



COUNCIL APPROVED  
Date: 10/2/06  
Case #: 209-06

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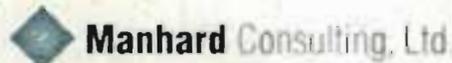
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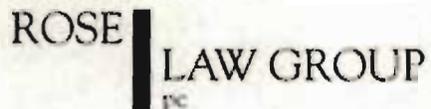
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## Project Overview/Intent

### Purpose of Request

Rose Law Group for Pulte Homes, Inc. (PHI), (the "Applicant") respectfully submits this request for Planned Area Development (PAD) zoning for a ±152-acre community called Arroyo Linda (the "Property"), consisting of a parcel of land located in the City of Casa Grande planning area. The general boundaries of the property are Rodeo Road to the north, the Santa Cruz Wash to the south, Peart Road to the east, and the proposed Colorado Street to the west.

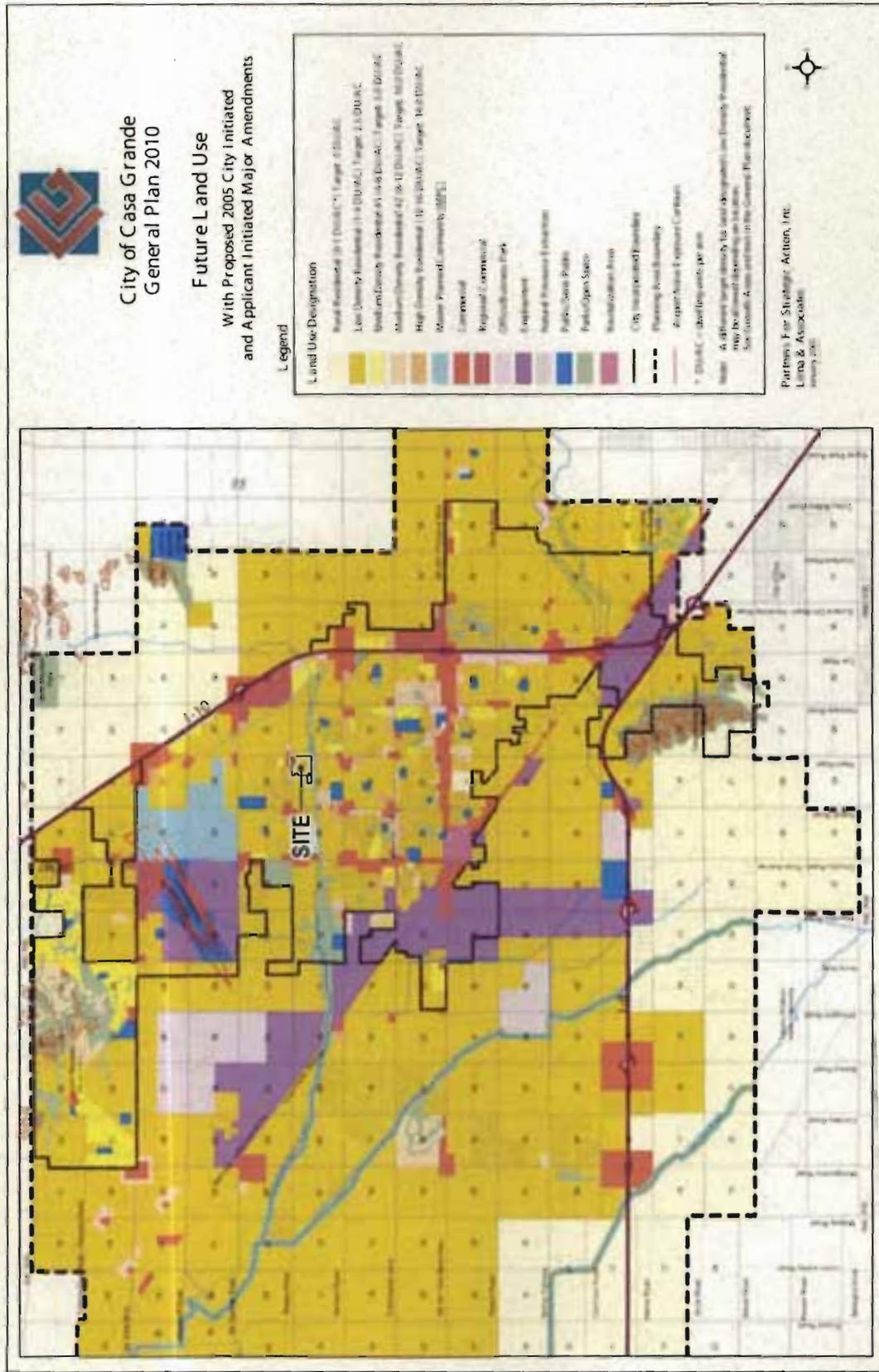
In June 2006, Pulte Homes will also be submitting a Minor General Plan Amendment to be reviewed administratively, for a portion of the property (approximately 4 acres) to change the designation from Low Density Residential to Commercial. The remainder of the property conforms to the City of Casa Grande General Plan 2010. The Land Use Element of the General Plan calls for Low Density Residential (1-4 DU/AC) for all areas planned as single family.

The project utilizes single family detached residential uses. When taken as a whole, the overall density of the project is within the 1-4 DU/AC allowed within the General Plan Low Density range. The PAD request also includes ±4.00 acres of commercial land use. The commercial area is located at the southwest corner of Rodeo and Peart Roads. The Arroyo Linda Development Plan has been designed to be accessed from the existing Rodeo and Peart Roads, from the proposed PAD west of Colorado Street, and from a point on the west boundary of the southwestern-most portion of the Parcel.

Pulte Homes is known across the country for creating high quality, unique master planned communities. Pulte has committed to Casa Grande already with the exciting Grande Valley project and is pleased to continue to support the Casa Grande community by building another master plan here at Arroyo Linda. Pulte is not only planning to build out an attractive family neighborhood, but also to become involved in the City as a development partner in all of the communities we hope to bring to Casa Grande. Pulte believes in the Casa Grande market and is excited to present Arroyo Linda to you for your consideration.



Figure 1 – City of Casa Grande General Plan





## **Statement of Purpose and Necessity for the Planned Area Development**

The purpose of this PAD application is to request a zoning change from the Property's current zoning of UR to PAD zoning for Single Family Residential and Commercial uses. The PAD zoning allows Pulte Homes to vary the development standards and develop a community that provides a variety of product options, architectural features and design characteristics.

This PAD is intended to establish specific policy related to:

1. Land Use
2. Lot Sizes and Density
3. Community Theme Development
4. Transportation Network
5. Grading and Drainage
6. Infrastructure and Utilities

In addition, the PAD is intended to serve as a regulatory document with respect to:

1. Underlying Zoning Districts and Development Standards
2. Infrastructure Design Standards
3. Grading and Drainage Standards

The Arroyo Linda development proposal is sensitive to and complies with the policies set forth in the Community Character Element of the General Plan. In accordance with the Residential Development section, the proposed PAD designs negate overly monotonous themes and architectural elements, and replaces them with creative and pleasant solutions for its single family home subdivision.

The perimeter walls and landscape buffer will not be continuous and canyon-like, but rather view corridors and open space will break up the barrier. The overall effect is a wall perceived more proportional and comfortable to the human scale, and directly related to the desert setting. Likewise, the homes to be constructed will maintain conformity to Residential Development policies by providing diverse facades, avoiding garage dominant architecture, and relating structure massing in such a way that streetscapes and landscaping are varied and interesting, not streamlined and boring.

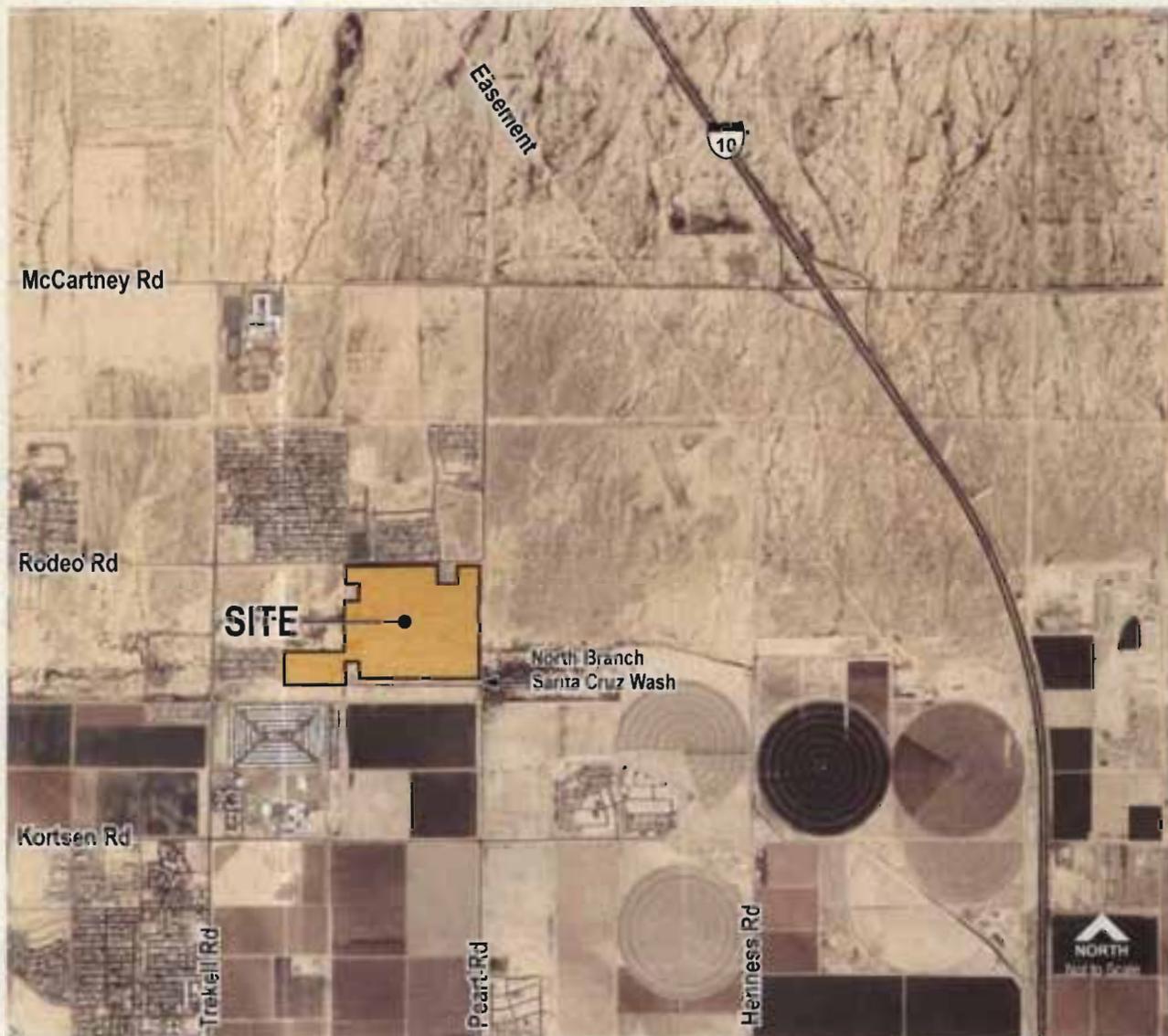


Figure 2 – Regional Area Map





Figure 4 – Aerial Photo with PAD Boundary



## Land Use and Density

### Suitability of Subject Property for Proposed Land Uses

The subject property is suitable for the land uses proposed in terms of access, size and relationship to other uses. The 152-acre property will be developed primarily as a single family subdivision, and is adequate in size to accommodate generous open space and amenities. Approximately 4.0 acres, located in the northeast corner of the property, will be devoted to commercial uses.

Primary access to the single family and commercial areas will be from Rodeo Road (proposed 110' ROW) traversing east-west along the northern boundary of the property, and Peart Road, (proposed 140' ROW) a north-south arterial on the eastern boundary of the property. Secondary access points will be (a) from Colorado Street, which is a proposed collector street between this property and the future Santa Cruz Crossing PAD adjacent to the west, and (b) a connection to an existing road in the southwest corner of the property.

The proposed single family areas of the subdivision are compatible with surrounding primarily Low Density Residential land uses identified in the City's General Plan. The commercial area on the northeast corner of the property will be compatible with commercial uses identified in the General Plan at the northeast and northwest corners of the Rodeo Road and Peart Road intersection. The proposed neighborhood commercial area will serve the purpose of supporting proposed and future housing development in the area.

### Proposed Density

The residential area to be developed in Arroyo Linda will consist of 457 total lots, with a total overall density of  $\pm 3.08$  DU/AC. Lot sizes to be provided are 55' x 115' and 70' x 115'. The lots will range in square footage from 6,325 square feet to over 8,050 square feet. There will be a total of  $\pm 227$  lots that are 55' x 115' in size and  $\pm 230$  lots that will be a minimum of 70' x 115' in size. As per City of Casa Grande Zoning Ordinances and the Residential Design Standards for Planned Area Developments, the maximum building height allowed is thirty feet (30'), as measured from the finished floor elevation. The location of the various lot sizes within Arroyo Linda may change due to Engineer and City requirements at the time of Preliminary Plat approval.

In the spirit of a PAD, creative options for development are arranged and designed in accordance with modern land planning principles and development techniques. Additionally, substantial community benefit is provided with the development of a multi-use pathway and associated landscape development within the Santa Cruz Wash, traversing east-west along the southern boundary of the property. This area, plus the areas within the proposed project amount to approximately 18.8% of the property, which is more area than the 7% that is required to be set aside for open space and/or recreational use. The added open space increases aesthetic and functional appeal desirable in the marketplace.

15/b



Figure 5 – Aerial Photo with Conceptual PAD Overlay



Figure 6 – Conceptual PAD Site Plan



RESIDENTIAL LOT DATA

Lot Dimensions	Minimum Lot Area	Number of Lots
70' x 115'	8,050 SF	230 lots
55' x 115'	6,325 SF	227 lots
Commercial	4 Acres	

DATA  
 Total Acres = 152  
 Total Residential Units = 457  
 Dwelling Units/Acre = 3.08



## PAD Project Layout and Design

### Proposed Development Standards

#### Purpose, Intent and Justification

Submitted as part of this PAD Application, is a Development Standards table that outlines proposed residential lot sizes and setbacks for Arroyo Linda. In the spirit of the PAD, creative options for development are arranged and designed in accordance with modern land planning principles and development techniques. The PAD will allow Pulte Homes flexibility in design and development standards in consideration of the aesthetic and functional needs of the marketplace.

The PAD Development Standards are supported by the inclusion of proposed open space and amenities, which allow Pulte Homes to design a community that will be congruous and complimentary to the surrounding environment and the residential community.

Flexibility from City Code Standards is proposed to provide greater diversity to the project. In addition to the rationale stated below, all of the PAD design flexibility requests are warranted by the substantial benefit provided to the community, both immediate and ongoing, with examples such as provision of substantial open space; ample amenities; and master plan excellence through design, both congruous and complimentary, to adjacent developments, as illustrated and described in this guide.

The Development Standards table and proposed modifications to Residential Design Standards that follow with this application, if approved, are to be the only standards applicable to the development of this project.

#### Proposed Residential Lot Sizes and Setbacks

Table 1, below, illustrates the typical lot size and Development Standards for the different housing products to be offered for sale within Arroyo Linda. Arroyo Linda will offer at least two different housing products and will maintain a cohesive architectural theme and character.

The first housing product will be placed on 55-foot wide lots, and is called the Sage Series. The 6 two-story models offered for sale in this series are shown in Exhibit 1, and the single-story model is shown in Exhibit 3. The second series will be built on the 70-foot wide lots, and is called the Cypress Series. The 5 two-story models offered for sale in this series are shown in Exhibit 2, and the 2 single-story models are shown in Exhibit 3.

Please note that Pulte Homes has specifically designed Arroyo Linda to provide for a slightly greater number of 70-foot wide (8,050 SF) home lots than those that are 55-feet wide (6,325 SF) in the single family development area. This complies with/exceeds the City's requirement for having at least an equal number of lots that are a minimum of 8,000 square feet to match the quantity of lots that are less than 7,000 square feet. This also places a greater community emphasis on the spacious feeling provided by larger parcels – a benefit that will be enjoyed by the surrounding area. Finally, it should also be noted that this development is unique in that it contains no corner or end lots, as end or corner lots are buffered by at least a ten foot landscape area in addition to the street right-of-way.



Table 1

Residential Development Standards by Land Use and Product

Total Site Acres: 152 AC		PAD: 152 AC		
Low Density SF	Minimum Lot Area	Minimum Lot Width (Feet)	Minimum Setbacks (Feet)	Maximum Building Height (Feet)
Lot Sizes 55' x 115'	6,325 SF	55	Front – 20' (15') Rear – 15' (20' for all perimeter lots) Side – 5'/10' agg.	30
Lot Sizes 70' x 115'	8,050 SF	70	Front – 20' (15') Rear – 15' (20' for all perimeter lots) Side – 5'/10' agg.	30

Notes

Notes per City of Casa Grande Zoning Ordinance (Zoning Ordinance) and the Residential Design Standards for Planned Area Developments ("RDS/PAD"):

- In the R-1 zone, a minimum front yard setback to face of garage is twenty feet (20'). A minimum front yard setback of fifteen feet (15') is permitted from livable areas or side entry garages, and livable areas of dwelling units with detached garages.
- At least one side yard shall be ten feet (10'), the remaining side yard may be less than ten feet (10'), providing the principal building separation is at least ten feet (10'). No side yard shall be less than five feet (5'), at least one side yard shall be ten feet (10').
- In compliance with the Zoning Ordinance, wing wall projections into the side yard setback will be allowed.
- PAD Commercial - All development will meet the requirements established in Article I. Neighborhood Business (B-1) Zone of the Zoning Ordinance.
- Setback exceptions:
  1. Fireplaces, chimneys, and other architectural projections may extend two feet (2') into all eight foot (8') setbacks only.
  2. Side entry garages or living areas shall be staggered fifteen feet (15') to front property line.
  3. Patio covers may encroach into side and rear setbacks to within five feet (5') of the property line.

Additional supporting residential development guidelines will be found on the preliminary plat. All other design elements meet or exceed minimum underlying zoning district standards, and the Residential Design Standards for Planned Area Developments will be addressed for direction and guidance in the design process.



## Residential Design Standards

Arroyo Linda will be developed to incorporate the City's Residential Design Standards for PAD zoned developments ("RDS/PAD"), adopted January/February of 2003. Pulte Homes does, however, wish to modify certain elements of the RDS/PAD in order to maximize opportunities to provide diversity in the streetscape throughout the community, while maintaining the overall spirit and purpose of the guidelines. The modifications will allow Pulte Homes to develop a premier community and still maintain affordability for the prospective buyer. Table 2, below, compares proposed modifications to existing RDS/PAD guidelines.

Table 2

### Comparison of Proposed and Existing Residential Design Standards

Note: Where a section of the RDG/PAD contains more than one requirement, the requirement(s) to which a change is proposed are addressed below. All remaining requirements in such sections will remain unchanged.

Residential Design Standards for Planned Area Developments <i>PROPOSED</i>	Residential Design Standards for Planned Area Developments <i>EXISTING</i>
<b>Section IB. Additional Requirements for PAD Layout and Design</b>	<b>Section IB. Additional Requirements for PAD Layout and Design</b>
<p>2. Sidewalks shall be 4-feet wide and located on both sides of local streets. In order to minimize costs to the HOA, there is no requirement for a landscape buffer between the back-of-curb and the sidewalk.</p> <p><i>This deviation is a benefit to the City in that we are providing sidewalks on both sides of the street and less unnecessary cost to the Homeowners for maintenance of what becomes an unusable open space area.</i></p>	<p>2. Provide a landscaped buffer at least five feet wide between sidewalks and back of curb along local roadways. It must be demonstrated that this buffer area will be maintained by an HOA, or by another approved method.</p>
<b>Section IIA. Mandatory PAD Residential Architecture Standards</b>	<b>Section IIA. Mandatory PAD Residential Architecture Standards</b>
<b>3. Garages</b>	<b>3. Garages</b>
<p>4<sup>th</sup> Requirement – On 70-foot wide lots, front-loaded garage doors shall not exceed fifty-five percent of the house width (frontage).</p> <p><i>Casa Grande's Zoning Ordinance allows for this deviation on lots of 70 feet or greater, under straight zoning this request would not be considered a deviation at all.</i></p>	<p>4<sup>th</sup> Requirement – Front-loaded garage doors shall not exceed fifty percent of the house width (frontage). Where more than a standard two car front-entry garage can be accommodated, the additional garage bay(s) shall be architecturally designed to appear separate and distinct from the remainder of the garage.</p>
<b>4. Patio covers</b>	<b>4. Patio covers</b>
<p>3<sup>rd</sup> Requirement – Patio cover columns and roofs shall be constructed of materials compatible with those used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Zoning Commission.</p> <p><i>This is really more of a clarification to allow for "compatible materials" rather than "same" materials, as the exact same material may not, in many instances even be desirable.</i></p>	<p>3<sup>rd</sup> Requirement – Patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Zoning Commission.</p>

In support of the RDS/PAD, additional objectives for the development of open space and landscape, and the architectural design of the proposed home series are provided. In addition, rooflines shall be considered "varied" so long as two of the same product and series are not located adjacent to each other, or across from each other. The standard of no two of the same front elevations being located adjacent to each other shall be satisfied so long as no two of the same plan number and elevation are located next to each other.



## Open Space and Landscape Development

The successful development of areas not devoted to streets and homes is required to create the living environment envisioned for Arroyo Linda. To accomplish this, the following objectives will be considered in the final design of the project:

- Attract the natural reintroduction of important ecosystems and habitat, and curtail stormwater runoff on surrounding property and natural and man-made drainageways.
- Provide a variety of recreation alternatives that are safe and attractive for use and enjoyment by all residents.
- Create a community that is attractive to potential buyers and homeowners and, at the same time, has a positive visual impact on surrounding properties.
- Provide landscaping that is appropriate for the desert environment by maximizing the use of native and low water use species, and water conserving irrigation methods.
- Utilize the Santa Cruz Wash identified in the Casa Grande General Plan to be used as a trail system amenity, with an unpaved multi-use path to enhance the recreation and open space opportunities of the site.

The overall design of open space is intended to create a sense of community and identity. This is achieved by providing open space/recreation areas, linked by pathways, within easy walking distance of all homes. The design of open space will also create a sense of 'arrival' within Arroyo Linda. In addition, open space has been coordinated with storm water retention, so that drainage requirements are met while contributing to community use, identity and buffering.

Further discussion and illustrations are provided in the "Community Theme" section below.

## Architecture

The objective for the architectural design of Arroyo Linda is to create a place that differentiates itself from surrounding communities as a special community in harmony with itself. The architectural style will match the Arizona climate. Attention to the proper execution of details, materials and colors is critical to the project's success.

Pulte Homes will strive to offer diversity and uniqueness in the plans, elevations, and color schemes. Pulte Homes is dedicated to making Arroyo Linda a unique community. The Sage Series will offer 7 floor plans and the Cypress Series will offer 7 floor plans, each with 3 distinct available elevations within each definitive housing price range or product type. Each variation will also have a minimum of five diverse color schemes.

## Residential Covenants, Conditions and Restrictions

Pulte Homes will create and record a set of Covenants, Conditions and Restrictions ("CC&Rs") establishing a Homeowner's Association ("HOA") for the project, to ensure that the community theme and design standards are maintained and enforced. The HOA will be responsible for maintaining the landscaping and designated recreation areas.



Exhibit 1 – Pulte Homes Product Sage Series



Model 1  
Elevation A



Elevation B



Elevation C



Model 2  
Elevation A



Elevation B



Elevation C



Model 3  
Elevation A



Elevation B



Elevation C



Exhibit 1 - Pulte Homes Product Sage Series (cont.)



Model 4  
Elevation A



Elevation B



Elevation C



Model 5  
Elevation A



Elevation B



Elevation C



Model 6  
Elevation A



Elevation B



Elevation C



Exhibit 2 – Pulte Homes Product Cypress Series



Model 1  
Elevation A



Elevation B



Elevation C



Model 2  
Elevation A



Elevation B



Elevation C



Model 3  
Elevation A



Elevation B



Elevation C



Exhibit 2 – Pulte Homes Product Cypress Series (cont.)



Model 4  
Elevation A



Elevation B



Elevation C



Model 5  
Elevation A



Elevation B



Elevation C



Exhibit 3 – Pulte Homes Product Sage and Cypress Series

Single-Story Models

Sage Series



Model 7  
Elevation A

Elevation B

Elevation C

Cypress Series



Model 6  
Elevation A

Elevation B

Elevation C



Model 7  
Elevation A  
(Third car garage has side entry)

Elevation B

Elevation C



## **Community Theme**

### **Description**

Arroyo Linda is a community composed of a variety of single family detached units, and a commercial parcel. The community has been designed into neighborhood parcels that are connected via open space elements and an internal road system that allows even traffic volume flows for the entire project.

Arroyo Linda will offer a sense of place and community by providing an overall design and landscape concept that reinforces the theme. The project's theme will be crafted with careful attention to design and lifestyle of its future residents. Characteristics of contributing elements associated with the development of the community theme follow.

### **Landscape**

The landscape design for Arroyo Linda will be developed with the notion of creating a "desert oasis." The design will be accomplished by selecting plant materials that have the appearance of tropical vegetation, but will in fact be low-water use and require low maintenance. The plant palette will follow species recommended by City of Casa Grande.

The landscape theme will be carried out throughout the community, but will be emphasized at the entrances, model home areas, recreation facilities, and important pedestrian nodes and intersections. The landscape for streetscapes, front yards, buffer areas and general open space tracts will be developed as required, and as amended/described herein.

### **Community Entrances and Walls**

Arroyo Linda will provide unique entrances to contribute to the identity of the community. A wall will be developed around the perimeter of the entire development. The community will be clearly identifiable by the design of the entrances and walls that will be constructed utilizing required unit-type concrete materials and stone unit or veneer accents. The entrances will also be accented with increased vegetation, larger plant sizes and additional enhancements, as required. A conceptual design for the entry monuments, view wall and perimeter wall has been developed as illustrated on the next page on Exhibit 4.

### **Recreation Amenities and Trails**

Given the size of the community, no major recreation facilities such as swimming pools, or sports fields will be included. Instead, the proposed community park will include more passive and small-scale recreational amenities such as a ramada, barbecues and benches, and will include full-court basketball and a shaded tot lot as the primary recreation focus. See Exhibit 5.

Access to the park will be via internal trails through open space tracts, and sidewalks developed throughout the community. These connections will allow residents to walk or bike without leaving the intimate and safe venue of the residential neighborhood. It is also anticipated that the multi-use trail to be developed adjacent to the Santa Cruz Wash (per Casa Grande General Plan) along the southern boundary of the property, will give residents access to additional recreation opportunities and amenities outside of the community.



**Exhibit 4 – Entrance and Wall Concepts**

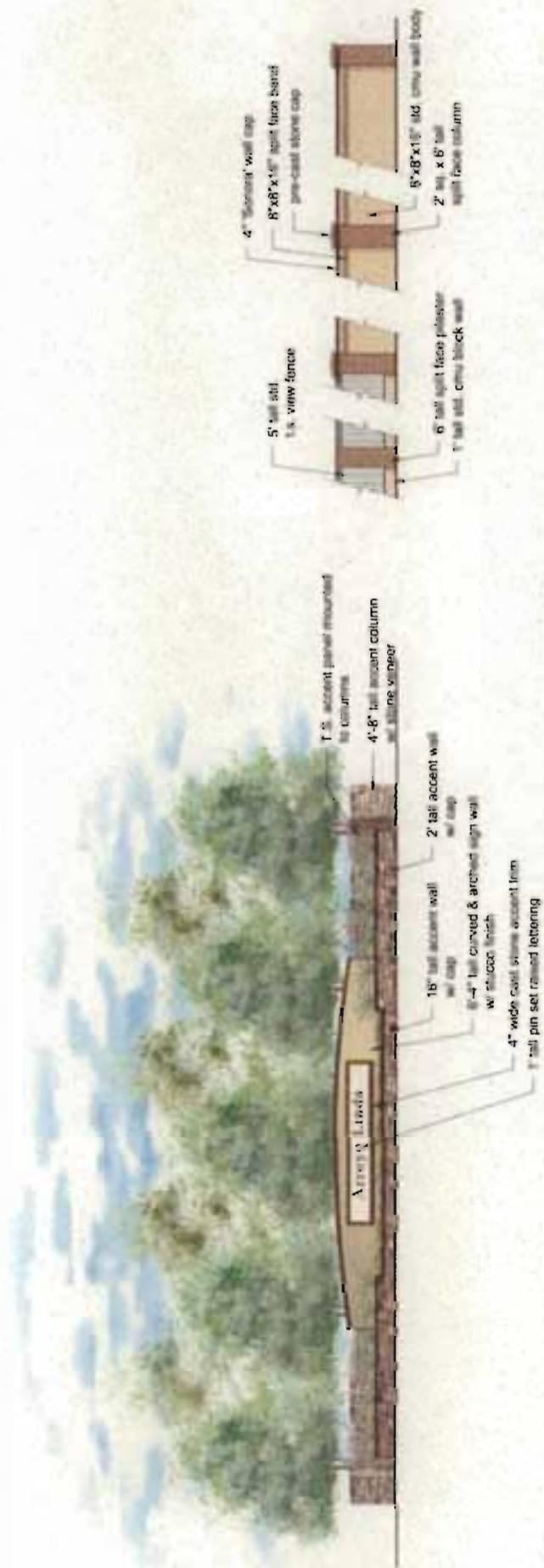


Exhibit 5 – Community Park



6' CONCRETE SIDEWALK (TYP.)

TOT LOT W/ TENSILE STRUCTURE

12'x12' RAMADA

6'x6' CONCRETE HEADER (TYP.)

BBO & TRASH  
RECEPTACLE  
BASKETBALL  
COURT



## Topography and Drainage

### Description

The site is located within the "Sonoran Desert Basin and Range Province." This area is characterized by steep slopes alternating with flat terrain and dry deserts. This basic topographic pattern extends from eastern California to central Utah, and from southern Idaho into the state of Sonora, Mexico. This site is relatively flat.

Flows across Arroyo Linda can be characterized as shallow sheet flow, with shallow concentrated flows, generally from the northeast corner to the southwest corner of the site. There are several natural washes on the site. Pulte Homes will strive to maintain these areas in their natural state to the greatest extent possible.

### Grading and Drainage

According to the Federal Emergency Management Agency Insurance Rate Maps effective as of the date of this application, Community Panel Number 040080 0010 C and 040077 0695 D, the property is classified as Flood Zones A, AE, and B which are defined as: A – "No base flood elevations determined", AE – "Base flood elevations determined", and B – "Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood". See Figure 7.

According to the proposed Federal Emergency Management Agency Insurance Rate Maps, Community Panel Number 04021C1190E, the Property is classified as Flood Zones AE and X which are defined as: AE – "Base flood elevations determined", and X – "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood." And X – "Areas determined to be outside the 0.2% annual chance flood." See Figure 8.

### Onsite Drainage

The grading and drainage planned for Arroyo Linda consists of providing retention basins, as required. The property will be graded to drain toward the retention basins. The streets will be designed per the City of Casa Grande criteria to convey all onsite storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. The retention basins will be designed as multi-use facilities, combining retention facilities with playground equipment and recreational opportunities.

### Offsite Drainage

Offsite storm drainage will be accommodated through adequately designed water conveyance systems. Final drainage and retention reports and plans meeting the approval of the City Engineer, are required with Improvement Plans and Final Plat for this project.

To minimize the disruption of use during and after storms, all playground equipment will be elevated out of the 25-year storm event. Drywells will be utilized, unless it has been proven they are not needed or as recommended by the City Engineer.



Figure 7 – Flood Insurance Rate Map – Firm (Effective)

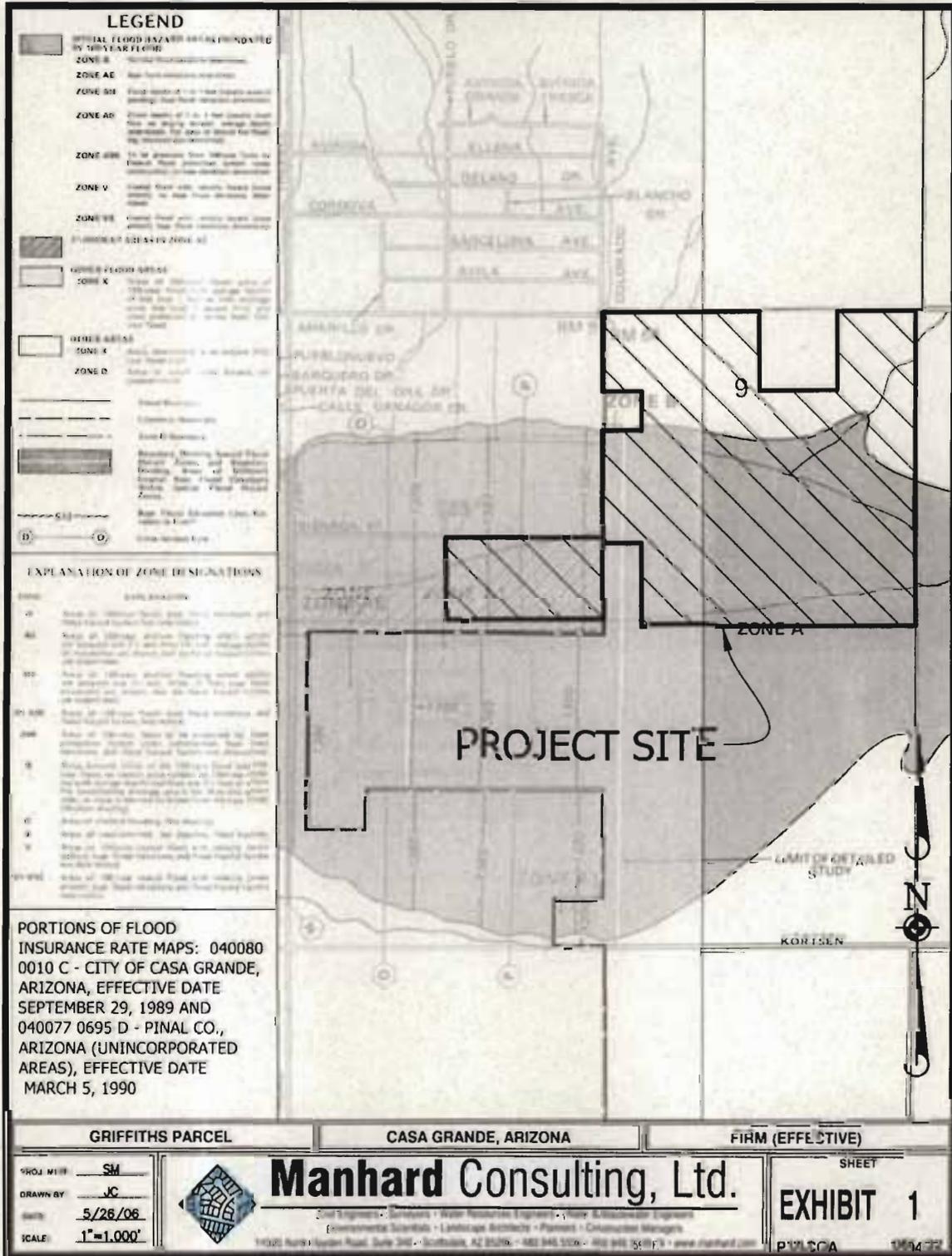
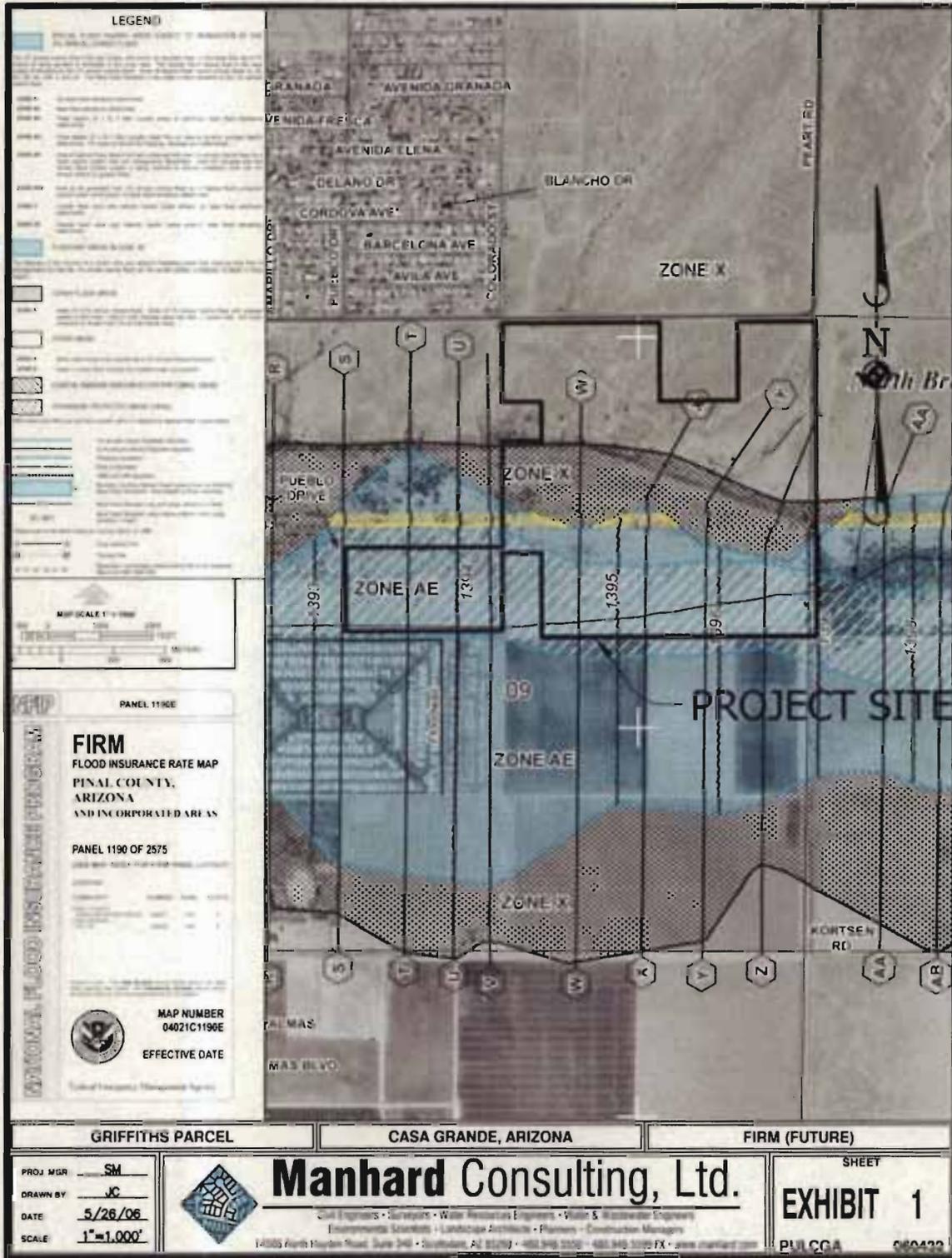


Figure 8 – Flood Insurance Rate Map - Future



## Transportation Network

### Context

The City's multimodal transportation system is the infrastructure and support system that provides for the movement of persons and goods within and through the City of Casa Grande. The City's current multimodal transportation system is comprised of arterial, collector, and local roadways. The existing local roadway system is primarily a grid system defined by mile-section arterial roadways. The principal arterial roadways serving Arroyo Linda are Rodeo and Peart Roads.

The Property is not within the zone of influence from any major airport. The Casa Grande Municipal Airport is located 3 miles to the northwest.

### Proposed Roads

Interstate 10, an east-west interstate freeway, is a four lane major transportation link that provides high-speed transportation service from the City to Phoenix and Tucson. There is currently an interchange in the vicinity of Arroyo Linda to the north at McCartney Road. The City of Casa Grande General Plan "Roadway Circulation Plan" illustrates an additional interchange to the south at Kortsen Road.

Rodeo Road is classified as minor arterial roadway and will have a total right-of-way width of 110 feet. The south half of Rodeo Road right-of-way adjacent to Arroyo Linda will be developed by Pulte Homes. Peart Road is identified as a principal arterial having a 140-foot right-of-way. The west half of the Peart Road right-of-way adjacent to Arroyo Linda will be developed by Pulte Homes. See Exhibit 6. Peart Road is classified as a principal arterial and will have a 140-foot right-of-way which will also be split so one-half of that width will be taken from the east edge of the property. See Exhibit 7. Entrance streets from Rodeo and Peart Roads will be developed as local streets. See Exhibit 8.

A secondary entrance to the site will be from Colorado Street, which is a shared entrance with the proposed Santa Cruz Crossing PAD west of Arroyo Linda. Arroyo Linda will be responsible for developing one-half of the 80-foot wide R.O.W. An additional entrance to the southwest corner of the property will provide connectivity to the existing residential subdivision adjacent to the west by way of a new local street that stubs-out at the west property line.

All of the internal rights-of-ways within Arroyo Linda will be 50-foot wide with 8-foot wide public utility easements on either side. Finished roadway width will be 32 feet from back-of-curb to back-of-curb.



Proposed Street Sections

Exhibit 6 – Rodeo Road One-Half R.O.W. Section

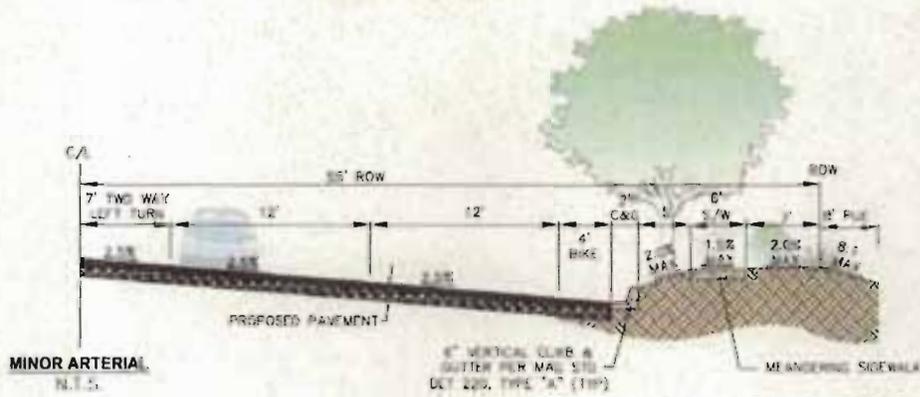


Exhibit 7 – Peart Road One-Half R.O.W. Section

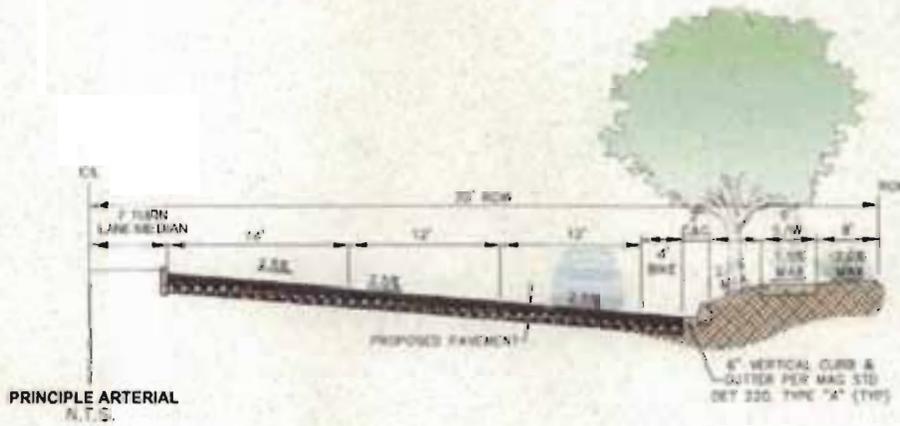
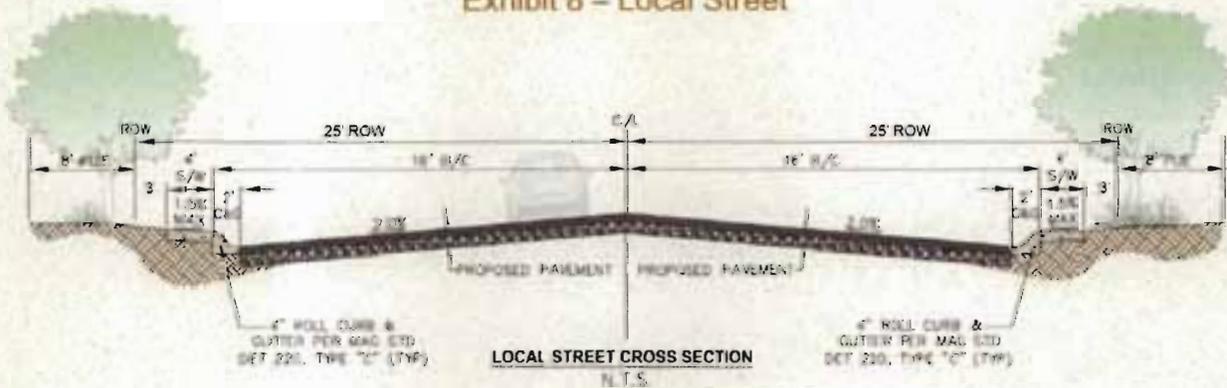


Exhibit 8 – Local Street



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## Utilities and Services

### Domestic Water

The domestic water supply for Arroyo Linda will be provided by Arizona Water Company (AWC). Pulte Homes is currently working with AWC to extended infrastructure to serve this project.

An existing water line runs along Rodeo Road. It will be extended to Peart Road. A well site will be set aside, but a new well will not be constructed until a later date, as determined by AWC. Vehicle and pedestrian access to the well site will be by an easement conveyed from Pulte Homes to AWC at a later date. Residential units will be designed with 1000 gpm fire flow per National Fire Code standards.

### Wastewater

Wastewater treatment will be provided by the City of Casa Grande. Arroyo Linda's sanitary sewage facilities will provide service to approximately 148 acres of single family homes and approximately 4 acres of commercial structures. Design wastewater flows will be based on an average household size of 3.3 persons per household and an average unit flow of 100 gallons per day per person. Arroyo Linda's wastewater facilities will be designed and constructed in accordance with Arizona Administrative Code Title 18, Chapter 5, and with approval of the City of Casa Grande.

### Electric

Arroyo Linda is located within the Electric District #2/Hohokam and potentially APS service area. The chosen utility provider will determine the future infrastructure network and corridor alignments throughout the area. New electrical facilities will be underground and existing overhead facilities will be relocated underground, where feasible.

### Telephone

Deregulation requirements will enable any telecommunications provider to service the site. Service providers would need to expand their facilities to accommodate the project. All telephone providers have the legal right to service the site. However, the developer will likely work closely with one company to ensure that their infrastructure is constructed at the onset of the project.

### Cable Television

Cox Communications is the current service provider with facilities closest to Arroyo Linda. Providers will need to expand their facilities to accommodate the project. The developer will work with one company to ensure that the infrastructure is constructed at the onset of the project.



## Natural Gas

Pulte Homes plans to provide the intended Land Use Plan to Southwest Gas. Southwest Gas will need to expand its existing facilities in order to service the Arroyo Linda Community.

## Refuse Collection

The City of Casa Grande will be responsible for refuse collection services for residential lots.

## Utilities

Utility extensions/connections will be constructed as development dictates. These will be designed and constructed by Pulte Homes and owned and operated by the City.

AWC will provide water service to the subject property. An assured water supply certification will need to be applied for, once platting has been finalized. AWC operates and maintains all water supplies, wells and pumping facilities that will serve the supply lines to the site.

The City of Casa Grande will provide sanitary sewer service for this development and is responsible for operating all sanitary sewer facilities, including treatment plants, lift stations and mains, which will receive the wastewater from this development.

## Dry Utilities

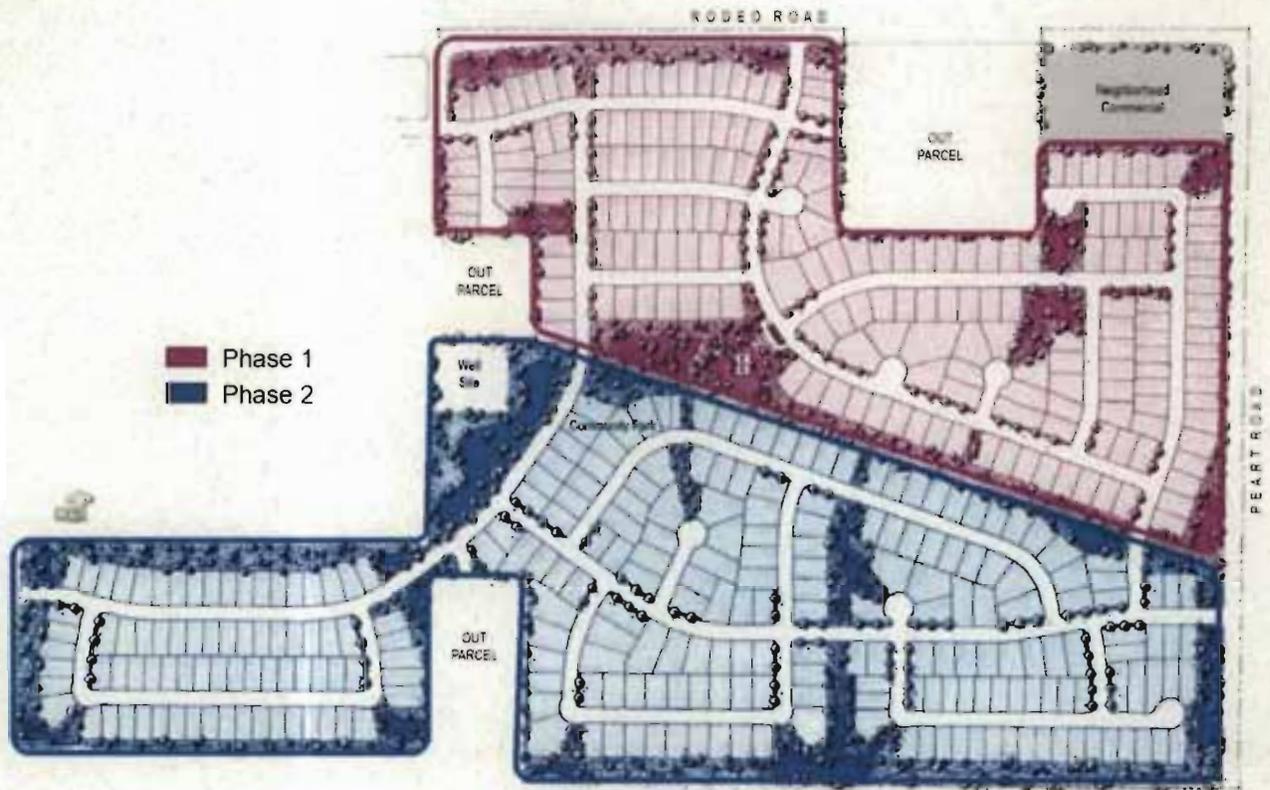
Local utility companies shall provide dry utility services, such as electrical power, natural gas, cable television, telephone, etc. Upon construction completion and acceptance, operation and maintenance of all utilities and facilities shall rest with the operating agency. As stated, all utility extensions will be installed as services are required and per City of Casa Grande standards.

## Construction Phasing

The phasing of the subdivision may need to be revised, based on future market conditions, construction logistics and economic factors. Figure 9 illustrates the Applicant's preliminary phasing plan. Phase 1 will consist of both sizes of the single family lots, and Phase 2 will include all remaining lots south of the wash.



Figure 9 – Construction Phasing





## Conclusion

The Rose Law Group and Pulte Homes are excited to be working with the City of Casa Grande. As described in this narrative, Arroyo Linda will enhance the surrounding community and reflect the quality, diversity and compatibility of the area.

As demonstrated, Pulte Homes strongly desires to bring forth an appealing neighborhood to complement and enrich the City of Casa Grande. We envision a development that both enhances and respects the surrounding district. Arroyo Linda's Parcel reflects quality, diversity and compatibility with the area and will provide both future and existing City of Casa Grande residents with a high quality living environment of which residents and the City will be proud. Arroyo Linda's Parcel PAD allows the development of a diversified residential community in a park-like setting centered on common use open space. A variety of residential lots have been created to enhance the uniqueness of this master-planned community. Arroyo Linda's Parcel is a diverse, well designed and attractive planned area development that builds upon the City of Casa Grande General Plan, as well as the area's history and character to create a development that exceeds the goals and vision encouraged by the Plan.

Pulte Homes is thrilled to provide a location which will include a neighborhood commercial area along with a uniquely designed residential master plan. Pulte Homes prides itself on quality in master plan amenities, construction, streetscape, product type and offering a family oriented lifestyle. It is with great pleasure that we ask you to review this application and consider another Pulte Homes community in your City.





## Attachment 1 – Legal Description

That portion of Section 9, Township 6 South, Range 6 East of the Gila and Salt River Meridian, Pinal County, Arizona, described as follows:

BEGINNING at the North quarter corner of said Section 9, from which the Northeast corner of said Section 9 bears North 88 degrees 55 minutes 18 seconds East, a distance of 2649.01 feet;

Thence North 88 degrees 55 minutes 18 seconds East, along the North line of said Section 9, a distance of 1324.51 feet;

Thence South 00 degrees 24 minutes 27 seconds West, departing the North line of said Section 9, a distance of 674.55 feet; Thence North 89 degrees 03 minutes 17 seconds East, a distance of 663.54 feet; Thence North 00 degrees 17 minutes 42 seconds East, a distance of 366.22 feet;

Thence North 88 degrees 55 minutes 18 seconds East parallel to and 309.75 feet South of the North line of said Section 9, a distance of 629.85 feet to a point on the West line of the East 33 feet of Section 9;

Thence South 00 degrees 11 minutes 00 seconds West along the West line of the East 33 feet of said Section 9, a distance of 367.67 feet;

Thence North 89 degrees 03 minutes 17 seconds East, a distance of 33.01 feet to a point on the East line of said Section 9;

Thence South 00 degrees 11 minutes 00 seconds West, a distance of 1807.69 feet to a point from which the East quarter corner of said Section 9 bears South 00 degrees 11 minutes 00 seconds West, a distance of 225.02 feet;

Thence South 89 degrees 27 minutes 03 seconds West departing the East line of said Section 9, a distance of 2334.44 feet; Thence North 00 degrees 34 minutes 36 seconds East, a distance of 671.34 feet;

Thence South 89 degrees 16 minutes 37 seconds West, a distance of 332.85 feet to a point on the North-South mid section line of said Section 9;

Thence South 00 degrees 38 minutes 00 seconds West along the North-South mid section line of said Section 9, a distance of 565.32 feet to a point from which the center of said Section 9 bears South 00 degrees 38 minutes 00 seconds West, a distance of 330.08 feet, said point being referred to as Point "A";

Thence South 89 degrees 24 minutes 06 seconds West, a distance of 1331.82 feet; Thence North 00 degrees 50 minutes 10 seconds East, a distance of 660.00 feet;

Thence North 89 degrees 24 minutes 06 seconds East, a distance of 1329.49 feet to a point on the North-South mid section line of said Section 9;

Thence North 00 degrees 38 minutes 00 seconds East along the North-South mid section line of



said Section 9, a distance of 688.83 feet;

Thence North 89 degrees 07 minutes 16 seconds East, departing said mid section line, a distance of 332.09 feet; Thence North 00 degrees 34 minutes 36 seconds East, a distance of 336.15 feet;

Thence South 89 degrees 03 minutes 17 seconds West, a distance of 331.77 feet to a point on the North-South mid section line of said Section 9;

Thence North 00 degrees 38 minutes 00 seconds East along said mid section line, a distance of 671.54 feet to the POINT OF BEGINNING,

Except the following described parcel:

Commencing at the aforementioned Point "A";

Thence North 62 degrees 15 minutes 01 seconds West, a distance of 33.70 feet to the TRUE POINT OF BEGINNING; Thence South 89 degrees 24 minutes 06 seconds West, a distance of 121.64 feet; Thence North 00 degrees 38 minutes 06 seconds East, a distance of 122.00 feet;

Thence North 89 degrees 24 minutes 06 seconds East, a distance of 121.64 feet; Thence South 00 degrees 38 minutes 06 seconds West, a distance of 122.00 feet to the POINT OF BEGINNING.

