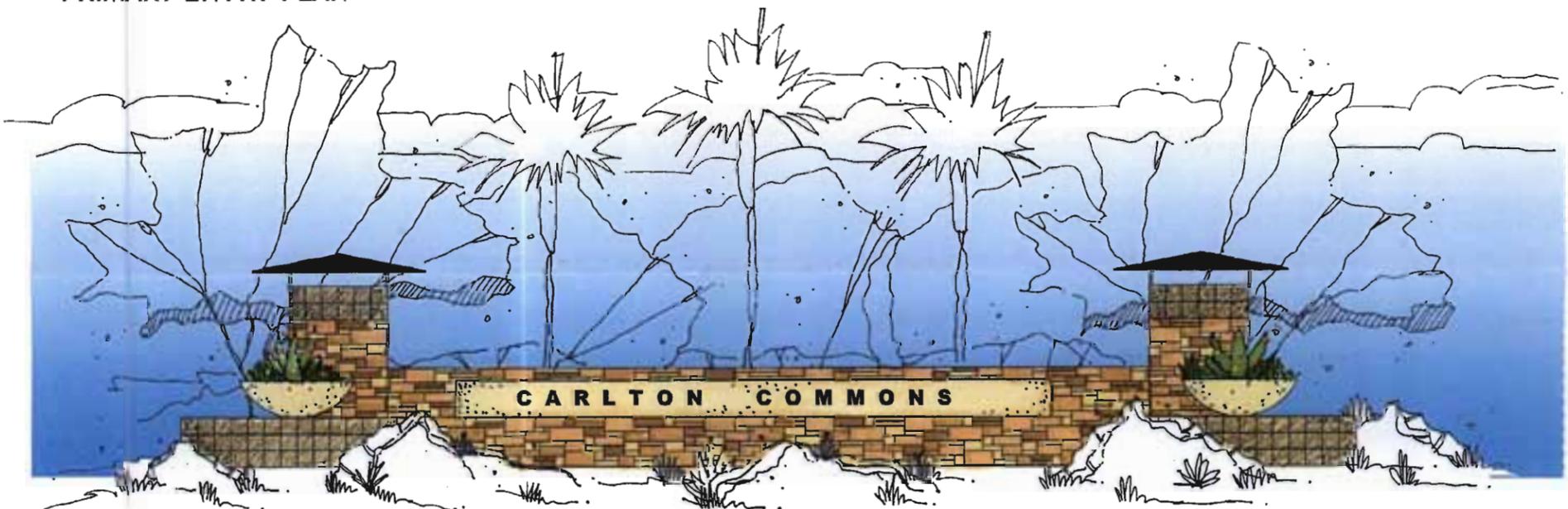
Meadowlark



Beach House



Drystack Ledge Stone Cedar



PRIMARY ENTRY WALL ELEVATION

Scale: 1/4"=1'-00"
Project Number: 01-2003-041



AMEC Planning Studio
2001 W. Camelback Rd., Suite 300
PHOENIX, ARIZONA 85015
PHONE (602) 343-2400
FAX (602) 343-2499

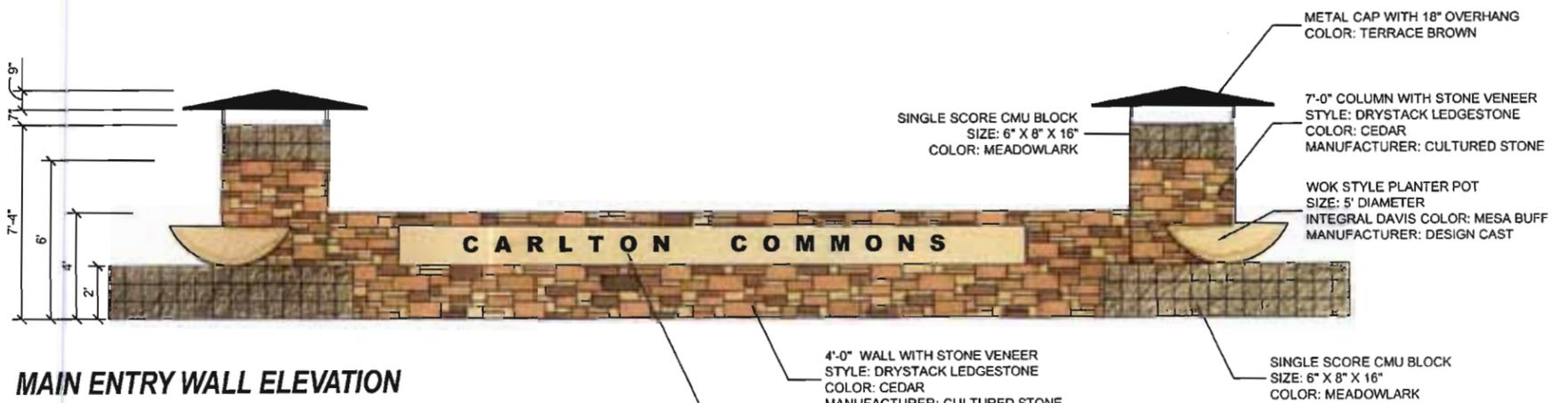
CARLTON COMMONS

Casa Grande, Arizona

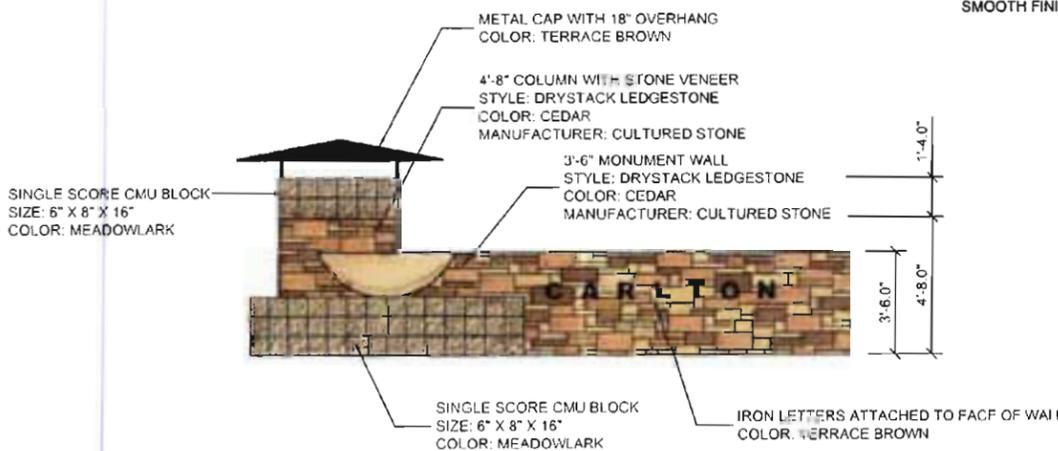
All information contained in this drawing is Preliminary, and Not for Construction

Entry Plan and Elevations

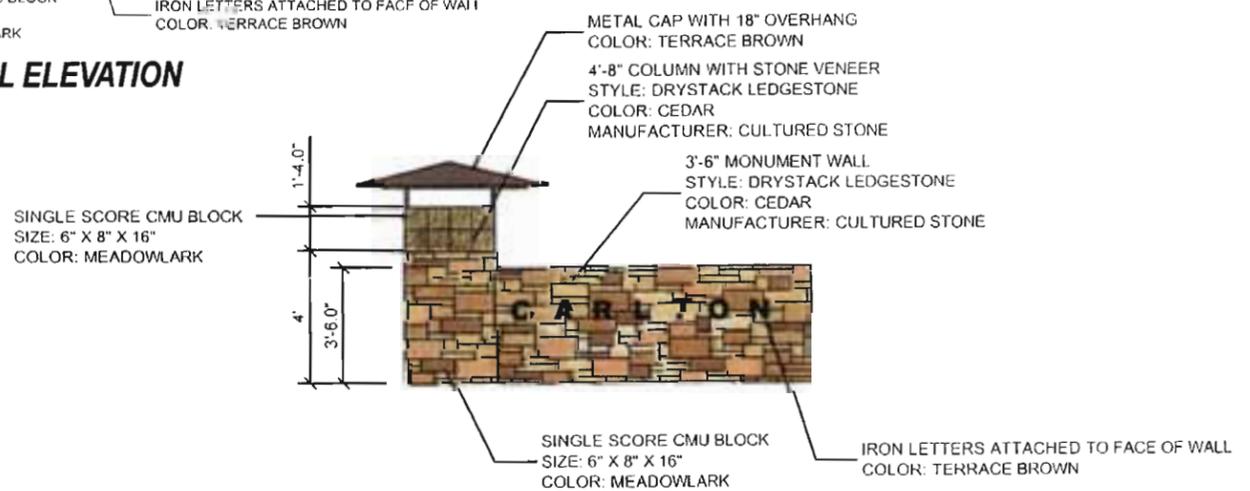
Date: November 19, 2003



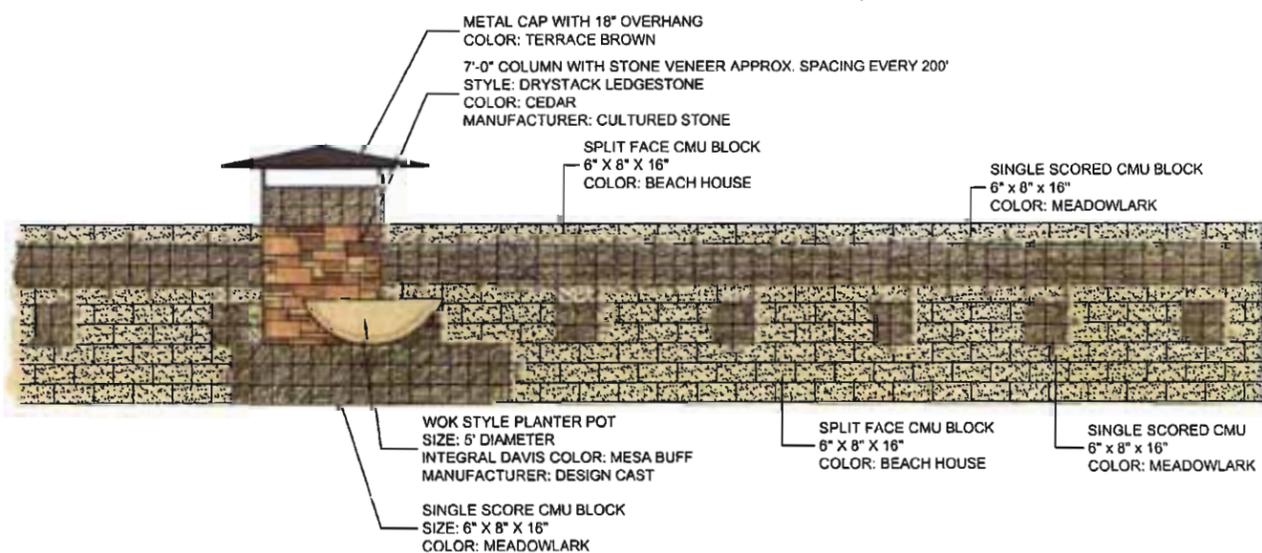
* MINOR MAIN ENTRY FEATURE IS IDENTICAL IN DESIGN TO MAIN ENTRY FEATURE EXCEPT IT IS 75% OF THE SIZE.



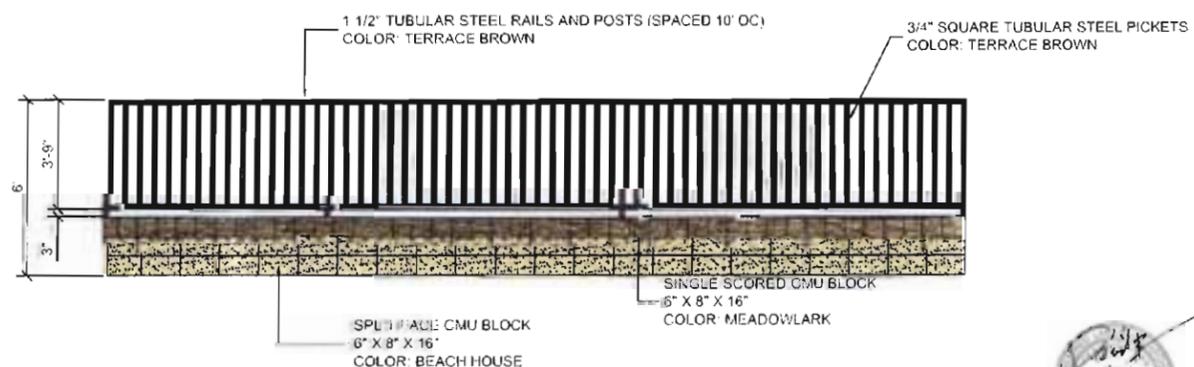
SECONDARY ENTRY WALL ELEVATION



MINOR ENTRY WALL ELEVATION



THEME WALL ELEVATION



VIEW FENCE ELEVATION



Scale: 1/4"=1'-00"
Project Number: 01-2003-041

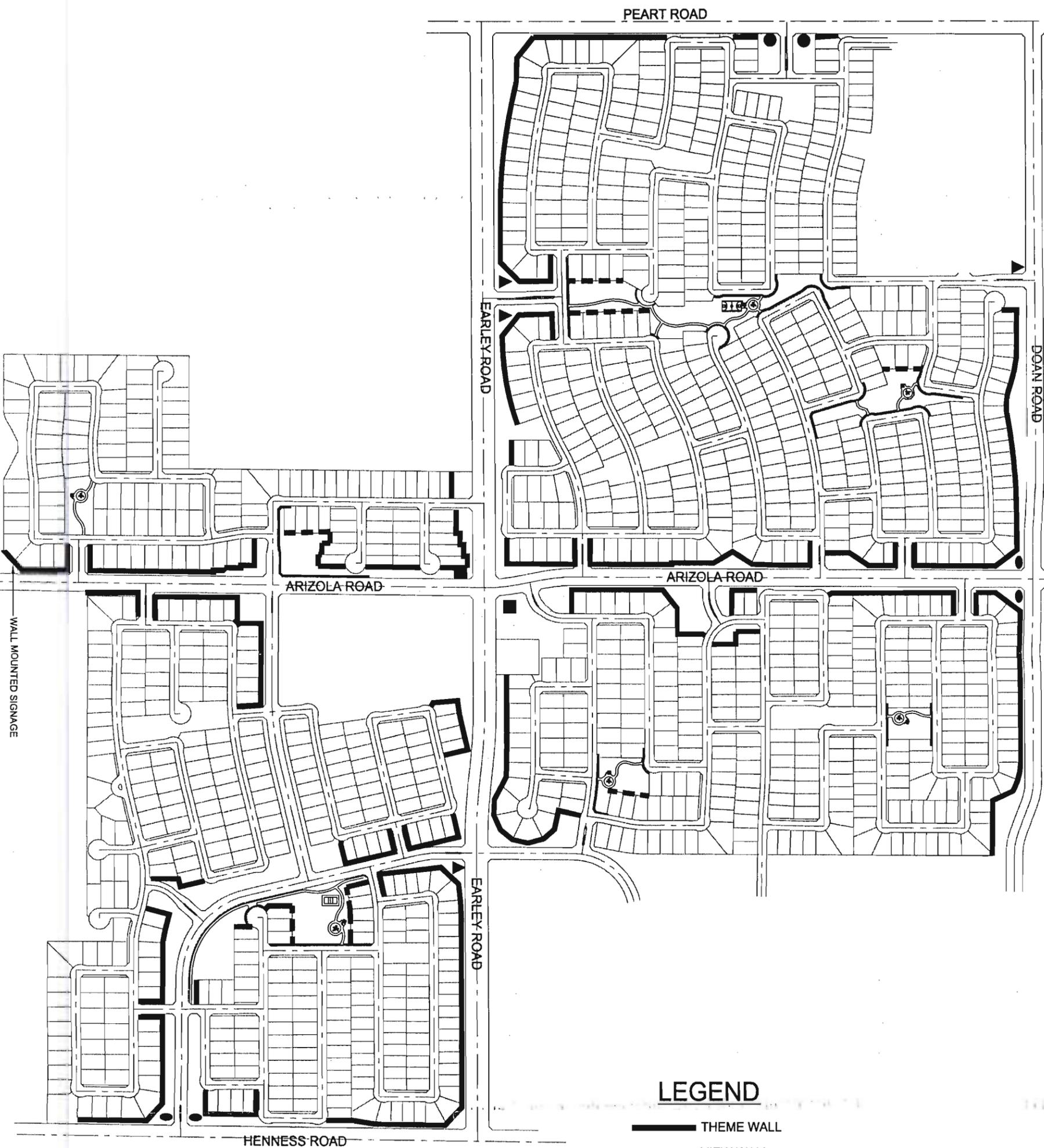


AMEC Planning Studio
2001 W. Camelback Rd., Suite 300
PHOENIX, ARIZONA 85015
PHONE (602) 343-2400
FAX (602) 343-2499

CARLTON COMMONS
Casa Grande, Arizona

All information contained in this drawing is Preliminary, and Not for Construction

Conceptual
Wall Plan
Date: February, 2004



LEGEND

- THEME WALL
- - - VIEW WALL
- MAIN ENTRY FEATURE
- MINOR MAIN ENTRY FEATURE
- SECONDARY ENTRY FEATURE
- ▲ MINOR ENTRY FEATURE



NOT TO SCALE
Project Number: 01-2003-041



AMEC Planning Studio
2001 W. Camelback Rd., Suite 300
PHOENIX, ARIZONA 85015
PHONE (602) 343-2400
FAX (608) 343-2499

CARLTON COMMONS

Casa Grande, Arizona

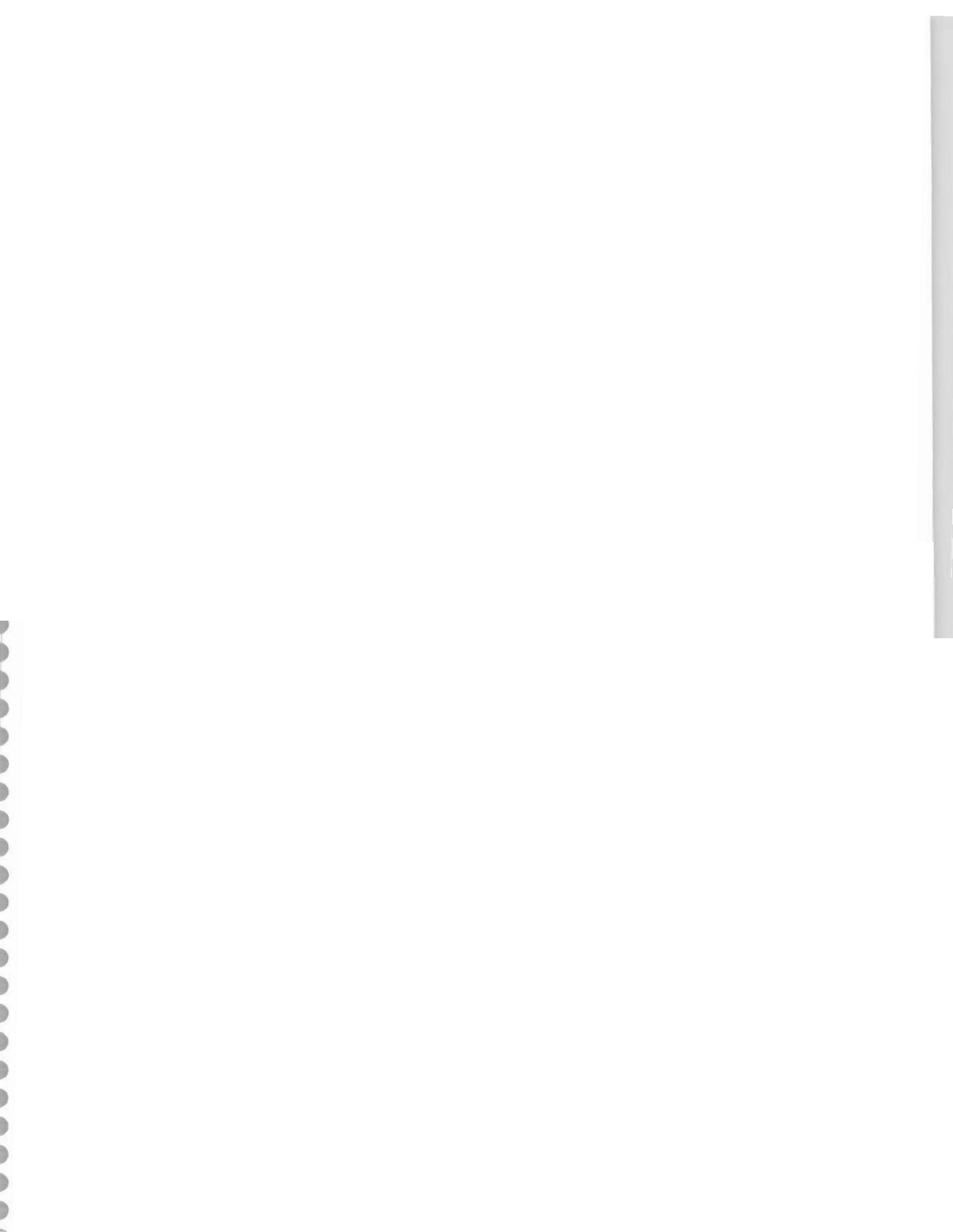
All information contained in this drawing is Preliminary, and Not for Construction

**Conceptual
Wall Layout Plan**

Date: November 19, 2003

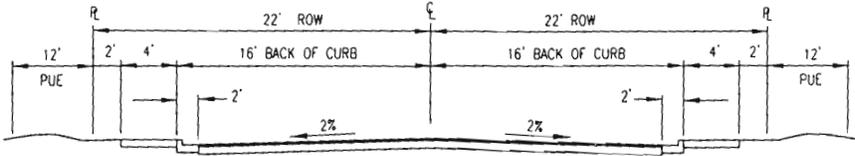
**THE TRAFFIC STUDY WAS SUBMITTED UNDER SEPARATE COVER AND IS INCORPORATED
HEREIN TO THE CARLTON COMMONS PAD.**

The traffic study is subject to the review and approval of the City Engineer. The developer/builder shall be responsible for providing all required roadway and traffic improvements recommended by the approved traffic study, except as approved by the City Engineer.



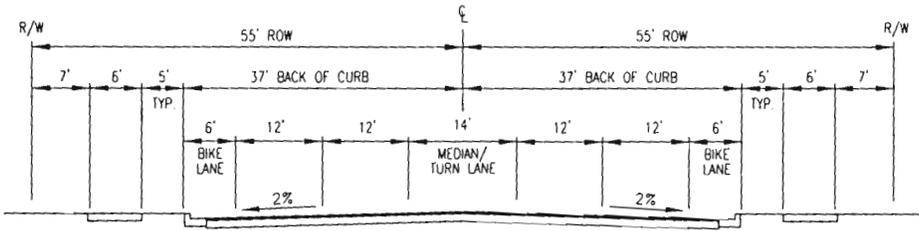
STREET SECTIONS

SCALE: N.T.S.



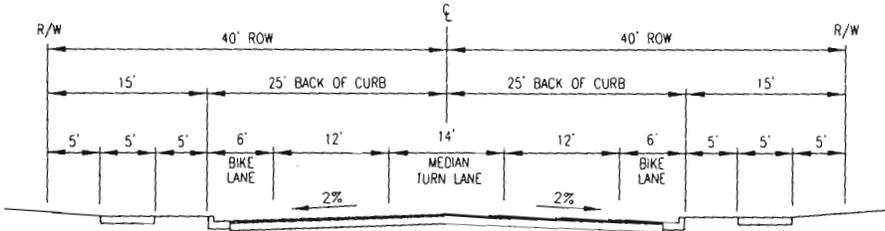
LOCAL STREET

N.T.S.



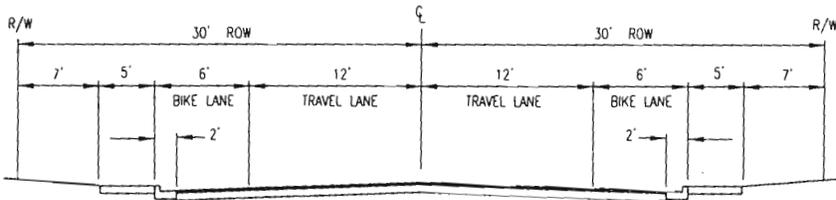
MINOR ARTERIAL

N.T.S.



MAJOR COLLECTOR

N.T.S.

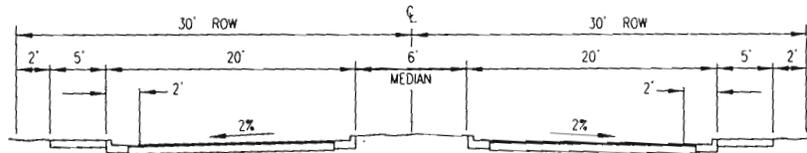


MINOR COLLECTOR

N.T.S.

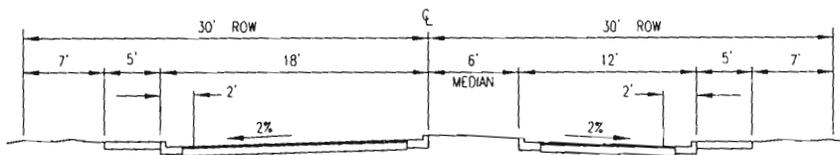
STREET SECTIONS

SCALE: N.T.S.



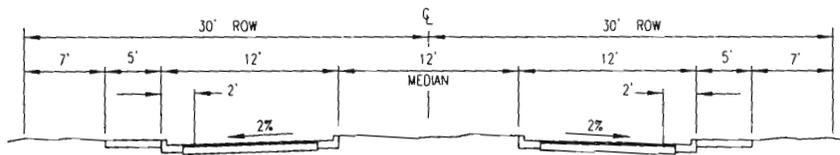
ENTRY STREET (A)

N.T.S.



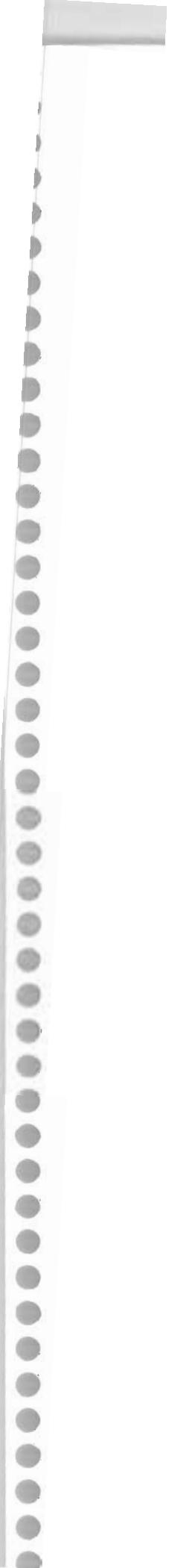
ENTRY STREET (B)

N.T.S.



ENTRY STREET (C)

N.T.S.



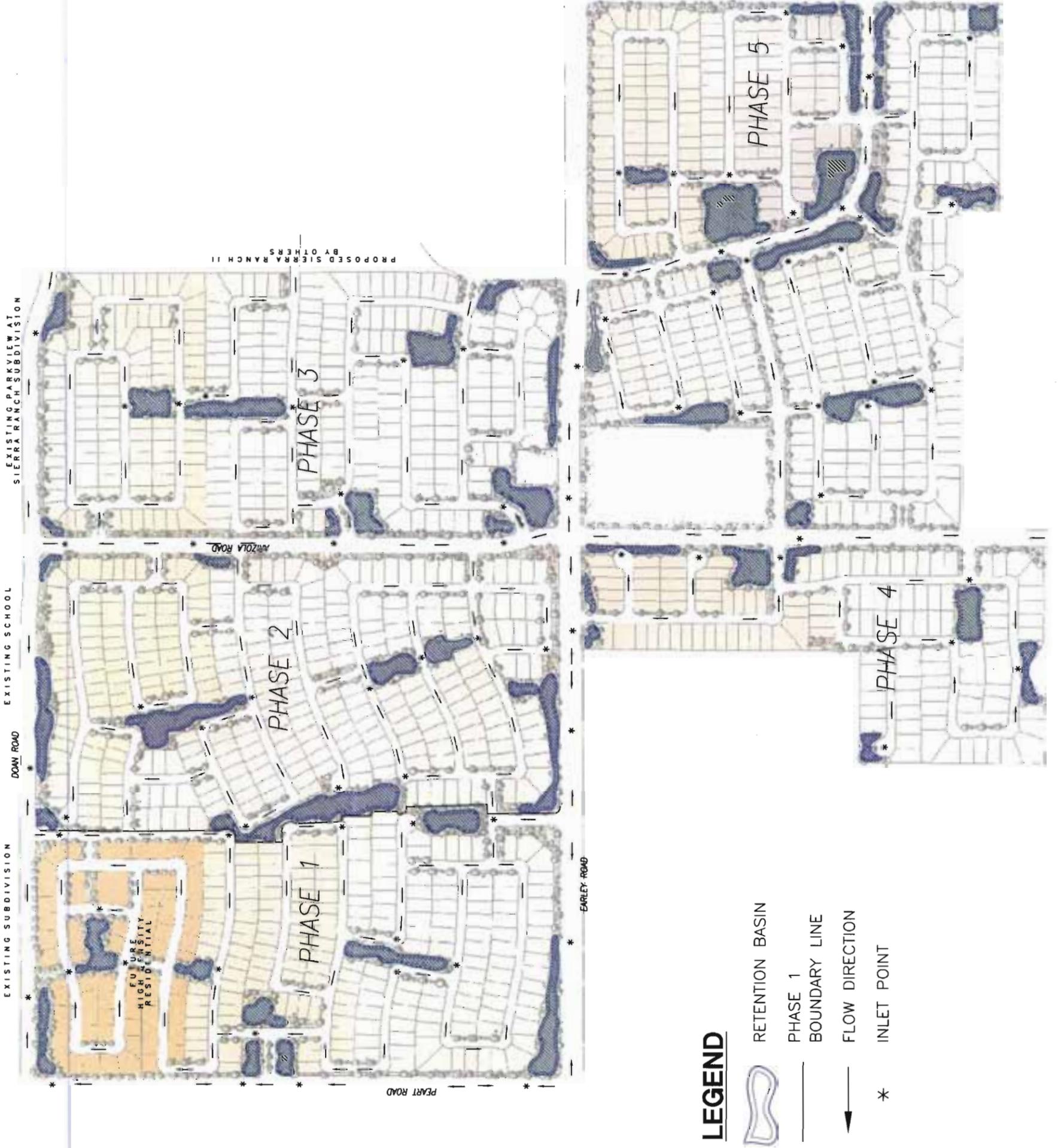
CARLTON COMMONS

Casa Grande, Arizona

All information contained in this drawing is Preliminary, and Not for Construction

Conceptual
 Drainage Plan
 Date: February 19, 2004

Project Number: 01-2003-041



LEGEND

- RETENTION BASIN
- PHASE 1 BOUNDARY LINE
- FLOW DIRECTION
- * INLET POINT



Casa Grande Elementary Schools

1460 North Pinal Avenue, Casa Grande, Arizona 85222

Telephone: (520) 836-2111

Fax: (520) 426-3712

GOVERNING BOARD

David P. Snider, President
Roxy Achen, Member
Tom Hollenbach, Member
Mitzi Hooper, Member
Garry Vasquez, Member

Frank O. Davidson
Superintendent
Kevin J. Kelly
Administrative Services Manager

October 29, 2003

Blaine Mathews
Willis Property Company
3850 E. Baseline Road, #118
Mesa, AZ 85206

Dear Blaine:

Thank you for designating a twelve-acre school site in the conceptual site plan for the proposed Carlton Commons residential development at Doan Road and Peart Road. When Dale Willis met with me, I had proposed that this site be donated by the developer in the same manner as other developers in the Casa Grande area.

I have attached a draft agreement to provide for the donation of the twelve-acre site. If the agreement is satisfactory as written, please secure the necessary authorization and signatures and forward the original to my attention. If you wish to propose modifications to the agreement, please contact me at your earliest convenience. Once approved by the Governing Board, this agreement would be recorded with the Pinal County Recorder's Office. At this time, notice would be provided to the City of Casa Grande that the developer has addressed the concerns of the school district.

I look forward to working with you to finalize the agreement concerning this development.

Sincerely,



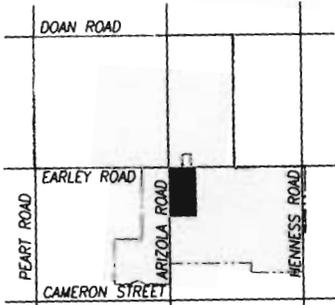
Frank Davidson
Superintendent

Enclosure

cc: Rick Miller
David P. Snider, Governing Board President
Roxy Achen, Governing Board Member
Tom Hollenbach, Governing Board Member
Mitzi Hooper, Governing Board Member
Garry Vasquez, Governing Board Member

SCHOOL SITE ALTERNATE

SCALE: N.T.S.



VICINITY MAP

N.T.S.



CARLTON COMMONS
 Casa Grande, Arizona

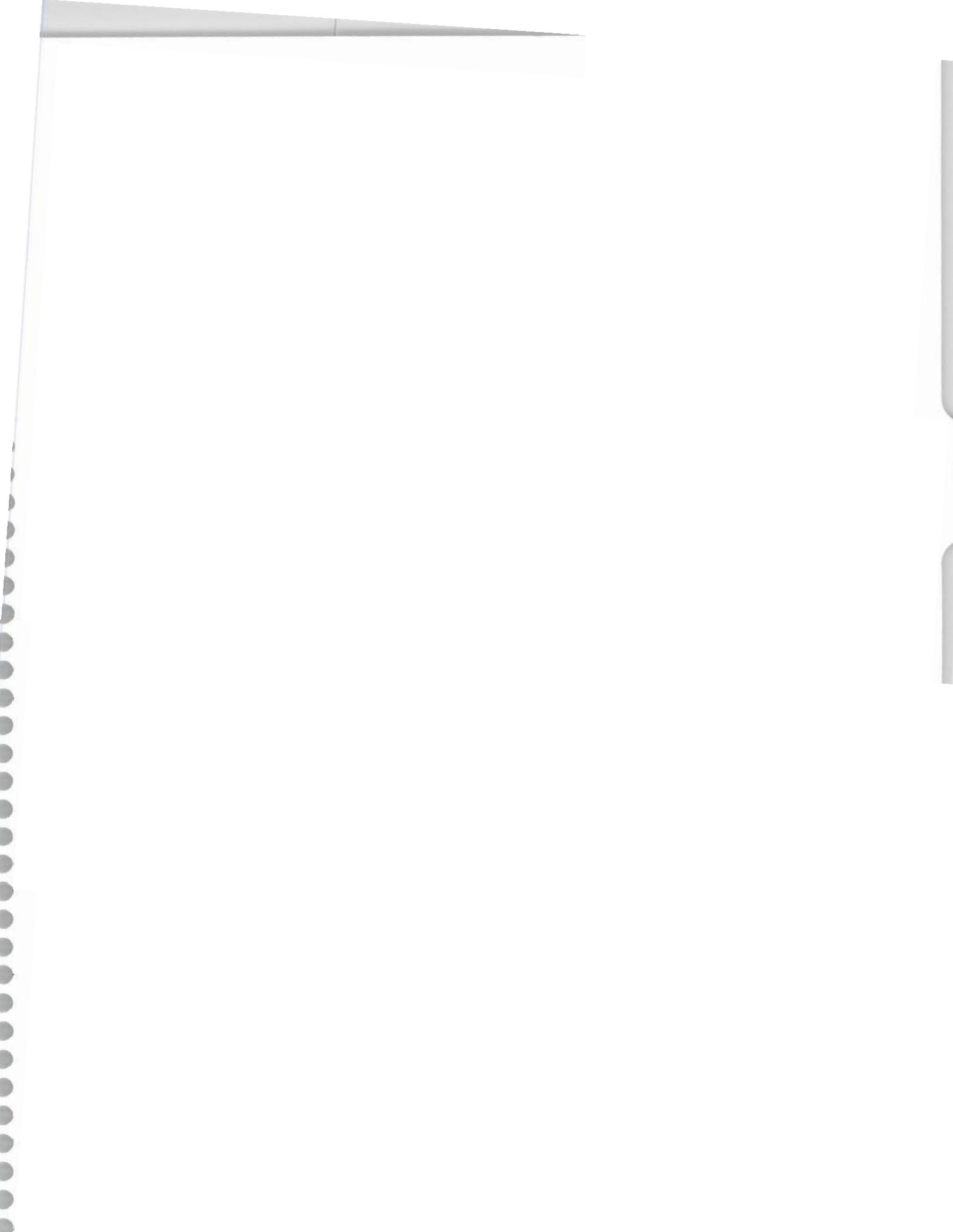
All information contained in this drawing is Preliminary, and Not for Construction

Project Number: 01-2003-041



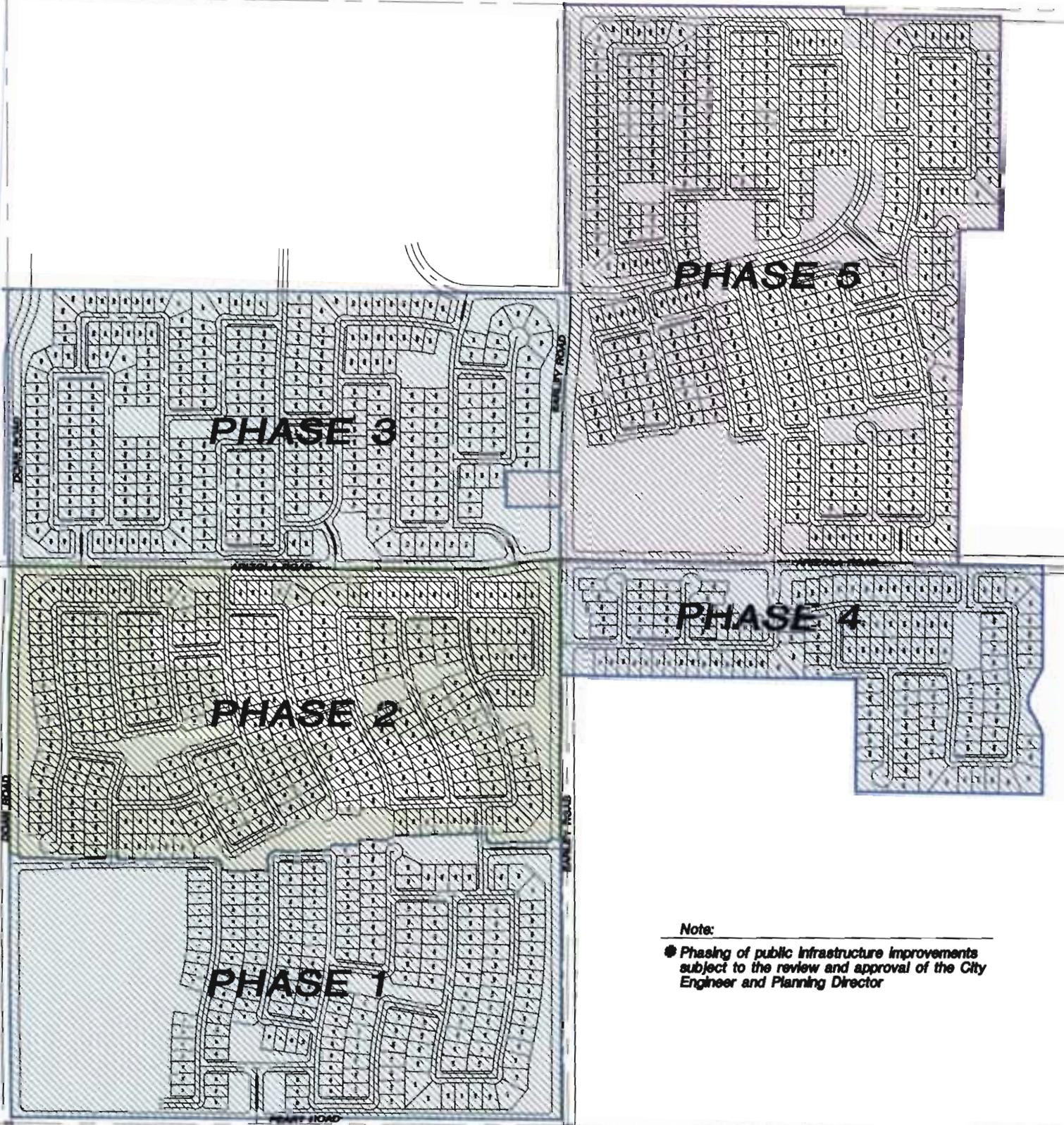
LEGEND

- Proposed 12" S
- Proposed 12" W
- - - Exist. 12" W
- PROPOSED SEWER
- PROPOSED WATER
- - - EXISTING WATER



PHASING EXHIBIT

SCALE: N.T.S.



Note:

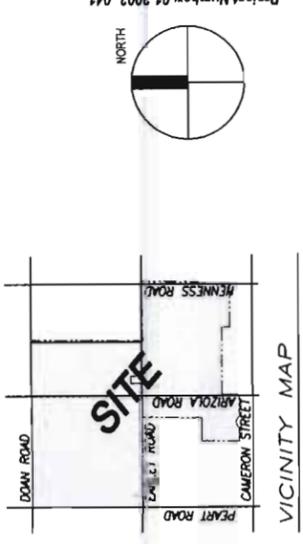
● Phasing of public infrastructure improvements subject to the review and approval of the City Engineer and Planning Director

PRELIMINARY DEVELOPMENT PLAN for CARLTON COMMONS

PRELIMINARY DEVELOPMENT PLAN
Date: February 19, 2004
Project Number: 01-2003-041

CARLTON COMMONS
Casa Grande, Arizona
All information contained in this drawing is Preliminary, and Not for Construction

AMEC Planning Studio
4435 E. Holmes Ave.
Mesa, Arizona 85206
Phone: (480) 830-3700
Fax: (480) 830-3903



DEVELOPER
WILLIS PROPERTY CO.
3800 E. BASELINE ROAD, SUITE 118
MESA, ARIZONA 85206
CONTACT: DALE WILLIS
PHONE: (480) 507-6200
FAX: (480) 507-6333

CONSULTANT
AMEC INFRASTRUCTURE, INC.
4435 E. HOLMES AVE.
MESA, ARIZONA 85206-3372
CONTACT: JOSH HANNON
PHONE: (480) 830-3700
FAX: (480) 830-3903

BENCHMARK
1/2" IRON PIPE
5 1/4" O.D. SEC. 28
1.6 S. R. 6 E.
CITY OF CASA GRANDE DATUM
ELEVATION = 1415.26'

BASIS OF BEARING
THE ASSUMED BEARING OF NORTH
001°17'23" EAST AS SHOWN ON THE WEST
LINE OF THE SOUTHWEST QUARTER OF
SECTION 16, T. 16 S., R. 6 E., AS
AS THE BASIS OF BEARING FOR THIS
ALTA/ACSM SURVEY.

UTILITIES
WATER: ARIZONA WATER CO.
SEWER: CITY OF CASA GRANDE
GAS: SOUTHWEST GAS
ELECTRIC: ARIZONA PUBLIC SERVICE
TELEPHONE: QWEST
REFUSE: CITY OF CASA GRANDE
CABLE TV: COX CABLE

SITE DATA
GROSS AREA (A1/A): 394 AC
OPEN SPACE: 57.5 AC (14%)
TOTAL LOTS: 1418
DENSITY: 3.6 DU/AC

DEVELOPMENT GUIDELINES

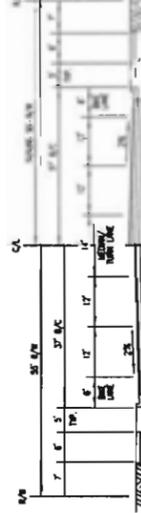
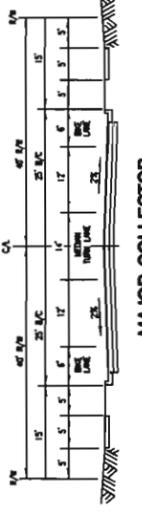
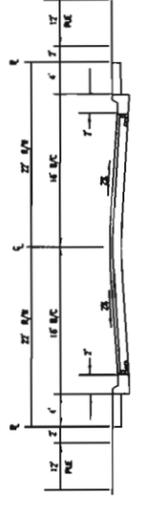
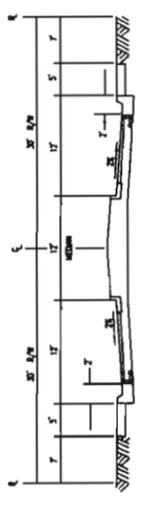
ZONING	MINIMUM LOT AREA	MINIMUM YARD SETTINGS			MAXIMUM BLDG. HEIGHT
		FRONT*	REAR	SIDE (W/ SIDE CORN)	
STD	6,000 SF	15'-20"	20'	5' - 10"	15'
UNIQUE	3,200 SF	15'-20"	10'	0' - 10"	15'

* A MINIMUM FRONT YARD SETBACK OF 15' IS PERMITTED FROM UNPAVED AREAS OF THE FRONT YARD OF A LOT. THE SETBACK SHALL BE MEASURED FROM THE FRONT PROPERTY CORNER OF THE LOT TO THE FRONT FACE OF THE BUILDING. ** AT LEAST ONE SIDE YARD SHALL BE 10'. THE REMAINING SIDE YARD MAY BE LESS THAN 10', BUT AT LEAST 5'.

LAND USE DATA

PARCEL	ZONING	MIN. LOT SIZE	GROSS AREA	DENSITY	LOTS	6,000	7,000	8,000	OPEN SPACE/2%
1	Unique	45' x 80'	21,36	6.6	144	N/A	N/A	N/A	3.3 (15.0%)
2	STD	55' x 115'	24,25	4.2	101	100	0	0	3.9 (16.1%)
3	STD	65' x 125'	24,56	3.1	92	0	0	92	4.8 (19.9%)
4	STD	65' x 115'	12,24	3.8	123	0	0	0	3.0 (12.4%)
5	STD	55' x 110'	23,88	4.0	95	104	0	12	3.0 (12.4%)
6	STD	55' x 110'	23,88	4.0	95	95	0	4	3.7 (15.3%)
7	STD	55' x 110'	28,42	4.1	109	95	6	8	3.1 (11.7%)
8	STD	60' x 117'	29,45	3.8	111	111	0	5	4.0 (16.5%)
9	STD	70' x 115'	22,91	2.8	82	0	4	61	4.1 (16.5%)
10	STD	65' x 125'	24,56	3.1	92	0	0	0	3.1 (12.5%)
11	STD	65' x 115'	12,24	3.8	123	0	0	0	3.1 (12.5%)
12	STD	65' x 115'	12,24	3.8	123	0	0	0	3.1 (12.5%)
13	Scholar/STD	60' x 117'	12,56	2.4	30	30	0	0	5.9 (23.8%)
14	STD	60' x 117'	16,78	3.7	39	0	0	0	4.5 (18.2%)
15	STD	65' x 110'	14,24	3.0	69	69	0	0	5.1 (20.6%)
16	STD	70' x 115'	14,65	2.9	43	0	2	0	2.7 (10.9%)
TOTALS			394.0	3.6	1418	380	495	399	57.5 (14.6%)

* Density and Open Space calculated on Gross Residential Area.





AMEC Planning Studio
 4435 E. Holmes Ave.
 Mesa, Arizona 85206
 Phone: (480) 830-3700
 Fax: (480) 830-3903

All information contained in this drawing is Preliminary, and Not for Construction
 Casa Grande, Arizona

CARLTON COMMONS
 PRELIMINARY
 DEVELOPMENT PLAN

Project Number: 01-2003-041



LEGEND

Green	OPEN SPACE
Light Orange	6,000+ SF LOTS
Dark Orange	7,000 - 7,999 SF LOTS
Red-Orange	6,000 - 6,999 SF LOTS



OPEN SPACE
PARK

PARKVIEW @ SIERRA RANCH
UNIT I & II

ELEMENTARY
SCHOOL

(Low Density)

FIESTA GRANDE
RV RESORT
(Medium Density)

PARCEL 1
UNIQUE PRODUCT AREA

PARCEL 2

PARCEL 5

PARCEL 6

PARCEL 8

PARCEL 4

PARCEL 8

PARCEL 7

PARCEL 9

DAIRY

SEE SHEET 3

SINGLE-FAMILY

SINGLE-FAMILY

SIERRA RANCH MPC

TWIN HOMES

SINGLE-FAMILY

LOW DENSITY (VACANT)

EARLEY ROAD

DOAN ROAD

DOAN ROAD

ARIZONA ROAD

PEART ROAD

EXCEPTION



AMEC Planning Studio
4435 E. Holmes Ave.
Mesa, Arizona 85206
Phone: (480) 830-3700
Fax: (480) 830-3903

CARLTON COMMONS

Casa Grande, Arizona

All information contained in this drawing is Preliminary, and Not for Construction

PRELIMINARY
DEVELOPMENT PLAN
Date: February 19, 2004

Project Number: 01-2003-041

LEGEND

Green	OPEN SPACE
Light Orange	8,000+ SF LOTS
Red-Orange	7,000 - 7,999 SF LOTS
Dark Orange	6,000 - 6,999 SF LOTS



SEE SHEET 2

COMMERCIAL
SINGLE-FAMILY

COMMERCIAL

CASA GRANDE 320 MPC
(Proposed)

SINGLE-FAMILY

LOW DENSITY
(GENERAL PLAN)

LOW DENSITY
(GENERAL PLAN)

LOW DENSITY
(GENERAL PLAN)