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Bella Vista Estates

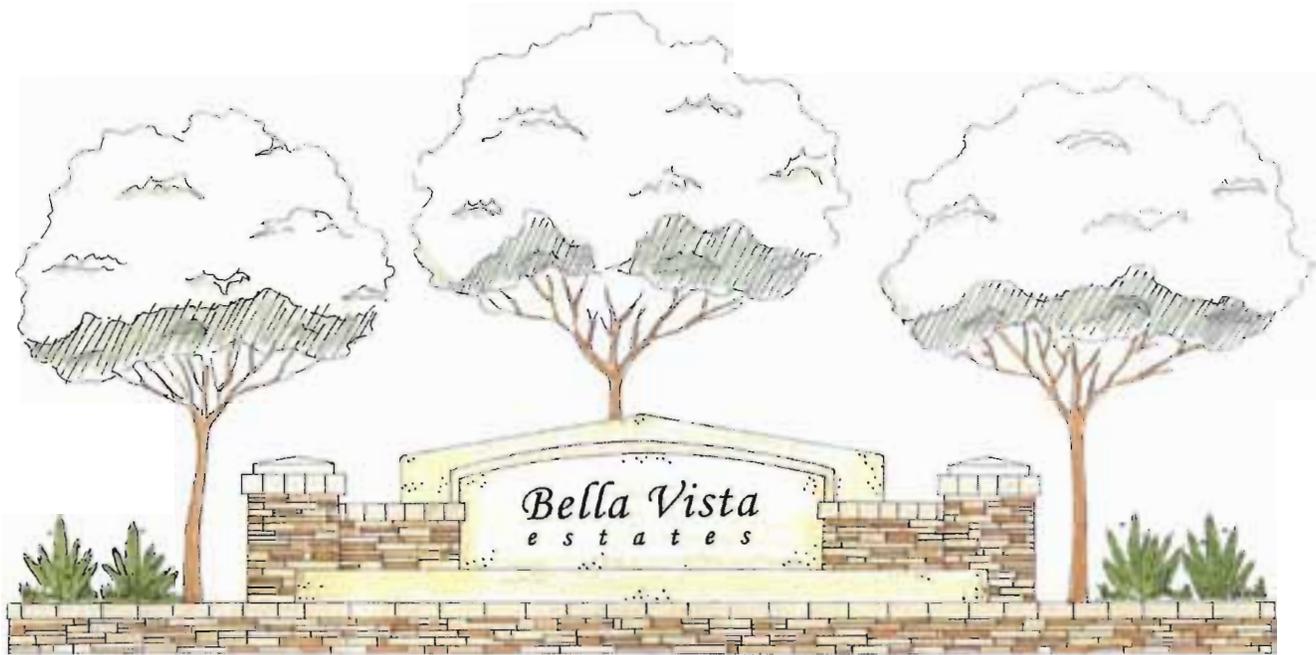
Planned Area Development Guide

Casa Grande, Arizona

April 4th, 2005

Resubmitted April 25th, 2005





**PLANNED AREA DEVELOPMENT (PAD)
PRELIMINARY DEVELOPMENT PLAN AND DEVELOPMENT
GUIDE**

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PROJECT DEVELOPMENT TEAM

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BELLA VISTA ESTATES A PROPOSED P.A.D. MASTER PLANNED COMMUNITY

Bella Vista Estates is a proposed single-family detached residential development located on the northwest corner of Kortsen Road and Peart Road. This proposal is to develop Bella Vista Estates under the Planned Area Development ("PAD") zoning classification. The land uses and proposed zoning are in compliance with General Plan 2010. A Vicinity Map showing Bella Vista Estates and its location within the City is attached in **Exhibit A**.

This development enhances Casa Grande's goal of attracting high quality housing to the community and provides attainable housing for the growing work force. This proposed development contains a variety of active and passive open space areas in the form of neighborhood parks to serve the residents and create a cohesive neighborhood. Bella Vista Estates is a well-designed and attractive Planned Area Development that will provide a great deal of benefit to the surrounding area and the City of Casa Grande. A Bella Vista conceptual land use plan can be found in **Exhibit C**.

The proposed Bella Vista Estates Planned Community will include:

- A Low Density Residential single-family development with an overall density of 3.49 residential dwelling units per acre; along with a commercial corner with underlying B-2 Zoning.
- Usable open space that encompasses a minimum of 15% of the community;
- Several separate, but linked recreation areas containing tot lots, ramadas, barbeques, park benches, picnic tables, and numerous turfed open space areas;
- Pedestrian access connecting all parts of the development to the open space and each of the recreational areas.
- An entry monument feature that gives a sense of destination and identity to the community.

This Development Guide has been created to present how this master planned community has been planned to be in compliance with the land use and development guidelines of the City and General Plan 2010 as well as the City PAD zoning requirements.

1 GENERAL PLAN COMPLIANCE

Bella Vista Estates has been planned and engineered to be in compliance with the City of Casa Grande General Plan 2010 ("General Plan"). The Land Use Plan Element designates the Site in an area planned for Low Density Residential ("LDR") that allows a density range of 1-4 dwelling units per acre (du/ac). This Plan Element places the target density for LDR at 3.35 du/ac, with a maximum density not to exceed 4.0. Bella Vista Estates plans to meet the criteria of the General Plan. The proposed net acre residential density range of Bella Vista Estates is 3.4-dwelling units/per acre ("du/ac"). This proposed density is within the allowed density for the LDR designation of the Land Use Plan.

Bella Vista Estates also complies with the Community Character Element, a subsection of the Land Use Plan Element, by incorporating a variety of materials and landscaping in the treatment of the perimeter walls, and by staggering front yard setbacks.

2 PLANNED AREA DEVELOPMENT ZONING REQUEST

Bella Vista Estates is a well-planned development that has been designed in conjunctions with the City's vision for high quality housing and the Casa Grande General Plan Land Use element. The proposed Bella Vista Estates Planned Area Development (PAD) zoning was chosen as a way to meet the requirements of the General Plan while providing for a diversity of housing, commercial and recreational open space within this community.

3 EXISTING SITE AND AREA CONDITIONS

The following sections describe the current conditions of the Site and those of the surrounding area.

A EXISTING SITE CONDITIONS

Bella Vista Estates is an approximately 80-acre parcel of agricultural land located in the City of Casa Grande, and currently exists as an agricultural field with a slope from southeast to northwest. The property lies in Township 6 South, Range 6 East in the southeast quarter of Section 9, Gila and Salt River Meridian. An ALTA survey is included as **Exhibit E**.

B TOPOGRAPHY AND DRAINAGE

A majority of the Site has been graded to accommodate the irrigation of crops. The Site slopes very gently to the north, northwest. The high point of the Site is at the southeast corner that is approximately 1,394 feet above mean sea level ("MSL"). The low point of the Site, at the northwest corner, is approximately 1,390 feet above MSL. Elevation and topographic information was derived from the Casa Grande Site – Eastern 80 Acre Parcel by Rick Engineering Company, dated September 28, 2004. A Topographic Map is attached as **Exhibit F**.

The Pinal County, Arizona and Incorporated Areas Flood Insurance Rate Map (FIRM) Panel Number 0400770695 D, dated March 5, 1990, indicate that the project falls predominantly within Zone C. Zone C is defined by the Federal Emergency Management Agency (FEMA) as: "areas of minimal flooding." Zone C is outside the delineated 100-year floodplain. Flood insurance is available, but not required by the Federal

Insurance Administration, for buildings concerned with a federally insured loan. Flood insurance is optional at the discretion of the owner or lending institution. A portion of the site is located in Zone A. Zone A is defined by FEMA as: areas of 100-year flood; base flood elevations and flood hazard factors not determined." Currently, however, DNA Engineering is submitting a Conditional Letter of Map Revision (CLOMR) to FEMA for the City of Casa Grande. Once this study is approved by FEMA, the entire site will be located in Zone C. A Floodplain Map (FIRM Map) is attached as **Exhibit G**.

C RELATIONSHIP TO SURROUNDING PROPERTIES

The majority of the surrounding land use within a one-quarter mile radius of the Site may be characterized as residential and open space.

There are three subdivisions being developed adjacent to Bella Vista Estates. To the West is the Muirland Commons, to the East is Mission Por Del Rio and G Diamond Ranch is located to the south. The flood plain for the Santa Cruz Wash is north of our site as the wash itself is further to the north.

D LEGAL DESCRIPTION

This proposed residential PAD is comprised of one-parcel of land in the Southeast quarter of Section 9, Township 6 South, Range 6 East of the Gila and Salt River Meridian, City of Casa Grande, Pinal County, Arizona. A copy of the ALTA Survey is located in **Exhibit E**.

4 PROJECT LAND USE

Bella Vista Estates is a residential community of single-family detached houses that integrates a variety of open spaces, which are visible at two major entries into the development, along with a major open space, that is centrally located within Bella Vista Estates. A commercial parcel is also being requested at the corner of Peart and Kortsen Roads with an underlying B-2 zoning classification, see **Exhibit C** for a list of potential uses. The community is proposed as a Planned Area Development (PAD) and is designed to conform to Residential Design Standards for Planned Area Developments.

A GENERAL SITE DESCRIPTION

Bella Vista Estates has been planned with the design flexibility of being developed with a maximum of 261 single family detached homes, with a centrally located open space area and smaller open space areas throughout the development. A minimum of 15% of the project has been set aside for open space and retention and is accessible from any part of the community by using a combination of sidewalks and neighborhood trails within the development. The NW corner of Peart and Kortsen Roads has been left for commercial development.

B LOT SIZING AND PLACEMENT

Bella Vista Estates is divided into two categories of lot sizes. The southern lots are on average 55' x 120' (6,600 square feet) while the northern half are a little larger at 65' x 120' (7,800 square feet). The smallest lots within Bella Vista Estates are 6,600 square feet, while the largest lots are over 15,000 square feet. The average size lot is approximately 7,700 square feet.

The lotting concept calls for 261 proposed lots. There are 99 proposed lots with a minimum lot area of 7,000 square feet, or 38% of the development. Of the proposed 261 lots in this development, 74 lots will be

less than 7,000 square feet, which accounts for 28% of the proposed lots in this development. The remaining balance of the lots, (88), are 8,000 square feet or greater, or 34% of the project. This ratio of lots provides a true blending of the three lot sizes while clearly meeting the lot size requirements of the PAD zoning. The table below illustrates the percentage of the project's yield by lot size.

C LOT DESIGN

All lots that side onto streets within Bella Vista Estates have a landscape buffer between the lot and the street of a minimum of 10 feet. This makes the lots more enjoyable as well as providing open space to create both a classic and contemporary upscale feel of the development. The lots that back up to arterial roads have a generous landscape tract of a minimum of 15 feet. This separates the arterial roadways from the development. Lots have also been designed through the acreage of the three existing well sites along Peart Road, see the ALTA Survey in **Exhibit E** for the well site locations. If the well-sites don't become part of Bella Vista Estates the lots will be adjusted in those areas.

5 COMMUNITY OPEN SPACE AND RECREATION AMENITIES

As part of the conceptual Landscape Plan shown in **Exhibit H**, Bella Vista Estates has been designed with distinctive, but fully integrated, open space areas. The Open Space encompasses a minimum of 15% of the project and has been designed to be part of both of the proposed residential subdivisions with this development. The Open Space is a combination of numerous common open space areas and landscape areas. The open space along the northern boundary of the site will contain a 10' lighted concrete path that will link to the Muirlands and Mission Por Del Rio's paths. The Site also contains designated active recreation areas, all of which are linked within the development by a 5' concrete neighborhood trail and the standard public sidewalk system, which also links Bella Vista with the adjacent subdivisions. To ensure that the Open Space plan is incorporated into the subdivision, the Community Developer will create and record a set of Covenant, Conditions, and Restrictions ("C, C&Rs") establishing a homeowner's association ("HOA") for the Bella Vista Estates. The HOA will be responsible for maintaining the landscaping and designated recreation areas for the Open Space including any landscaping within adjacent rights-of-way. The following sections are a brief outline of the various features of the Open Space.

Bella Vistas open space has been designed to enhance the quality of life for the residents as well as the surrounding community of Casa Grande. The well-planned neighborhood is designed around the open spaces to ensure that recreational and leisure activities will be accessible and plentiful.

The open space throughout the community provides acres of active and passive recreational opportunities. Approximately 15.0% of the total residential development area is composed of this open space.

A Larger neighborhood park is the major open space element and occurs in a central location. This park is designed to function as a community focal point and is within 1000' accessible from all adjacent residential area. This park contains a multi-use field, ½ basketball court and a large ramada with picnic tables and barbecues. Within the north subdivision, there is a small pocket park containing a volleyball court, benches and a ramada. There are other open space areas throughout Bella Vista Estates and each one will serve the residents. This park will serve as the main community gathering space, and allow all residents the occasion to meet each other and create strong community ties.

6 CONCEPTUAL LANDSCAPING, WALL MONUMENTATION

Bella Vista Estates, through its community design and landscape framework, makes every effort to convey characteristics that make a community unique. The Conceptual Landscape Plan located in **Exhibit H** details the theme of the community.

A WALLS AND FENCES

Subdivision Theme and Perimeter Walls: The Site will have a perimeter theme wall along the arterial roadways. This wall will be decoratively designed and built to meet City fencing requirements and standards. The theme wall will follow the proposed rear or side lot lines of the adjacent subdivisions in the development to create a visually pleasing streetscape along both the collector roads and the arterial road. The design criteria of each of these walls are presented on the Conceptual Landscape Plan, which is presented in **Exhibit H**.

View Fence along Open Spaces: A modified 6 foot tall subdivision view fence is proposed along the rear lot lines of the interior lots that back onto common open space. Both wall options are shown on the Conceptual Monument, Wall Plan and Colors.

The view fence will be a 2-foot block wall with 4-foot wrought iron top of the wall. The location and design criteria for this view fence are presented on the Conceptual Landscape Plan. Final wall plans, designs, and colors are subject to review and approval of the Planning Director, and are to be designed per City of Casa Grande pool code regulations.

Internal Lot Line Walls: A standard 6 foot tall subdivision or site wall will be provided for the side and rear lot lines within each subdivision of this development. The individual property owners, not the HOA, will maintain the common lot line walls within these subdivisions. Fence returns will be located within 10 feet of the front corners of the homes.

B RIGHT OF WAY AND OPEN SPACE LANDSCAPING

Landscaping will be provided along all arterial roadways. Landscaping will also be provided in the open space/retention basin tracts within the Bella Vista Estates.

The landscaping will, at a minimum, fulfill the requirements identified in the provisions of the Municipal Code of the City. Plant information and pictorial renderings of the conceptual landscaping in the open space areas will be presented in the Construction Drawings to be submitted to the City for final approval. Final landscaping plans are subject to the review and approval of the Planning Director.

C SIGNAGE AND ENTRY MONUMENTATION

Primary lighted, monumentation and signage will be placed with the major entry features along the arterial roadway. The exact locations for primary monumentation will be determined prior to final plat. Monuments, sign plans, designs and colors are subject to review and approval of the Planning Director.

D WALL, LANDSCAPE, SIGNAGE AND MONUMENTAION MAINTENANCE

The HOA will be responsible for the maintenance of all the walls except the internal lot line Walls. The individual homeowner will be responsible for the maintenance of the internal lot line walls. Likewise, the HOA will maintain the landscaping, the signage at the entries, as well as all landscaping located within adjacent rights-of-way.

7 TRAFFIC CIRCULATION AND STREET DESIGN

A ARTERIAL STREETS

The two primary entrances to Bella Vista Estates will be from Peart Road, which runs along the eastern boundary of the Site. A secondary entrance will be centrally located along the west side of the Site and connect the adjacent development (Muirland Commons). Peart Road runs north/south and is expected to provide the majority of the traffic access. Typical street cross-sections can be found in **Exhibit I**. Developer/Builder will be responsible for designing and constructing arterial streets to City standards. Deceleration lanes will be constructed along the arterial roadways at the main entrances to the project as recommended by the City Engineer.

B LOCAL STREETS

The primary circulation route throughout Bella Vista Estates will be via the local street, which can be accessed off of Peart Road. The street (unnamed thus far) runs north and south along the east side of the Site and has a large curve which swoops west as it reaches the north portion of the site and then connects with the other main local street that runs along the interior of the west portion of the Site. Internal to the single family districts, curvilinear street design, cul-de-sacs and looped local streets provide functionality, interest, visual appeal and respect homeowner privacy as it improves public safety throughout the project while vehicular speeds are reduced. This design also serves to significantly discourage cut-through traffic and unifies each of the neighborhoods. Typical street sections are depicted in **Exhibit I**. Developer/Builder will be responsible for designing and constructing collector streets to City standards.

C RESIDENTIAL STREET DESIGN

The Community Developer will be responsible for the engineering and construction of local residential streets within Bella Vista Estates. A 44-foot right-of-way will be dedicated to the City. Local street improvements will include paving, curb and gutter, and a 4-foot wide sidewalk.

8 UTILITY SERVICE AND PUBLIC FACILITIES

Private utility companies will provide water, gas, cable TV, phone, and electric service. The City will provide the sewer, police, fire protection, and refuse collection.

A WATER AND SEWER

The Conceptual Master Water and Sewer plan is attached as **Exhibit J** for information and review. As previously discussed, this site is proposed in two separate phases. The water and sewer extensions/connections will be constructed as development dictates for each phase to serve itself. This concept allows for each phase to be independent from the other, as each phase will most likely be constructed on its own. The water and sewer will be designed and constructed by the developer and owned and operated by the private water company and the City respectively.

The Arizona Water Company will provide water service to the subject property. The City of Casa Grande currently does not maintain a 100-year assured water supply certification as issued by the Arizona Department of Water Resources. Therefore, an assured water supply certification will need to be applied once platting has been finalized. The Arizona Water Company operates and maintains all water supplies, wells and pumping facilities that will serve the supply lines to the site.

Water piping within the individual subdivision parcels requires a 6" minimum water line size. These line sizes are necessary for maintaining adequate operating pressures and flows to serve both the fire fighting and domestic water needs for the development. As required by The City of Casa Grande, a looped (connected/supplied at two ends) water supply system will be provided for each phase of the site. See **Exhibit J** for the Conceptual Sewer and Water Plan.

The City of Casa Grande will provide sanitary sewer service for this development and is responsible for operating all sanitary sewer facilities, including treatment plants, lift station and mains, which will receive the wastewater from this development. Sewer improvements within the subdivision will be 8" to 10" depending on the demand. It is proposed that this site sewer south into the existing 18" sewer stub in Peart Road located north of Kortsen Road and into the existing 30" sewer in Kortsen Road. Sewer improvements in the adjacent arterial roads will be provided as necessary to provide sewer service to this site. See **Exhibit J** for the Conceptual Sewer and Water Plan.

B IRRIGATION WATER

The site irrigates from the supply canal running throughout the property. There are private laterals that run within the property. These will be removed or tiled as required.

C DRY UTILITIES

Local utility companies shall provide dry utility services such as electrical power, natural gas, cable television, telephone, etc. Upon construction completion and acceptance, operation and maintenance of all utilities and facilities shall rest with the operating agency. All utility extensions will be installed as services are required and per City of Casa Grande standards.

D SCHOOL DISTRICT

Bella Vista Estates is located within the Casa Grande Elementary School District and the Casa Grande Union High School District. The Casa Grande Elementary School District serves students from Kindergarten to Sixth Grade. Cholla Elementary School and Cactus Middle School are located within a half mile, both southwest of the site. Casa Grande Union High School District serves the site with a school located at the intersection of McCartney and Trezell Roads, which will serve the project area. We have met with both the Casa Grande Elementary School District and Casa Grande Union High School District and we are in the process of meeting all of their contribution requests.

E SOLID WASTE

Casa Grande provides weekly collection of solid waste and recyclables from all residential units in the incorporated areas as an exclusive service provider. Monthly collection of uncontained items is also provided to residential customers. County residents located within the City of Casa Grande Planning Area are not included in this service. They must utilize private subscription services for the removal of their solid waste.

F POLICE AND FIRE

Community security, fire safety and the associated ease of on-site circulation will be principal determinants in the design and planning of Bella Vista Estates. Bella Vista is designed to have a minimum of two (2) points of ingress/egress to allow emergency vehicle access.

9 GRADING AND DRAINAGE CONCEPT

As previously discussed, this site is proposed in two separate phases. The first phase of development is along the southern portion of the site, and is located within Zone C of the FEMA map. Therefore, Phase 1 will not be dependent upon the CLOMR currently being done by DNA Engineering. Phase 1 grading and drainage concept will not be independent from Phase 2, however. Phase 1 will be required to construct temporary retention basins to meet the City's retention requirements. Once the CLOMR is approved by FEMA, Phase 2 will be constructed, the temporary retention basins for Phase 1 will be replaced with landscaped tracts, and the site will retain its own runoff. For discussions below, see the enclosed Preliminary Drainage Plan in **Exhibit K**.

A OFF-SITE DRAINAGE

Offsite drainage information has been obtained from The Casa Grande Drainage Study (C.G.D.S.), prepared by Carter Associates for the City of Casa Grande in June 1987, which analyzes the potential 100-year storm water runoff in the City and the contributing drainage areas outside the city limits. Per this study, no off site flow impacts this site. The proposed alignment of Peart Road, along the eastern boundary of the site is elevated from the existing ground to the east and directs the flow generated from undeveloped land south and east of this site is north to the North Branch of the Santa Cruz Wash.

B ON-SITE DRAINAGE

The storm water runoff from the 100-year, 1-hour storm will be retained on-site in accordance with the City of Casa Grande Design Guidelines. As described in section 9, each phase will retain it's own on site and adjacent arterial runoff in basins provided within each phase. The basins, which are incorporated with the open space areas throughout the neighborhood, will be graded with varying cross slopes and undulating side slopes to create an aesthetic look for the subdivision. All basins will drain within 36 hours by means of natural ground percolation and dry wells where necessary.

C PHASING PLAN

Proposed phasing for the project is shown on **Exhibit L**. There are two major phases planned. It is anticipated that development will begin in the southern portion of the site and is located entirely out of the floodplain. This would be Phase 1. Phase 2 is the northern portion of the site and is located within the floodplain. Sub-areas of the major phases could be phased based on market conditions. While individual parcels may be phased the backbone improvements – arterials, collector, water and sewer – will be completed for the major phase all at one time. All phasing of public infrastructure improvements will be subject to the review and approval of the Planning Director and City Engineer.

10 RESIDENTIAL COVENANTS, CONDITIONS AND RESTRICTIONS

A Homeowners Association (HOA) will be created to manage all common open space facilities. In addition to these tracts, the HOA will assume the maintenance responsibility for local roads median landscaping and landscaping within the public rights-of-way abutting the community's internal and external boundaries. The community's HOA shall also maintain landscape/common areas. The HOA will develop CC&Rs to incorporate the design principals as outlined in this document and will promote diversity in home plans and elevations, use of color, home amenities, and subdivision streetscapes and maintenance.

11 PAD RESIDENTIAL DESIGN STANDARDS

A PAD PROJECT LAYOUT AND DESIGN

Bella Vista Estates has been designed to incorporate and meet the City's Residential Design Standards for PAD zoned developments ("RDS/PAD"), adopted January/February of 2003. The following sections outline how the subdivision design of Bella Vista Estates will meet or exceed these PAD residential design standards for the development.

B MANDATORY PAD LAYOUT AND DESIGN STANDARDS

There are ten concepts within the design standards of the RDS/PAD that must be followed. The following subsections provide information on how Bella Vista Estates will comply with those mandatory layout and design standards.

OPEN SPACE

Bella Vista Estates complies with the following requirements:

- Minimum of 15% Open Space: The project proposes 12.25 acres of open space, which meets the 15%.
- Clubhouses, indoor recreation centers, parking lots, street rights-of-way, and non-landscaped or cement retention areas and drainage channels do not count towards the open space requirement.
- At least 50% of the required open space must include parks, multi-use trails, turfed retention areas, tot lots and/or other outdoor active or passive recreation improvements.
- When retention areas are designed for recreation usage, at least 15% of the basin needs to be elevated above a 25-year floodwater surface elevation.
- All open space not considered natural preservation area shall be landscaped according to an approved water-conserving final landscape plan. There are no proposed natural preservation areas. See the landscape concept plan, Exhibit H, which utilizes a water conservation palette of plant materials. Retention areas designated for field play are turfed.
- PAD's located along interstate 10 corridor: Not applicable
- Golf courses: Not applicable
- Landscape, landscape lighting and open space amenity plans shall be subject to the review and approval of the Planning Development Director. Concept plans are enclosed in this application and final plans will be submitted for review.

The overall design of open spaces is intended to create a sense of community and identity. This is achieved by providing small open space/recreation facilities in residential neighborhoods within easy walking distance of all homes. Larger areas are consolidated to provide for larger recreation areas and to provide focal points within the overall community. The goal is to create a sense of 'arrival' within Bella Vista Estates. Additionally, open space has been coordinated with storm water retention so that drainage requirements are met, while contributing to community usage, identity and buffering.

SINGLE FAMILY LOT SIZES

- No single-family lot shall be smaller than 6,000 square feet
- A minimum 55-foot width is required for all single-family lots. The minimum single-family lot width is 55 feet
- Lot and space diversity is required to encourage diversity in housing product types and neighborhoods. The project proposes two lot types: Single family lots of 6,600 Square Feet, and 7,800 Square Feet
- For every single-family lot less than 7,000 square feet in area, an equal or greater number of lots that are at least 8,000 square feet in area shall be provided. This condition is met in that there are 74 lots less than 7,000 square feet and 88 lots over 8,000 square feet proposed. This is shown in **Exhibit M**.

SETBACKS AND LOT STANDARDS

Included below are requests made for flexibility from certain City Code development standards. In the spirit of a PAD, creative options for development are arranged and designed in accordance with modern land planning principles and development techniques. Additionally, substantial community benefit is provided as demonstrated with the provision of over twice the minimum required open space and site amenities, as well as design in consideration of both aesthetic and functional appeal desirable in the marketplace.

The flexibility from City Code standards is proposed to provide greater diversity to the project. In addition to the rationale stated below, all of the PAD design flexibility requests are warranted by the substantial benefit provided to the community both immediate and ongoing with examples such as provision of, substantial open space, ample amenities, and master plan excellence through design both congruous and complimentary to adjacent developments as illustrated and described in this guide. The following development standards table and accompanying additional criterion are the standards proposed with this application.

Lot Sizes/Types

<i>Zoning District</i>	<i>Proposed PAD</i>		
	<i>Average Area</i>	<i>Dimensions</i>	<i>Bldg. Height</i>
<i>PAD</i>	6,600 SF	55' x 120'	28'
<i>PAD</i>	7,700 SF	65' x 120'	28'

Setbacks

Zoning District	Proposed PAD				
	Front	Side	Corner	Rear	Bldg. Height
PAD	15'/20' *	5'/10' **	15' **	20'	28'
COMMERCIAL B-2	STD***	STD***	STD***	STD***	STD***

Notes:

* A minimum front yard set back of 15' is permitted from livable areas or side entry garages. Every third or fourth front loaded garage will be staggered a minimum of 3' for a total front setback of 23'.

** At least one side yard shall be 10'; the remaining side yard may be less than 10' but at least 5'. On corner lots a 15' setback can include up to 10' of the adjacent landscape tract. Also a 3' encroachment into 10' side setback allowed for entertainment niches, fireplace, and bay windows.

*** Standard Requirements

MANUFACTURED HOMES

No Manufactured homes will be built in this development.

STREETSCAPES AND ENTRANCES

- A unique and cohesive theme for the PAD shall be demonstrated through the PAD's streetscapes, perimeter walls, signage and landscaping design. The project has been designed with a comprehensive theme in order to create a cohesive feeling throughout the project.
- Perimeter walls and walls adjacent to roadways must be decorative, etc. Walls have been designed to be decorative and provide variety.
- A minimum 15-foot wide landscape tract shall be provided between every residential portion of a PAD and an adjacent arterial or collector right-of-way.

The main entrances into a subdivision have been designed to create a sense of arrival. Lighted monument signage, increased vegetation and larger plant sizes are required to enhance subdivision entrances. Additional enhancements shall include a combination of the following features: landscaped medians, brick walls, decorative paving, and stone features. Project entries are shown on **Exhibit H**. Entries planned of Peart Road will include medians, increased setbacks and stone faced features.

FRONT YARD LANDSCAPING

The homebuilders in this development will offer to the homebuyer a selection of front yard landscape packages. The front yard landscaping will be installed by the homebuilder within 3 weeks of home occupancy, and will be maintained by the individual homebuyer. The homebuilder

will offer a minimum number of front yard landscape packages that will include a variety of water conserving plants, a set minimum of 15 gallon trees, 5 gallon shrubs or accent plants, 1 gallon ground cover plants, granite rock topping or turf, and an automatic irrigation system. Where grass is proposed in a front yard, the turf area is not to exceed 20% of the front yard area and will be separated from the granite areas by a concrete or brick header. Decomposed Granite will cover all exposed areas to reduce dust in the air. Landscaping packages will offer the option of berming, contouring, boulders and river runs to add variety to each front yard landscape package. The landscape packages are subject to review and approval of the City Planning and Development Director.

SCHOOL SITE

Bella Vista Estates is located within the Casa Grande Elementary School District and the Casa Grande Union High School District. The Casa Grande Elementary School District serves students from Kindergarten to Sixth Grade. Cholla Elementary School and Cactus Middle School are located within a half mile both southwest of the site. Casa Grande Union High School District serves the site with a school located at the intersection of McCartney and Trezell Roads, which will serve the project area.

MISCELLANEOUS

1. Side yard fence returns for all interior lot walls shall extend to within 10 feet of the front corner of the home.
2. All walls exposed to the public (e.g., streets and open areas), shall be stained or painted the color of the primary decorative theme or perimeter walls, except walls for individual home lots may be the color of the residence. Wall designs and colors will be carefully coordinated so that all project/community walls will be similarly treated to provide for continuity of appearance throughout the project.

12 ADDITIONAL REQUIREMENTS FOR PAD LAYOUT AND DESIGN

In addition to the mandatory requirements of the RDS/PAD, at least four of seven proposed standards must also be selected to apply to the entire development. The following four additional development standards will be used in Bella Vista Estates.

A CUL-DE-SAC MIX AND CURVILINEAR STREET SYSTEM

Provide a mix of cul-de-sac designs (where cul-de-sacs are provided), including eyebrows, short courts, cul-de-sacs with open space ends, and landscaped circles and a curvilinear street system.

B MULTI-USE PATH

Provide a ten-foot wide or wider concrete multi-use path meandering through the development. This path will be provided within the northern open space to connect to the path being provided in Muirlands to the west. This standard must be selected for all projects with open space corridors, including washes and utility easements.

C STAGGERED FRONT SETBACKS

The front setbacks for each subdivision within this development will be established to allow a stagger of at least three feet (20' or 23'). These front setback staggers will occur on every third or fourth home with front loaded garages and will be determined by the Homebuilder.

D ENHANCED ARTERIAL AND COLLECTOR ROAD THEME FENCING

Developer will use wrought iron or similar view fencing along portions of collectors and/or arterial roadways where homes are not backing/siding these portions of roadways.

13 RESIDENTIAL PAD ARCHITECTURAL STANDARDS

The residential product for the two lot sizes in Bella Vista Estates has not been determined at this time. However, the homes will have architectural diversity while maintaining a cohesive architectural theme and character. The varying use of house forward, side entry garages, as well as staggered garage forward elevations will help create a diverse and visually pleasing street scene. Product elevations and floor plans will be presented to the City staff and the Planning and Zoning Commission for review and approval prior to issuance of any building permits for homes in any proposed subdivisions within Bella Vista Estates.

In order to provide architectural diversity, the following standards will be provided in the housing products offered in the project to meet the City's PAD Residential Architecture Standards. The following sections outline the housing design standards for the development.

A MANDATORY RESIDENTIAL ARCHITECTURAL STANDARDS

There are five housing concepts within the architectural standards for a proposed PAD development that must be followed. The following subsections provide information on how Bella Vista Estates will comply with those mandatory residential architectural standards.

FLOOR PLANS AND ELEVATIONS

1. A minimum of five home floor plans, each with three distinct elevations, will be offered within each definitive housing price range or product type.
2. A minimum of five distinct home color schemes will be offered within each definitive housing price range or product type.
3. The Homebuilders for each parcel within Bella Vista Estates will strive to offer diversity and uniqueness in the elevations and the color schemes.
4. The Homebuilder will not allow two homes with the same front elevation or color scheme to be located on adjacent lots or across from each other. A variety of architectural design features will be incorporated into each home elevation to promote diversity from home to home.
5. There will not be any more than three consecutive similar rear elevations for homes backing on Peart Road.
6. The Homebuilder will place emphasis on designing covered front porches, bay windows, etc., into the front elevations of homes. Front entries will be visible from the street.
7. Window pop outs, windowsills, recessed windows and/or similar architectural embellishments will be provided on windows.

ROOFS

1. A variety of home roofing colors, shapes and/or textures will be offered. Concrete tile roofs will be required for all sloped roofs, however, the City may give consideration to alternative durable roofing materials that are consistent with the proposed housing theme.
2. A variation of ridgelines and designs will be provided.
3. Unique roof colors will be matched to each home color scheme.
4. Residential dwelling units and accessory buildings/structures will have no roof mounted or wall mounted mechanical equipment including HV AC or evaporative coolers. This type of mechanical equipment will be ground mounted.

GARAGES

1. In subdivisions where side entry garages can be accommodated, at least one elevation per floor plan per parcel or product type will be designed with a standard side entrance garage.
2. No garage will extend forward of a home's livable area or covered front porch by more than 10 feet.
3. At least one elevation per floor plan per parcel or product type will have the livable area of the home forward of the garage.
4. Front loaded garage doors shall not exceed 50% of the house width (frontage). In a home where more than a standard two-car front entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.

PATIO COVERS

1. Rear or side yard covered patios or covered courtyards will be standard on every home.
2. Where possible, covered patio areas will be incorporated into the architecture of the home.
3. The patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns will be subject to the review and approval of the Planning and Zoning Commission.

ADDITIONS AND MODIFICATIONS

1. All additions to homes will be constructed of the same building materials as the principal residence and painted to complement the home.
2. Garages will not be converted or enclosed for other uses.
3. Accessory building will be located within walled rear yards. Accessory building over 200 square feet in area will be constructed to match or complement the building materials and colors used on the principal residence.

14 ADDITIONAL REQUIREMENTS FOR PAD RESIDENTIAL ARCHITECTURE

In addition to the mandatory requirements at least four of eight proposed standards must be selected to apply to the entire development. At minimum, the following five additional residential architecture standards will be used in Bella Vista Estates

DURABLE EXTERIOR MATERIALS AND FINISHES

The Homebuilders will incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.

SIGNIFICANT ARCHITECTURAL FEATURES

The Homebuilder will provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and/or dormers as standard features on all homes.

TWO STORY HOME IMPACT REDUCTION

The Homebuilder will reduce the impact of two story homes by limiting the second story portion of the home, providing second story plane changes, multiple roof changes, and/or other equally effective measures.

WINDOW TREATMENTS

The Homebuilder will place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.

HOME FLOOR PLANS AND ELEVATION APPROVALS

The Community Developer is proposing to develop platted and engineered lots or finished lots for the homebuilding community of the City. Therefore, it will not be possible to present home floor plans and elevations as part of the PAD zoning process. At the time of the selection of the Homebuilder(s) by the Community Developer, the home floor plans, elevations, colors and other materials for the selected subdivision will be presented to the Planning and Zoning Commission for their review and approval prior to obtaining permits for the homes.

15 CONCLUSION

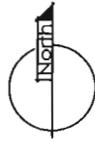
As demonstrated, the development team strongly desires to bring forth an appealing neighborhood to complement and enrich the City of Casa Grande. We envision a development that both enhances and respects the surrounding district. Bella Vista Estates reflects quality, diversity and compatibility with the area and will provide both future and existing City of Casa Grande residents with a high quality living environment that residents and the City will be proud of. Bella Vista Estates PAD allows the development of a diversified residential community in a park-like setting centered on common-use open space. Bella Vista Estates is a well-designed and attractive planned area development that builds upon the City of Casa Grande General Plan as well as the areas history and character to create a development that exceeds the goals and vision encouraged by The Plan. We respectfully request your approval.



VICINITY MAP

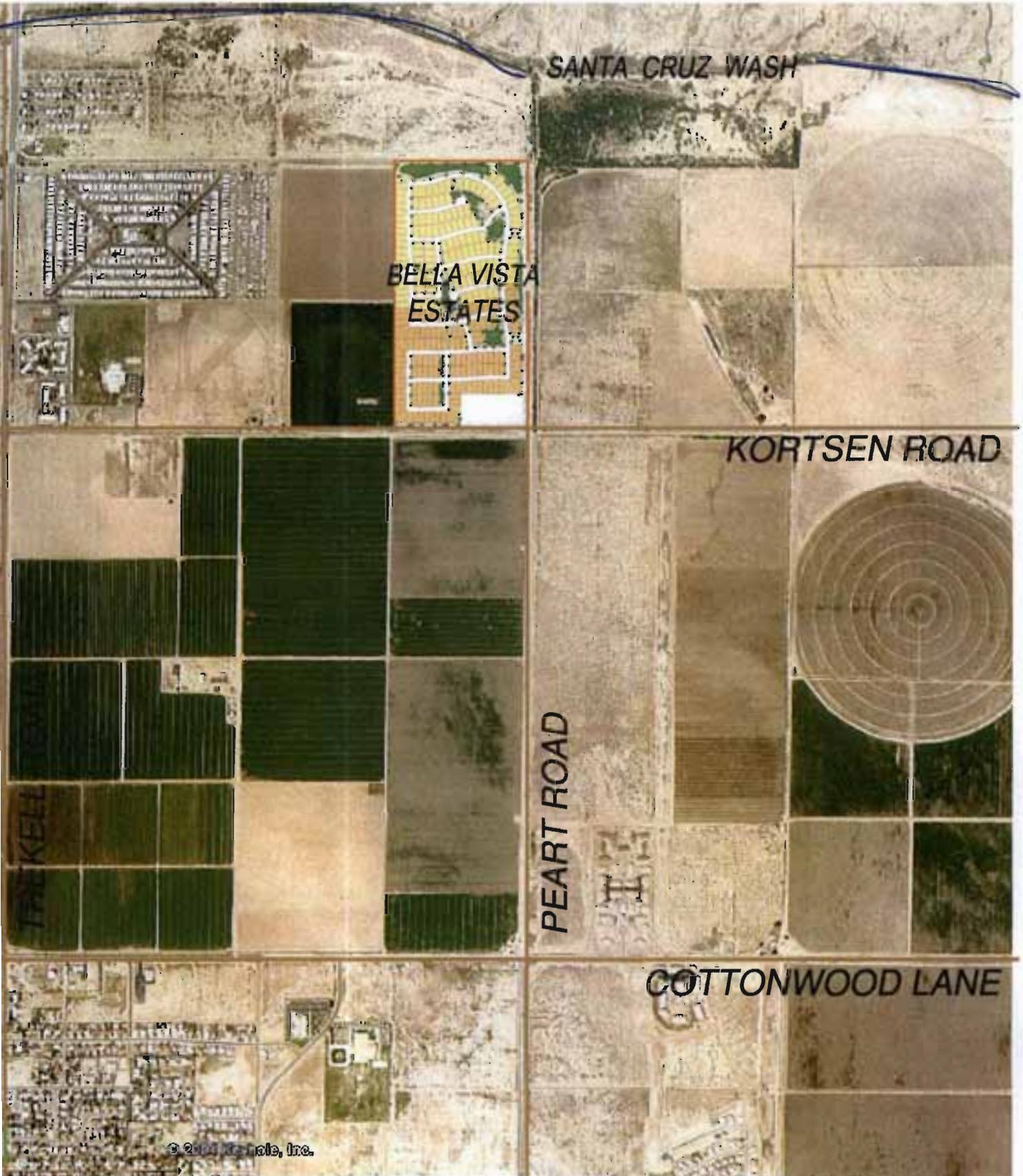
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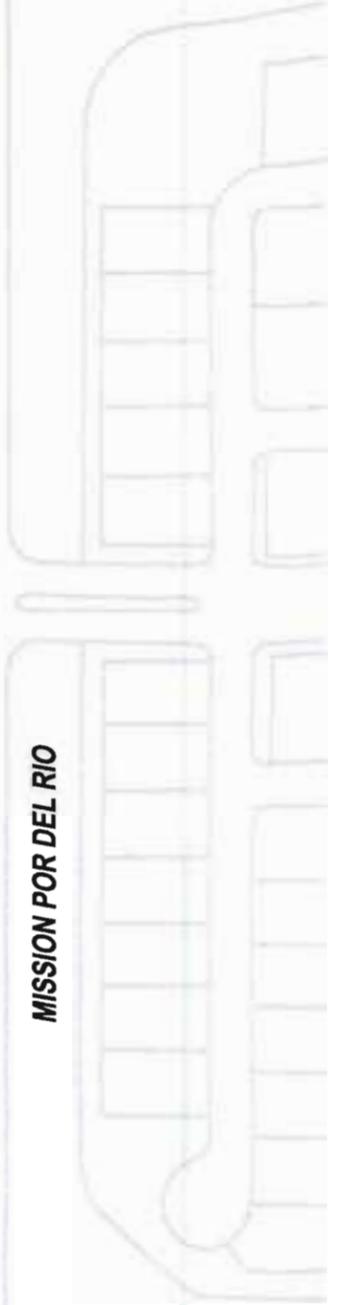




AERIAL MAP

SCALE: N.T.S.





MISSION POR DEL RIO

PEART ROAD

MUIRLANDS

KORTSEN ROAD

B

65X120
42.74 ACRES
128 LOTS

A

55X120
33.46 ACRES
133 LOTS

COMMERCIAL
B-2

SITE DATA

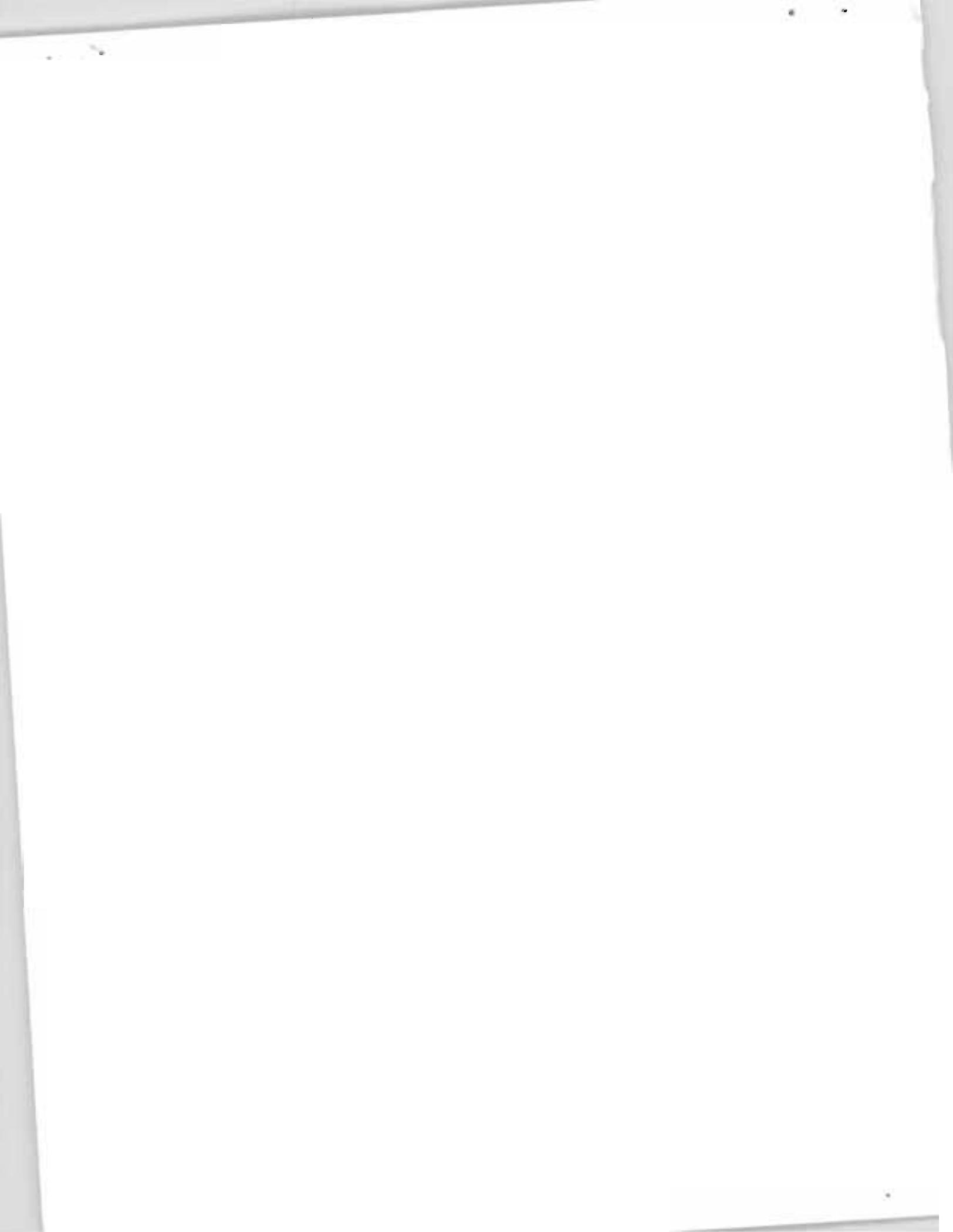
- GROSS 76.20 AC
- NET 74.69 AC
- COMMERCIAL 4.48 AC
- PARCEL A 33.46 AC
- PARCEL B 42.74 AC
- PARCEL A 133 LOTS
- PARCEL B 128 LOTS
- TOTAL LOTS 261
- DWELLING UNITS/ACRE 3.49
- OPENSOURCE 12.25 AC (15%)

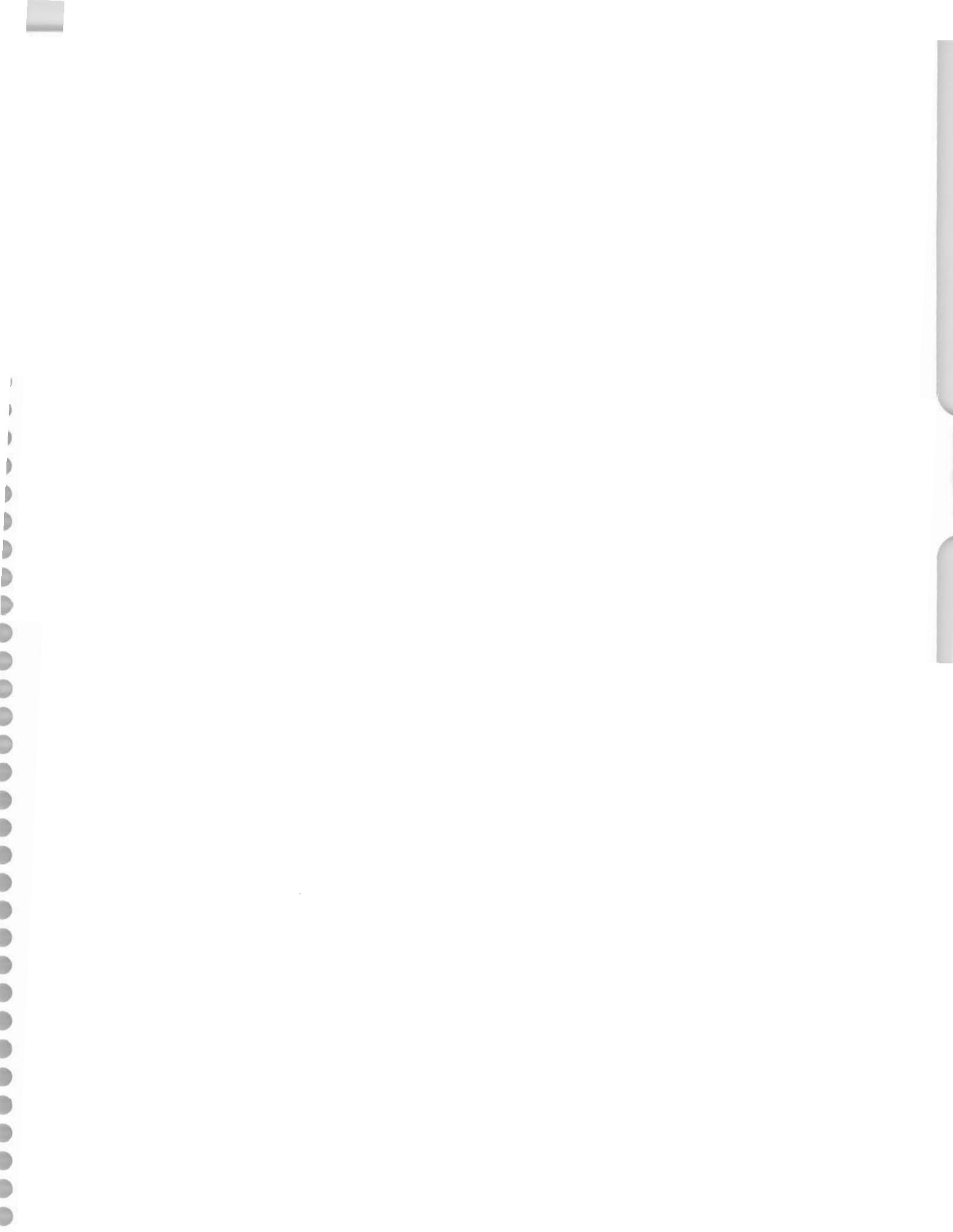
**BELLA VISTA ESTATES COMMERCIAL CORNER
B-2 POTENTIAL USES LIST
AMENDED AND RESTATED 5/24/2005**

APPLIANCE SALES, SERVICE	LOCK AND KEY SHOP
ATHLETIC CLUBS	MAIL ORDER CATALOG STORE
AUTO, BOAT, OR RECREATIONAL VEHICLE SALES	MEDICAL, DENTAL, OR HEALTH CLINIC
BAKERY FOR ON-SITE SALES, LESS THAN 3,500 FT	MUSIC STUDIO
BANKS AND OTHER SAVINGS AND LENDING INST. WITH DRIVE-THRU	NEWSSTAND
BARBER SHOP	OFFICES
BEAUTY PARLOR	OPTICIAN
BLUEPRINT SHOP AND PHOTO PROCESSING	PHOTOGRAPHIC STUDIO
BUSINESS AND OFFICE MACHINE SALES, SERVICE	PUBLIC BUILDINGS
CANDY AND ICE CREAM STORE	RADIO AND TELEVISION STUDIO
CIGAR AND TOBACCO STORE	RESTAURANT > 3,500 SQ FT
CLOTHING AND COSTUME RENTAL SHOP	RESTAURANT < 3,500 SQ FT EXCLUDING CONVEN. FOOD
COMMUNITY CENTER OR MEETING HALL	SHOE REPAIR AND SHOE SHINE SHOP
CONVENIENCE FOOD STORE (<3,500 SQ FT)	TAXIDERMIST
CONVENIENCE FOOD STORE (>3,500 SQ FT)	VIDEO SALES AND RENTAL
CUSTOM DRESSMAKING TAILORSHOP < 5 EMPLOY	WATCH REPAIR SHOP
DANCING OR THEATRICAL STUDIO	
DELICATESSEN AND CATERING EST.	
DRY CLEANING	
ESSENTIAL PUBLIC SERVICE OR UTILITY INSTALL	
FLORIST	
GARDEN SUPPLY STORE	
GENERAL SERVICE, BUSINESS, PERSONAL, PROFESS.	
GENERAL RETAIL, DIRECT SALES TO CONSUMER INCLUDING PHARMACY WITH DRIVE-THRU	
INTERIOR DECORATOR'S SHOP	
LAUNDROMAT, SELF-SERVICE	

**BELLA VISTA ESTATES COMMERCIAL CORNER
B-2 POTENTIAL USES LIST**

APPLIANCE SALES, SERVICE	INTERIOR DECORATOR'S SHOP
ATHLETIC CLUBS	LAUNDROMAT, SELF-SERVICE
AUTO, BOAT, OR RECREATIONAL VEHICLE SALES	LIQUOR STORE
BAKERY FOR ON-SITE SALES, LESS THAN 3,500 FT	LOCK AND KEY SHOP
BANKS AND OTHER SAVINGS AND LENDING INST.	MAIL ORDER CATALOG STORE
BARBER SHOP	MEDICAL, DENTAL, OR HEALTH CLINIC
BEAUTY PARLOR	MORTUARY
BLUEPRINT SHOP AND PHOTO PROCESSING	MUSEUM
BUSINESS AND OFFICE MACHINE SALES, SERVICE	MUSIC STUDIO
CANDY AND ICE CREAM STORE	NEWSSTAND
CIGAR AND TOBACCO STORE	OFFICES
CLOTHING AND COSTUME RENTAL SHOP	OPTICIAN
COMMUNITY CENTER OR MEETING HALL	PAWN SHOP
CONVENIENCE FOOD STORE (< 3,500 SQ FT)	PHOTOGRAPHIC STUDIO
CONVENIENCE FOOD STORE (> 3,500 SQ FT)	PRIVATE CLUB, FRATERNITY, SORORITY, LODGE
CUSTOM DRESSMAKING TAILORSHOP < 5 EMPLOY	PUBLIC BUILDINGS
DANCING OR THEATRICAL STUDIO	RADIO AND TELEVISION STUDIO
DELICATESSEN AND CATERING EST.	RESTAURANT > 3,500 SQ FT
DRY CLEANING	RESTAURANT < 3,500 SQ FT EXCLUDING CONVEN. FOOD
ESSENTIAL PUBLIC SERVICE OR UTILITY INSTALL	SEXUALLY ORIENTED BUSINESS SUBJECT TO LISCENSING REQUIREMENTS OF CHAPTER 5.24
FLORIST	SHOE REPAIR AND SHOE SHINE SHOP
GAME ROOMS, POOL HALLS	TAVERN, BAR OR LOUNGE
GARDEN SUPPLY STORE	TAXIDERMIST
GENERAL SERVICE, BUSINESS, PERSONAL, PROFESSIONAL	THEATRE, EXCLUDING DRIVE-INS
GENERAL RETAIL, DIRECT SALES TO CONSUMER	VIDEO SALES AND RENTAL
HOSPITAL	WATCH REPAIR SHOP
HOTEL OR MOTEL	







City of Casa Grande General Plan 2010

Future Land Use

Legend

Figure 3.1

Land Use Designation

- Rural Residential (0-1 DU/AC*) Target: .5 DU/AC
- Low Density Residential (1-4 DU/AC) Target: 2.5 DU/AC
- Medium Density Residential #1 (4-8 DU/AC) Target: 5.0 DU/AC
- Medium Density Residential #2 (8-12 DU/AC) Target: 10.0 DU/AC
- High Density Residential (12-16 DU/AC) Target: 14.0 DU/AC
- Commercial
- Regional Commercial
- Office/Business Park
- Employment
- Natural Resource Extraction
- Public/Semi-Public
- Parks/Open Space
- Revitalization Area
- City Incorporated Boundary
- Planning Area Boundary
- Airport Noise Exposure Contours

* Du/Ac = dwelling units per acre

Note: A different target density for land designated Low Density Residential may be allowed depending on location. See Growth Areas and text in the General Plan document.

2 0 2 Miles



Partners For Strategic Action, Inc.
Lima & Associates

January 2002

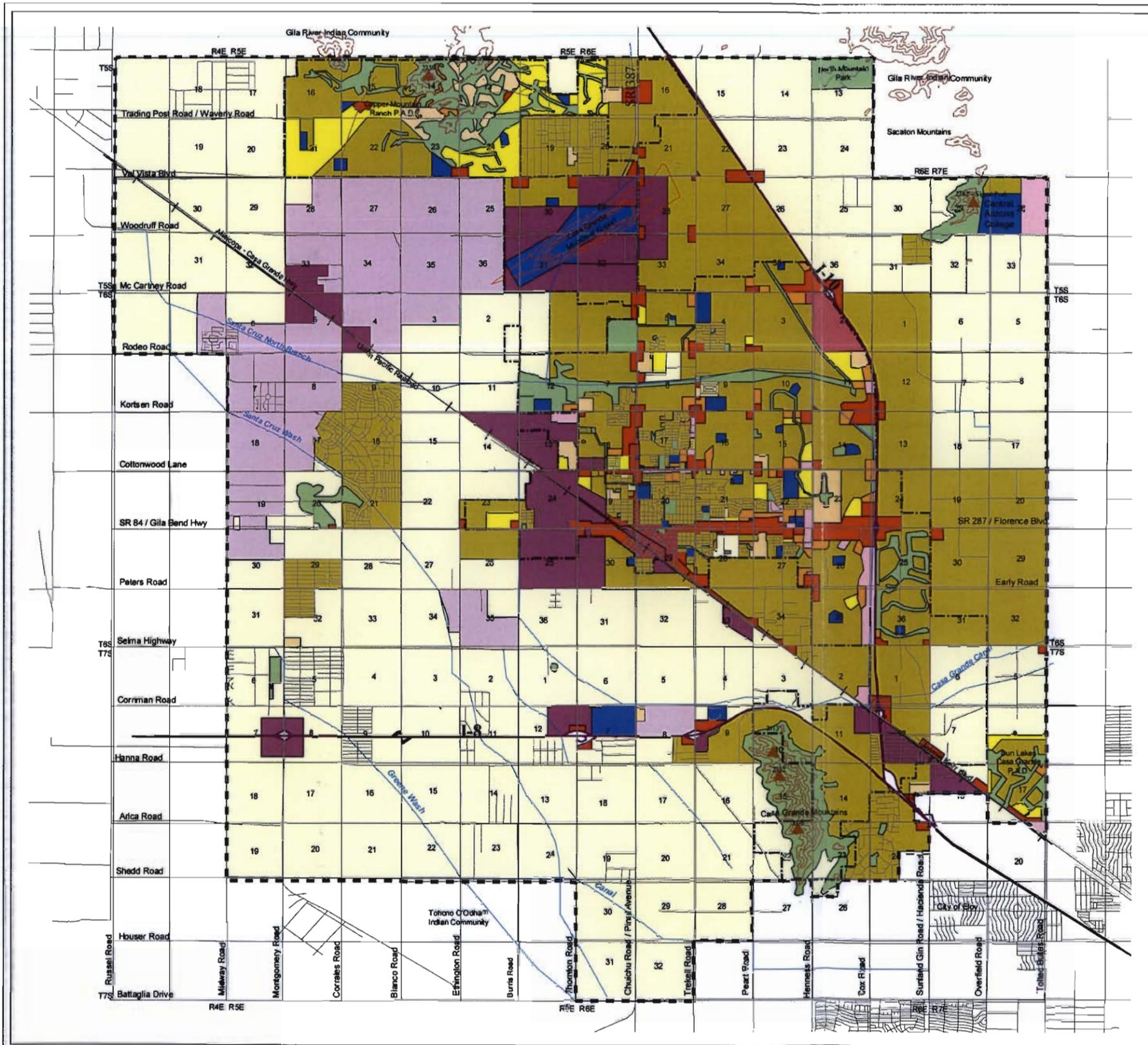
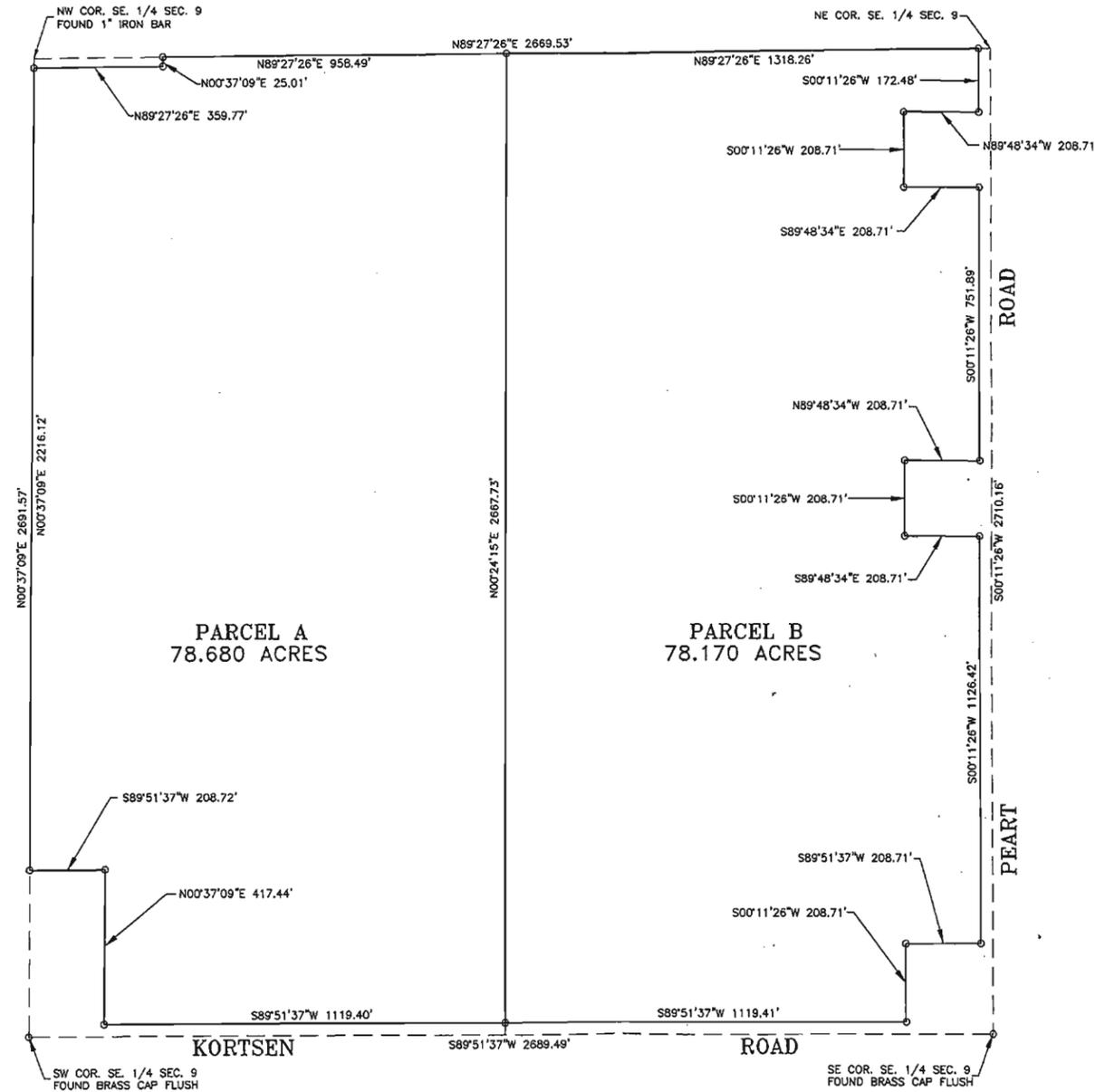
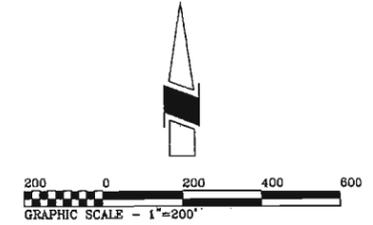
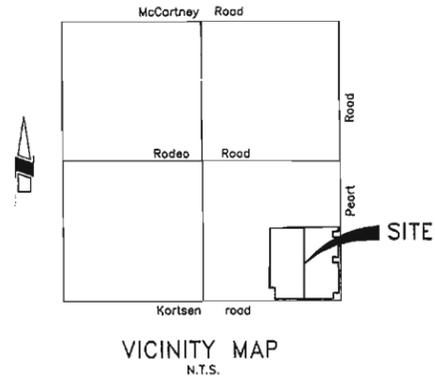


EXHIBIT "A"

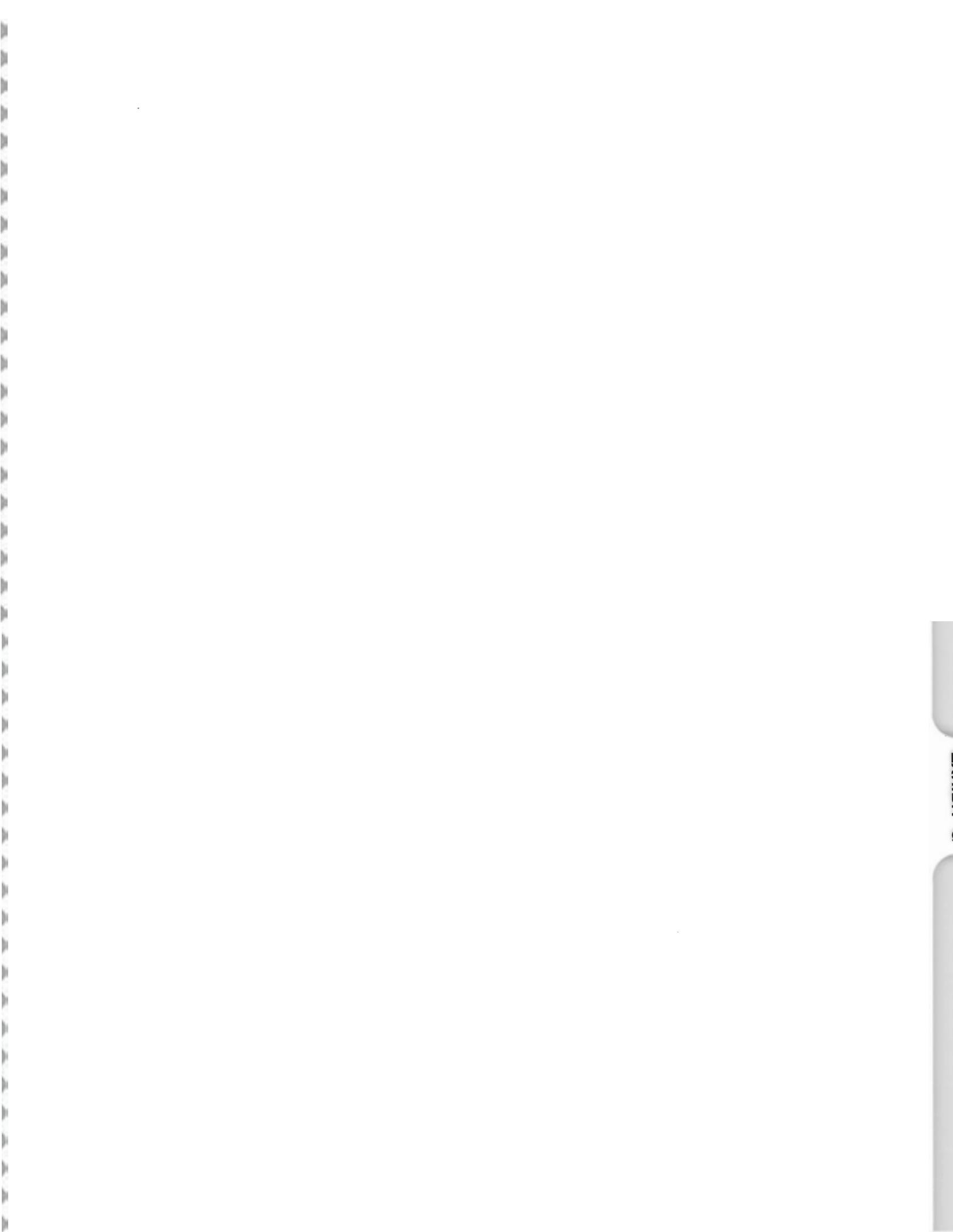
OF THE SOUTHEAST QUARTER OF SECTION 9,
TOWNSHIP 6 SOUTH, RANGE 6 EAST OF THE GILA AND
SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA.

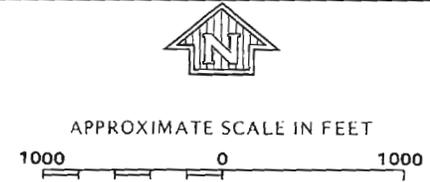
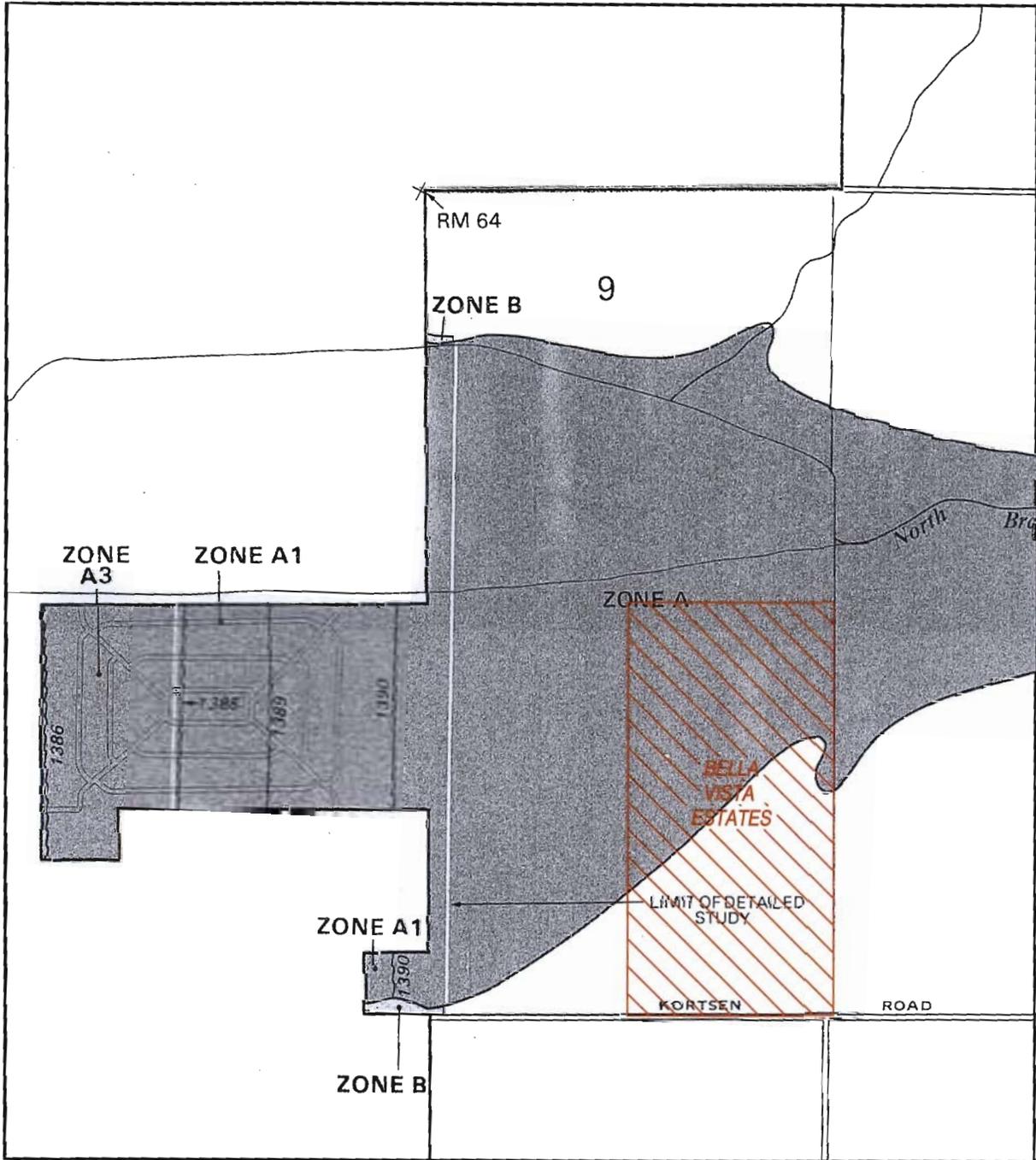


RICK ENGINEERING COMPANY

San Diego Riverside Orange Phoenix Tucson
 6140 North 16th St. Phoenix, AZ 85016-1790 (602) 967-3360 FAX (602) 386-3296 www.rickeng.com

JOB NUMBER 3276	PREPARED BY MEC	DATE PREPARED 9-21-2004
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NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

PINAL COUNTY,
ARIZONA
(UNINCORPORATED AREAS)

PANEL 695 OF 1525
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY-PANEL NUMBER
040077 0695 D
MAP REVISED:
MARCH 5, 1990



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



FIRM MAP
SCALE: N.T.S.





10' LIGHTED CONCRETE PATH TO CONNECT WITH MISSION POR DEL RIO

10' LIGHTED CONCRETE PATH TO CONNECT WITH MISSION POR DEL RIO

5' CONCRETE PATH

VOLLEYBALL COURT

RAMADA

ENTRY MONUMENTS

5' CONCRETE PATH

RAMADA

1/2 BASKETBALL COURT

TOT LOT

ENTRY MONUMENTS

5' CONCRETE PATH

COMMERCIAL (B-2)

PEART ROAD

KORTSEN ROAD

PRELIMINARY PLANT LIST

Common Name	Botanical Name	Size:
TREES:		
Sweet Acacia	<i>Acacia farnesiana</i>	24" Box
Blue Palo Verde	<i>Cercidium floridum</i>	24" Box
Evergreen Elm	<i>Ulmus parvifolia</i>	15 Gal. 24" Box
Eldarica pine	<i>Pinus eldarica</i>	24" Box
Sissoo Tree	<i>Dalbergia sissoo</i>	15 Gal.
SHRUBS:		
Bougainvillea	<i>Bougainvillea</i> sp. 'Barbara Karsl'	5 Gal.
Cimarron	<i>Leucophyllum zygophyllum</i>	5 Gal.
Black Dalea	<i>Dalea frutescens</i> 'Sierra Negra'	5 Gal.
Rio Bravo Sage	<i>Leucophyllum langmaniae</i> 'Rio Bravo'	5 Gal.
Red Bird of Paradise	<i>Caesalpinia pulcherrima</i>	5 Gal.
Fairy Duster	<i>Calliandra californica</i>	5 Gal.
Baja Ruelia	<i>Ruellia peninsularis</i>	5 Gal.
Feathery Senna	<i>Senna artemisioides</i>	5 Gal.
Ernu Bush	<i>Eremophila maculata</i> 'Valentine'	5 Gal.
ACCENT PLANTS:		
Deer Grass	<i>Muhlenbergia rigens</i>	5 Gal.
Royal Mist	<i>Muhlenbergia capitaris</i>	1 Gal.
Red Yucca	<i>Hesperaloe parviflora</i>	1 Gal.
GROUNDCOVERS:		
Trailing Rosemary	<i>Rosmarinus officinalis</i> 'Huntington Carpet'	1 Gal.
Wedelia	<i>Wedelia trilobata</i>	1 Gal.
New Gold Lantana	<i>Lantana</i> sp. 'New Gold'	1 Gal.
Bush Morning Glory	<i>Convolvulus cneorum</i>	1 Gal.
Damianita	<i>Chrysactinia mexicana</i>	1 Gal.
Ruellia	<i>Ruellia brittoniana</i> 'Katie'	1 Gal.
Decomposed Granite	1/2" Minus, Desert Gold	Sq.Ft.
Midiron Hybrid Bermuda	<i>Cynodon dactylon</i> 'Midiron'	Sq.Ft.

Project Number: 01-2004-097

amec AMEC Infrastructure, Inc
 4435 E. Holmes Ave.
 Mesa, Arizona 85206
 Phone: (480) 830-3700
 Fax: (480) 830-3903

BELLA VISTA ESTATES
 City of Casa Grande, Arizona

All information contained in this drawing is Preliminary, and Not for Construction

CONCEPTUAL LANDSCAPE PLAN

Date: April 25th, 2005



CONCRETE SIDEWALK

1/2 COURT BASKETBALL COURT

RAMADA WITH GRILL, PICNIC TABLE AND TRASH RECEPTACLE

5-12 YR OLD TOT LOT
MIRACLE # 718-075
OR SIMILAR
45' HEXAGON SHADE
STRUCTURE BY
SUNPORTS

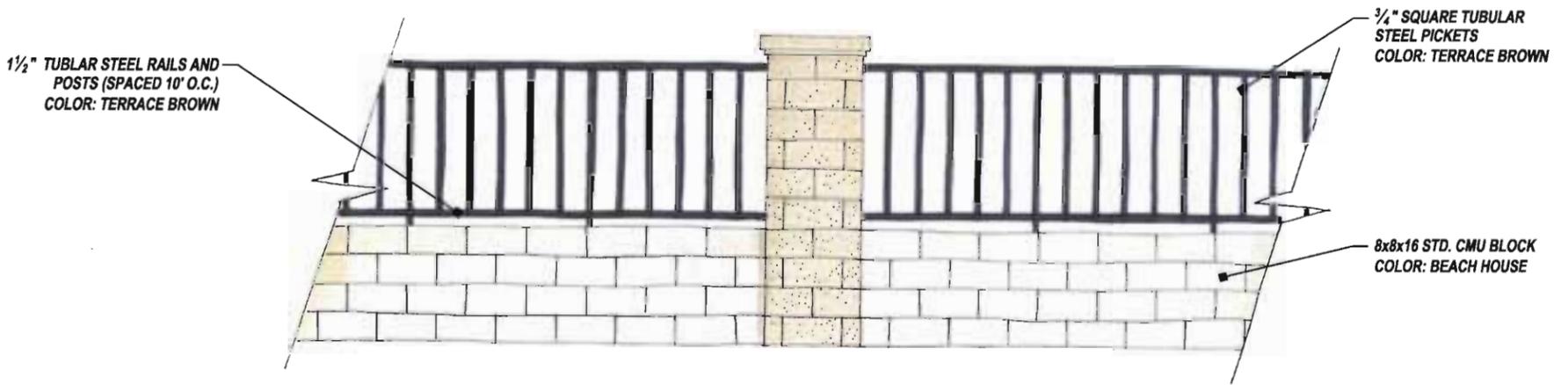
NEIGHBORHOOD PARK

SCALE: N.T.S.

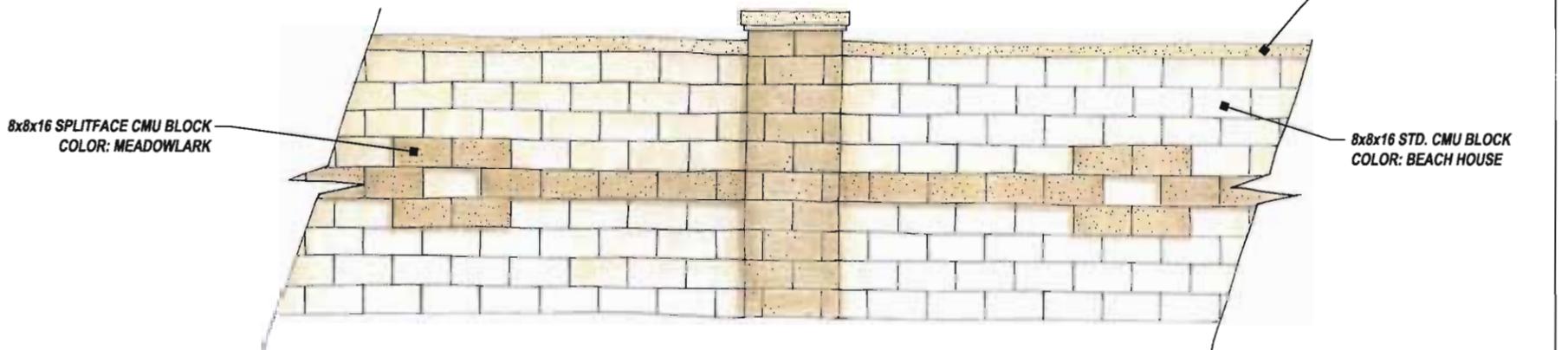


KEY MAP

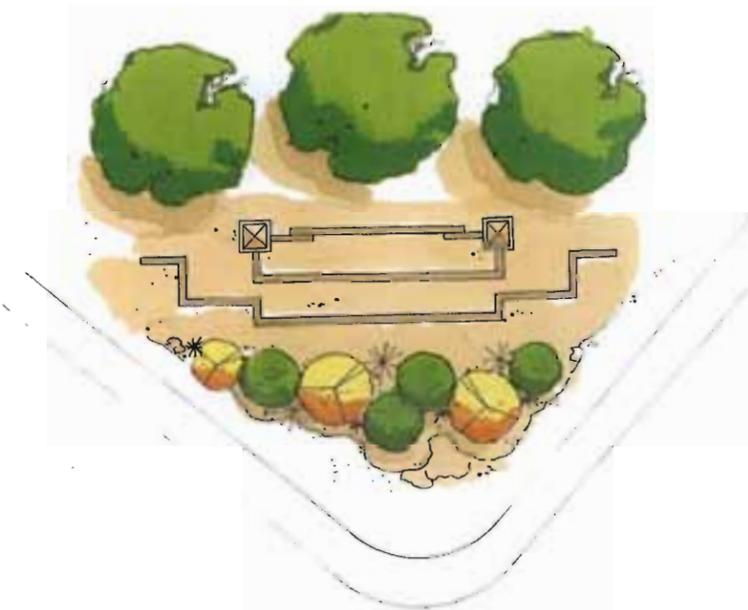
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VIEW FENCE

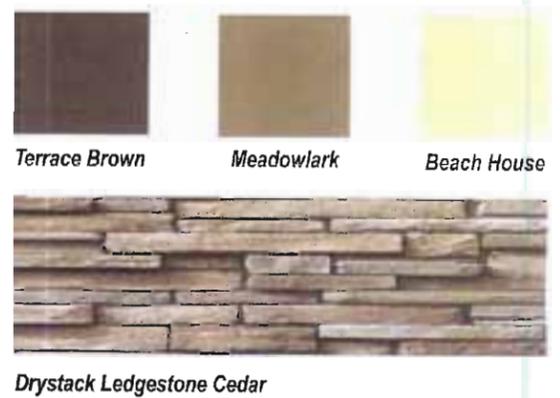


THEME WALL



ENTRY MONUMENT PLAN VIEW

SCALE: N.T.S.



WALL COLORS

SCALE: N.T.S.



ENTRY MONUMENT ELEVATIONS

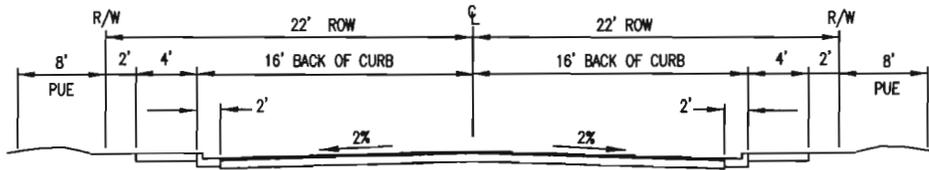
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Project Number: 01-2004-097



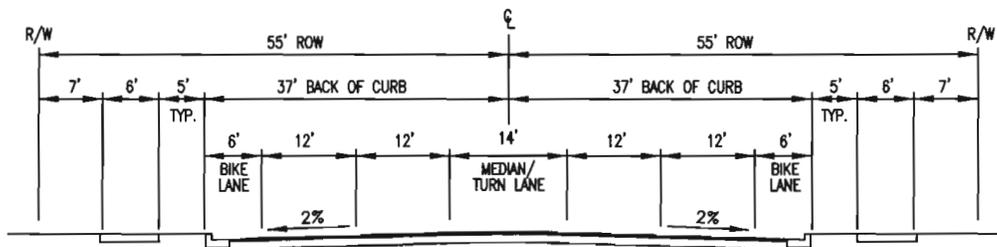
STREET SECTIONS

SCALE: N.T.S.



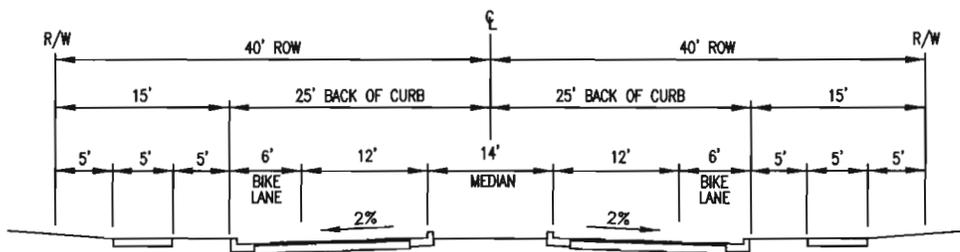
LOCAL STREET

N.T.S.



MINOR ARTERIAL

N.T.S.



ENTRY LOCAL STREET

N.T.S.





LEGEND

- PROPOSED WATER ————
- EXISTING WATER - - - - -
- PROPOSED SEWER ————
- EXISTING SEWER - - - - -

MUIRLANDS

COMMERCIAL

KORTSEN ROAD

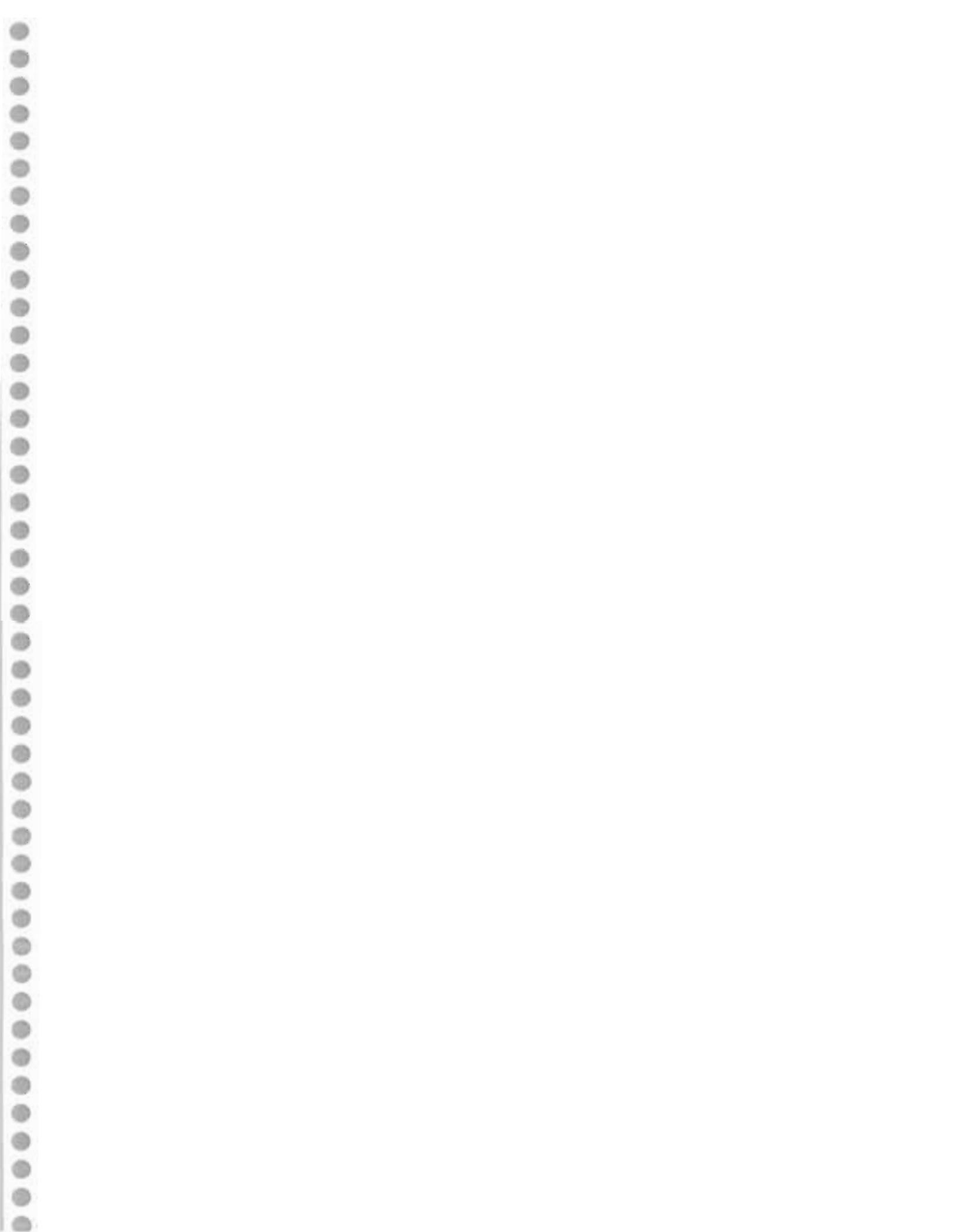
PROPOSED 12" WATER

PROPOSED 18" SEWER

PEART ROAD

CONNECT TO 18" STUB

CONNECT TO 12" STUB





LEGEND

- RETENTION BASIN 
- FLOW ARROW 
- INLET POINT 

KORTSEN ROAD

COMMERCIAL

PEART ROAD



Project Number: 01-2004-097

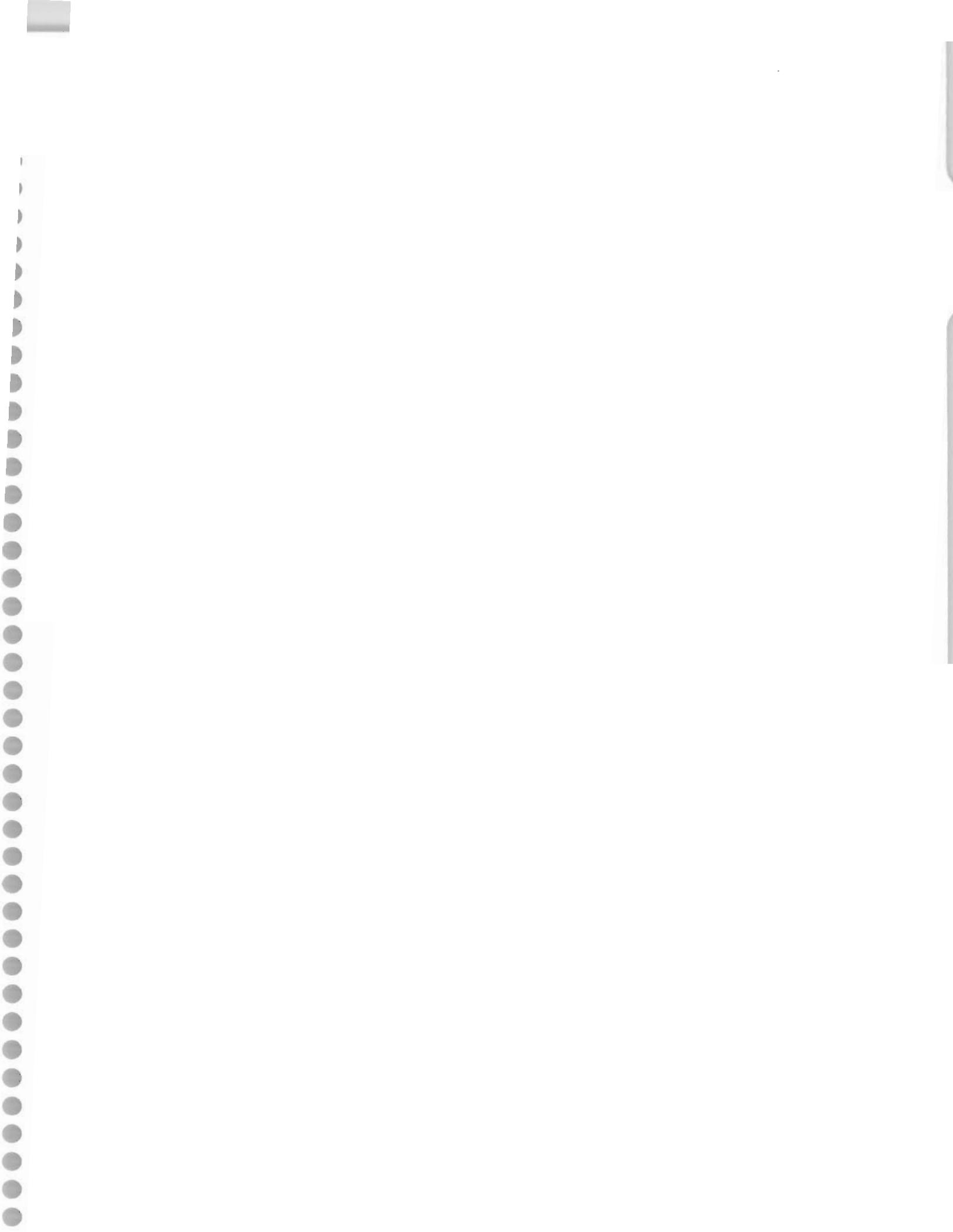
amec AMEC Infrastructure, Inc
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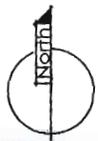
BELLA VISTA ESTATES
 City of Casa Grande, Arizona

All information contained in this drawing is Preliminary, and Not for Construction

**PRELIMINARY
 DRAINAGE PLAN**

Date: April 4th, 2005





PHASING PLAN

SCALE: N.T.S.



KORTSEN ROAD





COMMERCIAL

LEGEND

- 3,000 - 6,999 SF LOTS 74 (28%)
- 7,000 - 7,999 SF LOTS 99 (38%)
- 8,000+ SF LOTS 88 (34%)

SITE DATA

GROSS AREA	76.20 AC
NET AREA	74.69 AC
COMMERCIAL	4.48 AC
PARCEL A	33.46 AC
PARCEL B	42.74 AC
PARCEL A	133 LOTS
PARCEL B	128 LOTS
TOTAL LOTS	261
DWELLING UNITS/ACRE	3.49
OPENSOURCE	12.25 AC (15%)

DEVELOPMENT GUIDELINES

ZONING	MINIMUM LOT AREA	MINIMUM YARD SETBACKS				MAXIMUM BLDG. HEIGHT
		FRONT *	REAR	SIDE (INT)	SIDE (COR)	
PAD	6,000 SF	15'-20'	20'	5' - 10' **	15'	28' - 2 STORY

* A MINIMUM FRONT YARD SETBACK OF 15' IS PERMITTED FROM LIVABLE AREAS OR SIDE ENTRY GARAGES. EVERY 3rd OR 4th FRONT LOADED GARAGE WILL BE STAGGERED A MINIMUM OF 3' (FEET) TO 23' (FEET).
 ** AT LEAST ONE SIDE YARD SHALL BE 10', THE REMAINING SIDE YARD MAY BE LESS THAN 10', BUT AT LEAST 5'

DEVELOPER

WILLIS PROPERTY CO.
 3850 E. BASELINE ROAD, SUITE 118
 MESA, ARIZONA 85206
 CONTACT: DALE WILLIS
 PHONE: (480) 507-6200
 FAX: (480) 507-6333

CONSULTANT

AMEC INFRASTRUCTURE, INC.
 4435 E. HOLMES AVE.
 MESA, ARIZONA 85206-3372
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