

ACACIA RANCH

Master Planned Community

Planned Area Development

Submitted: December 22nd, 2005

REVISED: February 20, 2006

2nd REVISION: March 17, 2006





Planned Area Development
for
Acacia Ranch
Casa Grande, Arizona



Owner/ Co-Developers:

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PLANNED AREA DEVELOPMENT
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LIST OF EXHIBITS

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C	CASA GRANDE GENERAL PLAN
D	PINAL COUNTY LAND USE PLAN
E	EXISTING CONDITIONS
F	ZONING PLAN
G	ADJACENT DEVELOPMENT & LAND USE
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R	10-ACRE COMMUNITY PARK
S	NEIGHBORHOOD POCKET PARK
T	NEIGHBORHOOD POCKET PARK
U	PROPOSED RETAIL CENTER
V	STREET EXHIBITS

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1.0 Purpose of Request

Acacia Ranch is a proposed 665-acre community ("Project") located at the southwest corner of Interstate 10 and Val Vista Boulevard in Casa Grande, Arizona (See **Exhibit A – Regional Context Map and Exhibit B - Vicinity Map**). The project is approximately five (5) miles north of the heart of downtown Casa Grande and is in the immediate path of growth at the northern gateway of Casa Grande. This Planned Area Development is being submitted to the City of Casa Grande in conjunction with an Acacia Ranch Development Agreement. The Planned Area Development standards demonstrate the quality of the master plan intended, as well as adherence to City of Casa Grande Zoning Ordinance and General Plan except as expressly modified within this document and the development agreement. As stated above, the property is within the City of Casa Grande's planning area and incorporated area and as such is included in the City's General Plan. The Land Use Map from the General Plan shows the property's designations as Commercial with approximately 124 acres, Low-Density residential with approximately 388 acres, Medium Density Residential 1 approximately 86 acres, Medium Density Residential 2 approximately 20 acres and High Density Residential approximately 21 acres. **(See Exhibit C – City of Casa Grande General Plan 2010 and Exhibit D – Pinal County Comprehensive Plan)**

The purpose of this zoning application is to request a zone change for the Acacia Ranch site from the Urban Ranch (UR) to Planned Area Development (PAD), and to incorporate the design standards included as part of this narrative, some of which are a departure from the standards set forth in the Casa Grande Zoning Ordinance.

2.0 Existing Conditions & Relationship with the El Paso Natural Gas Line

2.1 Legal Description

(COMMITMENT NUMBER 180539)

PARCEL NO. 1:

THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 5 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.

PARCEL NO. 2:

BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 5 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 27;
THENCE NORTH 89 DEGREES 57 MINUTES 54 SECONDS EAST, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER 495.14 FEET TO THE NORTHWEST CORNER OF THE EAST HALF OF THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 27 BEING THE POINT OF BEGINNING;
THENCE NORTH 89 DEGREES 57 MINUTES 54 SECONDS EAST, CONTINUING ALONG SAID NORTH LINE 268.78 FEET;
THENCE SOUTH 00 DEGREES 01 MINUTE 15 SECONDS EAST 140.69 FEET;
THENCE NORTH 89 DEGREES 58 MINUTES 44 SECONDS EAST 532.62 FEET TO A POINT ON THE PROPOSED RAMP RIGHT-OF-WAY OF THE PHOENIX - CASA GRANDE HIGHWAY (I-10);
THENCE ALONG SAID PROPOSED RIGHT-OF-WAY THE FOLLOWING COURSES AND DISTANCES;
THENCE SOUTH 84 DEGREES 53 MINUTES 05 SECONDS EAST 142.84 FEET;
THENCE SOUTH 08 DEGREES 10 MINUTES 26 SECONDS EAST 229.44 FEET;
THENCE SOUTH 49 DEGREES 09 MINUTES 21 SECONDS EAST 1815.58 FEET TO A POINT ON THE EXISTING RIGHT-OF-WAY OF THE PHOENIX - CASA GRANDE HIGHWAY (I-10);
THENCE SOUTH 34 DEGREES 06 MINUTES 20 SECONDS EAST ALONG SAID RIGHT-OF-WAY 1310.09 FEET;
THENCE SOUTH 34 DEGREES 06 MINUTES 46 SECONDS EAST ALONG SAID RIGHT-OF-WAY 141.07 FEET;
THENCE LEAVING SAID RIGHT-OF-WAY NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 1360.00 FEET;
THENCE NORTH 41 DEGREES 14 MINUTES 43 SECONDS WEST 1114.53 FEET;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 102.68 FEET;
THENCE NORTH 49 DEGREES 09 MINUTES 20 SECONDS WEST 934.08 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 27;
THENCE SOUTH 89 DEGREES 58 MINUTES 02 SECONDS WEST, ALONG SAID SOUTH

LINE 257.09 FEET TO THE
SOUTHWEST CORNER OF THE EAST HALF OF THE EAST HALF OF THE WEST HALF OF
THE NORTHWEST QUARTER OF
THE NORTHEAST QUARTER OF SAID SECTION 27;
THENCE NORTH 00 DEGREES 06 MINUTES 05 SECONDS WEST, ALONG THE WEST LINE
OF SAID EAST HALF 1320.39
FEET TO THE POINT OF BEGINNING.

PARCEL NO. 3:
BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 27 AND THE
NORTHWEST QUARTER OF SECTION 26,
TOWNSHIP 5 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, PINAL COUNTY, ARIZONA,
BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 26;
THENCE NORTH 89 DEGREES 04 MINUTES 01 SECONDS WEST, ALONG THE NORTH LINE
OF SAID NORTHWEST QUARTER
1321.12 FEET TO THE NORTHEAST CORNER OF THE WEST HALF OF THE NORTHWEST
QUARTER OF SAID SECTION 26
AND THE POINT OF BEGINNING;
THENCE SOUTH 00 DEGREES 09 MINUTES 14 SECONDS EAST 2637.44 FEET TO THE
SOUTHEAST CORNER OF SAID
WEST HALF;
THENCE NORTH 89 DEGREES 13 MINUTES 04 SECONDS WEST 23.65 FEET, ALONG THE
SOUTH LINE OF SAID WEST
HALF 23.65 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF THE PHOENIX -
CASA GRANDE HIGHWAY (I-10);
THENCE NORTH 34 DEGREES 05 MINUTES 56 SECONDS WEST, ALONG SAID RIGHT-OF-
WAY 2125.10 FEET TO A POINT
ON THE PROPOSED RAMP RIGHT-OF-WAY OF THE SAID HIGHWAY;
THENCE NORTH 14 DEGREES 41 MINUTES 30 SECONDS WEST, ALONG SAID PROPOSED
RIGHT-OF-WAY 770.66 FEET;
THENCE NORTH 86 DEGREES 18 MINUTES 54 SECONDS EAST, CONTINUING ALONG
SAID PROPOSED RIGHT-OF-WAY
284.85 FEET;
THENCE NORTH 00 DEGREES 01 MINUTES 05 SECONDS WEST, CONTINUING ALONG
SAID PROPOSED RIGHT-OF-WAY
131.82 FEET TO A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER;
THENCE SOUTH 89 DEGREES 04 MINUTES 01 SECOND EAST, ALONG SAID NORTH LINE
1119.25 FEET TO THE POINT OF
BEGINNING.

(COMMITMENT NUMBER 150781)
BEING A PORTION OF SECTION 26; A PORTION OF THE EAST HALF OF SECTION 27 AND
A PORTION OF THE NORTH
HALF OF SECTION 35, TOWNSHIP 5 SOUTH, RANGE 6 EAST OF THE GILA AND SALT
RIVER BASE AND MERIDIAN, PINAL
COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 27;
THENCE SOUTH 00 DEGREES 05 MINUTES 55 SECONDS EAST, ALONG THE NORTH
SOUTH MID-SECTION LINE OF SAID

SECTION 27 A DISTANCE OF 1320.39 FEET TO THE NORTHWEST CORNER OF THE
SOUTHWEST QUARTER OF THE
NORTHEAST QUARTER OF SAID SECTION 27 AND THE POINT OF BEGINNING;
THENCE NORTH 89 DEGREES 58 MINUTES 02 SECONDS EAST, ALONG THE NORTH LINE
OF SAID SOUTHWEST QUARTER
752.29 FEET;
THENCE SOUTH 49 DEGREES 09 MINUTES 20 SECONDS EAST 934.08 FEET;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 102.68 FEET;
THENCE SOUTH 41 DEGREES 14 MINUTES 43 SECONDS EAST 1114.53 FEET;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 1360.00 FEET TO A POINT
ON THE PHOENIX - CASA
GRANDE HIGHWAY (I-10);
THENCE SOUTH 34 DEGREES 06 MINUTES 48 SECONDS EAST, ALONG SAID RIGHT-OF-
WAY 6299.33 FEET TO THE
EAST WEST MID-SECTION LINE OF SAID SECTION 35;
THENCE NORTH 89 DEGREES 11 MINUTES 52 SECONDS WEST, ALONG SAID MID-
SECTION LINE 4541.22 FEET TO THE
WEST QUARTER CORNER OF SAID SECTION 35;
THENCE NORTH 00 DEGREES 01 MINUTE 43 SECONDS EAST 2640.98 FEET TO THE
NORTHWEST CORNER OF SAID
SECTION 35;
THENCE SOUTH 89 DEGREES 57 MINUTES 33 SECONDS WEST, ALONG THE SOUTH LINE
OF THE SOUTHEAST QUARTER
OF SAID SECTION 27 2642.93 FEET TO THE SOUTH QUARTER CORNER OF SAID
SECTION 27;
THENCE NORTH 00 DEGREES 05 MINUTES 54 SECONDS WEST, ALONG THE WEST LINE
OF THE EAST HALF OF SAID
SECTION 27 A DISTANCE OF 3961.22 FEET TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER; AND
THE NORTH HALF OF THE NORTH
HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27,
TOWNSHIP 5 SOUTH, RANGE 6
EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA.

2.2 Site Location

The site's west boundary is midway between the Trekell Road alignment and the Peart Road alignment. The east side of the site is bound by Interstate 10 and the south boundary of the site is one half mile north of McCartney Road, bordering on McCartney Center PAD roughly on the Woodruff Road alignment. The approximately 665-acre project site is a mix of both active farmland and native desert. Currently, the Daley family farm consists of approximately 300-acres and the remaining approximately 365-acres are native desert. The site is vacant with the exception of the Daley farmhouse, sitting on approximately 20-acres. The quality of the desert portions of the site is low and contains mostly creosote and scrub vegetation.

The site is generally unencumbered with a few exceptions. An El Paso Natural Gas line bisects the southwest quarter of the site. The line is contained within a fifty (50) foot easement that has been designated as open space. The open space will have a trail connection that allows for potential regional path and trail links north to Ghost Ranch and south McCartney Center and beyond. All structures constructed as part of the Acacia Ranch development will maintain the required setbacks set forth by El Paso Natural Gas Company. The site has several natural washes that run from Interstate 10 to the southwest. The wash features do not leave the site with the exception of a few. The wash features that do leave the site do not make it to McCartney Road so the amount of flow is believed to be minor.

Exhibit E – Existing Conditions

3.0 Land Use Plan/ Preliminary Development Plan/ Project Description

The vision for Acacia Ranch is to create a master planned community that is well integrated with the surrounding, approved Planned Area Developments, master plans and land uses. The project is designed to adapt to the site constraints such as natural washes, the El Paso Natural Gas easement and Interstate 10. With several approved PAD's adjacent to the site and other master planned communities being developed both to the south (McCartney Center) and to the west of the Project (Villago), as well as further to the north at Ghost Ranch, Acacia Ranch is the logical next step in the growth sequence of Casa Grande. These factors have contributed to the design the PAD and the Acacia Ranch design features. The project's close proximity to Interstate-10 and the need to both buffer and enhance the area along the freeway has also played a part in the development of the plan.

The Acacia Ranch land use plan integrates commercial uses, as well as single family and multi-family housing woven together with open space and community amenities. **See Exhibit F – Conceptual Land Use Plan**

A. LAND USE PLAN

1. Proposed Uses and Intensities

The Acacia Ranch PAD is approximately 650 acres of mixed uses with the majority of the project developing in a range of low to medium density residential. Several areas of the PAD have frontage along Interstate-10

and Val Vista Boulevard and as such those areas have been designated for more intense uses such as medium density, high-density residential, and regional commercial uses. All uses are focused around open space areas including the open space buffer and linear park along the Interstate and the open space corridor provided by the El Paso Gas Line easement and natural wash features.

The maximum overall density of the PAD is 3.5 dwelling units per gross acre or 2,258 units. The City of Casa Grande General Plan 2010 recommends a maximum density of 4.0 DU/AC and a target density of 2.5 for LDR land uses in this area and we have chosen a target density within that range. As part of the annexation of this area in the summer of 2003 the City indicated a desire to utilize higher density and an open space buffer along the interstate to buffer the lower density residential land uses that occur further west. The goal for Acacia Ranch is to integrate and blend the various residential uses and lots sizes in order to create a more holistic community. The Acacia Ranch PAD complies with the Approved 2003 City of Casa Grande Residential Design Standards for Planned Area Developments. The standards have been included throughout the various applicable sections of the PAD.

Due to the unique and intense uses created by Interstate 10, Acacia Ranch has an increased open space buffer along the Interstate. Along that buffer it is appropriate to develop single-family and attached medium density residential units. The allowed single-family detached lots within Medium Density Residential One are smaller than the 6,000 square feet minimum lot size and the 55' width required by the Residential Design Standards for Planned Area Developments. Acacia Ranch will have medium density one, single family detached lots that are 35' in width but will not allow more than 25 percent of the single-family detached lot total to be less than 6,000 square feet. All of the other standards within the Approved 2003 City of Casa Grande Residential Design Standards for Planned Area Developments will be adhered to.

The open space system proposed for the Acacia Ranch PAD is a significant component to the creation of a successful and attractive community. As such, this PAD proposes a network of open space corridors, which we will refer to as open space and parks. The open space system will link all land use components of the community. Land set aside as developed or undeveloped open space will account for a minimum of 15 percent of the total residential land area of Acacia Ranch PAD or approximately 81 acres.

The land use concept of the Planned Area Development presents a balanced community. All of the land use elements, as well as the circulation and infrastructure systems are integrated to create a community that is functional, sustainable, and aesthetically pleasing.

3.1a Low Density - Single Family Residential

Acacia Ranch's overall gross density within the LDR portions of the PAD will not exceed 3.5 RDUs per acre, or approximately 1,355 units. This standard is within the General Plan parameters, as well as many recent non-master planned developments within Casa Grande. Lot widths within the low density residential (LDR) category will not be less than 55 feet and lot sizes will not be smaller than 6,000 square feet and will adhere to the City of Casa Grande Residential Design Standards for Planned Area Developments. The following Table and notes provide development standards for the single-family housing at Acacia Ranch.

(Table – 1)

ACACIA RANCH LOW DENSITY RESIDENTIAL DEVELOPMENT STANDARDS MATRIX

Lot Size Categories	Lot Area (In Square Feet)	Minimum Lot Width	Minimum Yard Setbacks				Maximum Building Height	Minimum Distance between Buildings
			Front (3)	Rear	Side (Interior)	Side (Corner)(4)		
Large Lots	≥ 8,000	65'	15' – 20'	20'	5' & 10'	15'	32'	10'
Medium/Large Lots	6,500-7,999	60'	15' – 20'	20'	5'	15'	32'	10'
Small/Medium Lots	6,000 – 6,499	55'	15' – 20'	15'	5'	15'	32'	10'

1. No single-family LDR lot shall be less than 6,000 square feet.
2. A minimum fifty-five foot width is required for all single-family LDR lots.
3. Livable portions may be setback 15' from the front lot line while garages must be setback a minimum of 20'.
4. A minimum 10-foot tract and a minimum 5' building setback from the tract is required for a total of 15'.
5. For every single-family LDR lot less than 7,000 square feet in area, an equal number of LDR lots that are at least 8,000 square feet in area shall be provided.
6. All walls exposed to the public, e.g., streets and open areas, shall be stained or painted the color of the primary decorative theme or perimeter walls. Interior walls for individual home lots may be left unpainted.
7. No multi-story homes shall be built on corner lots.
8. No multi-story homes shall be located immediately adjacent to established one-story single-family home subdivisions.
9. The lot coverage for LDR single-family residential homes at Acacia Ranch is 50%.

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3.1.b Medium Density Residential

The following are standards for MDR1 land uses at Acacia Ranch.

- A. Development of the MDR1 areas, with the exception of single-family detached projects, shall be subject to Major Site Plan review and approval. Architecture, building materials, and colors shall be consistent with the LDR SF-detached areas.
- B. Allowable uses for the MDR1 area are single-family homes, auto-court homes and townhouse cluster.

C. Building setbacks and building heights: see Table -2.

(TABLE - 2)

ACACIA RANCH MEDIUM RESIDENTIAL DEVELOPMENT STANDARDS MATRIX FOR MDR1

Lot Size Categories	Minimum Lot Area (In Square Feet)	Minimum Lot Width	Minimum Lot Depth	Minimum Yard Setbacks				Maximum Building Height	Minimum Distance between Non Attached Buildings
				Front	Rear	Side (Interior)	Side (Corner)		
Single Family Auto-Court Lots	3,150	35'	90'	6'-20'	15-20'	5'	15'	32'	10'

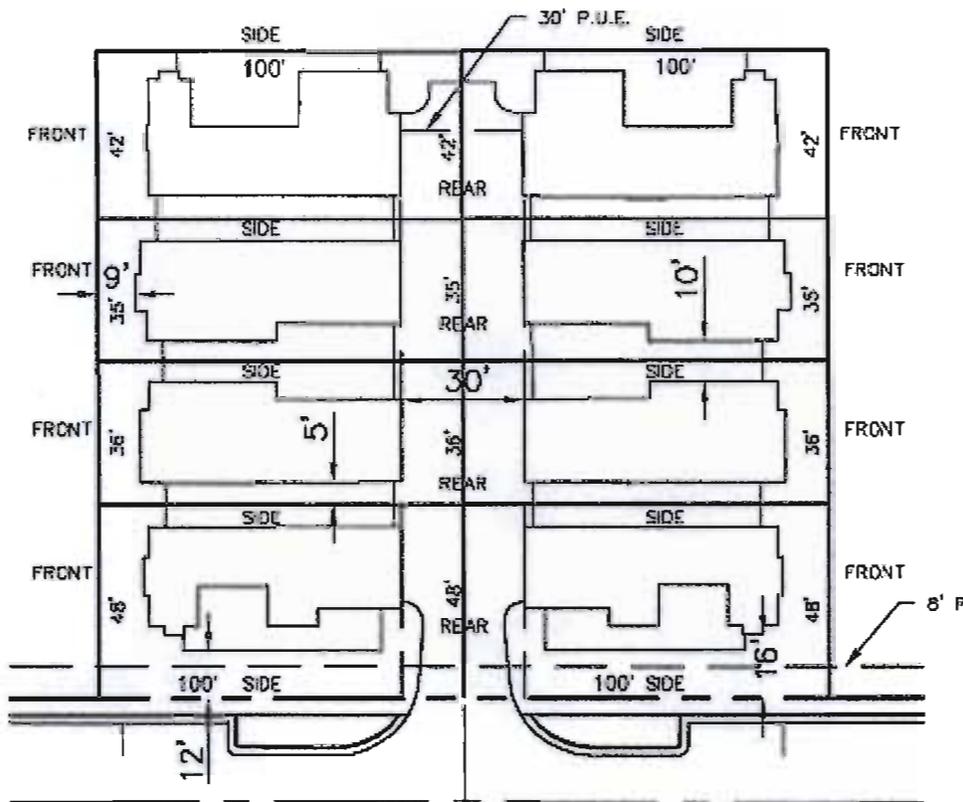
1. Common area landscape tracts will be provided adjacent to entry corner lots. HOA-maintained landscaped tracts adjacent to corner lots shall count toward the setback. A minimum 10-foot tract and a minimum 5' building setback from the tract is required for a total of 15'. No side yard walls will be allowed to be built within 10 feet of the front-yard ROW, to provide for public utility easements (PUE).
2. No more than 25% of the total single-family detached residential lots at Acacia Ranch shall be developed under 6,000 square feet.
3. Residential lot coverage shall be calculated for each residential parcel as a whole, not on each individual lot. The calculation is as follows: Gross Area of a Parcel, less adjacent rights-of-way (arterial, collector, local streets) equals Net Site Area. Net Site Area multiplied by the lot coverage percentage equals the total square feet of allowed coverage. The total allowed coverage is then divided by the total number of lots in the development parcel, to yield the total number of square feet allocated to each lot.
4. Maximum MDR1 single-family detached residential lot coverage shall not exceed 45%.

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 15' from the edge of the right-of-way to livable portion of the home or covered porches. 20', to front-loaded garage. Side-loaded garages 15' from the edge of the right-of-way Every fourth garage must be setback to 23' if the previous three are set at the minimum.

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Typical MDR-1 Setback Exhibit



TYPICAL 8 LOT CLUSTER
N.T.S.

The following are standards for MDR2 land uses at Acacia Ranch.

- A. Development of the MDR2 areas, with the exception of single-family detached projects, shall be subject to Major Site Plan review and approval. Architecture, building materials, and colors shall be consistent with the SF-detached areas.
- B. Allowable uses for the MDR2 area are duplexes, condominiums, townhouse/Row Homes, structures accessory to multi-family structures, and/or single-family attached homes.

(TABLE – 3)

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**ACACIA RANCH MEDIUM RESIDENTIAL DEVELOPMENT STANDARDS
MATRIX FOR MDR2 – CONDOMINIUM & ROW HOME UNITS**

Product Categories	Lot Area (In Square Feet)	Outdoor Living Area (In Square Feet) (1) (2)	Minimum Lot Width	Minimum Lot Depth	Minimum Yard Setbacks				Maximum Building Height	Minimum Distance between Buildings
					Front	Rear	Side (Interior)	Side (Corner)		
Condominium	N/A	400	(6)	(6)	5' – 20'	5' – 20'	N/A	5'	40'	0' or 10'
Row Homes	2,900	400	35'	90'	5' – 20'	5' – 20'	N/A	5'	40'	0' or 10'

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1. Outdoor living area in the minimum amount specified above must be provided on any lot occupied by multiple residence of townhouse building. This space must be easily accessible for daily recreational use by the occupants of the building. Driveways, parking areas, ornamental landscaped areas (having less than 20 feet), and required side or front yards shall not be considered as an Outdoor Living Area, except in the case of interior townhouse units where said unit is less than 20 feet in width, in which case the minimum width of the outdoor living area shall be the width of the lot.
2. May be calculated as average lot size per unit per structure.

3. Residential lot coverage shall be calculated for each residential parcel as a whole, not on each individual lot. The calculation is as follows: Gross Area of a Parcel, less adjacent rights-of-way (arterial, collector, local streets) equals Net Site Area. Net Site Area multiplied by the lot coverage percentage equals the total square feet of allowed coverage. The total allowed coverage is then divided by the total number of lots in the development parcel, to yield the total number of square feet allocated to each lot.
4. Maximum residential lot coverage shall not exceed 45%.
5. Residential units are intended to be rented, leased, or sold in

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3.1.c High Density Residential

The following are standards for HDR land uses at Acacia Ranch.

- A. Development of the HDR areas shall be subject to Major Site Plan review and approval. Architecture, building materials, and colors shall be consistent with the SF-detached areas. Allowable uses for the High Density Residential (HDR) category shall be established on the Land Use Plan but product shall be characterized as condominiums, town homes, or apartments with integrated park and/or open space. The density standard for this category shall range up to, but not exceed 16.0 DU/AC with a target density of 14.0 DU/AC.
- B. Building setbacks and building heights shall be in conformance with the intent of the R-2, R-3 or R-4 zones. The zoning district shall be selected as part of the Major Site Plan review and approval that is required and the zone must be declared as part of Site Plan process.

3.1.d Acacia Ranch Theme and Landscaping

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A unique and cohesive theme for the Acacia Ranch has been created. The theme includes conceptual wall designs, signage, and landscape treatments. Exhibits I – L include typical conceptual designs for parks, landscape designs, and walls. Perimeter walls and walls adjacent to roadways will be decorative and constructed of a combination of c.m.u. and split-face block, as well as stone veneer. See Exhibits J for typical conceptual wall details. View fencing along collector and arterial roadways as well as open space corridors will be applied under appropriate circumstances. Walls along collectors and arterials will be staggered, contain breaks, and/or columns for vertical and horizontal relief. Final wall details are subject to the approval of the Planning and Development Director.

A minimum twenty-five foot wide landscape tract shall be provided between every residential parcel and an adjacent arterial or collector right-of-way. The main entrances into a subdivision shall be designed to create a sense of arrival including entering into pocket park and landscaped open space tract. The subdivision entries will have monument signage and a complimentary landscape palette that will include mature vegetation. Additional enhancements shall include a creative combination of some of the following features: pedestrian lighting, landscaped medians, water features, sculptures, boulders, and stone features.

Front yard landscaping

Front yard landscaping is required for all homes and unless approved by the Planning and Development Director, will be provided by the homebuilder. Front yard landscaping will be provided by the homebuilder or their representative and will be installed within five weeks of closing. The Planning and Development Director may extend installation times for homeowner installed or custom landscaping improvements for individual lots.

Front yard landscape packages offered by builders shall be subject to the review and approval of the Planning and Development Director and must meet the following requirements: a variety of standard and upgraded front yard landscape packages with automatic irrigation systems shall be provided; front yard landscaping designs with berming, river run features, courtyards, lighting, or other creative features shall be offered for standard landscape designs; and if turf/lawn is provided for front yards, it shall be kept to a minimal (no more than 20 percent) portion of the front yard and include a concrete header or similar border.

3.1.e - Parcel Layout and Design

Acacia Ranch residential parcels will provide a mix of cul-de-sac designs (where cul-de-sacs are provided), including eyebrows, and cul-de-sacs with open space ends and curvilinear street system. The curvilinear streets provide character and different view corridors. The majority of parcel entries will enter on to open space tracts and/or parks.

3.1.f - Residential Architecture Standards at Acacia Ranch

Acacia Ranch builders will present home floor plans and elevations to the Planning and Zoning Commission for their review and approval prior to obtaining permits for the homes. In order to avoid repetition and encourage architectural diversity at Acacia Ranch, the following mandatory standards are provided:

3.1.f.1. Floor plans and elevations

- A minimum of five home floor plans, each with three distinct elevations, is required per project and within each definitive housing price range or product type.
- A minimum of five distinct home color schemes is required per project and within each definitive housing price range or product type.
- Diversity and uniqueness in elevations and color schemes shall be demonstrated within each parcel.
- Homes with the same front elevation or color schemes shall not be located adjacent to (side by side) or across from each other.
- There shall not be any more than three consecutive similar rear home elevations for homes backing an arterial or collector roadway.
- Emphasis (e.g., covered front entries, covered front porches, bay windows, etc.) must be placed on the front elevations of homes. Main entries must face the street.
- Window pop-outs, windowsills, recessed windows and/or similar architectural embellishments are required on all windows, except as approved by the Planning and Zoning Commission.

3.1.f.2. Roofs

- A variety of home roofing colors, shapes, and/or textures is required per project. Typically, concrete tile shall be required for all sloped roofs; however, consideration shall be given to alternative durable materials upon review of the housing product.
- Variation in roof ridgelines and designs is required.
- Unique roof colors shall be matched to each home color scheme.
- No residential buildings within a PAD shall have roof-mounted or wall-mounted mechanical equipment (e.g., HVAC, evaporative coolers). All such equipment must be ground-mounted.

3.1.f.3. Garages

- On lots where side-entry garages can be accommodated (typically 65 feet wide and wider lots), at least one floor plan per parcel or product type must be designed with a standard side entrance garage.
- No front-loaded garage shall extend forward of a home's livable area or covered front porch by more than ten feet.
- At least one floor plan per parcel or product type shall have the livable area of the home forward of the garage.
- Front-loaded garage doors shall not exceed fifty percent of the house width (frontage). Where more than a standard two car front-entry garage can be accommodated, the additional garage bay(s) shall be tandem or architecturally designed to appear separate and distinct from the remainder of the garage.

3.1.f.4. Patio covers

- Rear or side yard covered patios or covered courtyards are required on every home.
- Where possible, covered patio areas should be incorporated into the architecture of the homes.
- Patio cover columns and roofs shall be constructed of the same materials used on the remainder of the home. Alternative complementary materials and designs for patio covers and columns shall be subject to the review and approval of the Planning and Zoning Commission.

3.1.f.5. - Additions and modifications

- All additions to homes shall be constructed of the same building materials as the principal residence and painted to complement the home.
- Garages shall not be converted or enclosed for other uses.
- Accessory buildings shall only be located within walled rear yards. Accessory buildings over 200 square feet in area shall be constructed to match or complement the building materials and colors used on the principal residence.

3.1.f.6 - Additional Requirements for Acacia Ranch Residential Architecture

In addition to the previously stated mandatory requirements, builders at Acacia Ranch must select four of the standards listed below. The selected requirements shall apply to the builder's entire development parcel. The homebuilder must illustrate compliance as part of their presentation of the elevations to Planning & Zoning Commission.

1. Incorporate a variety of durable exterior materials and finishes, such as brick and stone veneers, and masonry as standard features on at least one elevation per floor plan.
2. Provide unique architectural styles for all homes within a parcel or parcels of a PAD. Depart from currently popular architectural styles to use other unique house styles, such as Craftsman, Prairie, Territorial, Ranch, Tudor, Mission, and Pueblo.
3. Provide significant architectural features, such as dramatic covered front entries, large covered front porches, bay windows, and /or dormers as standard features on all homes.
4. Reduce the number of standard front-loaded garages. At least one floor plan per project or product type shall have the garage oriented towards the rear of the home as a standard feature. In addition, the number of floor plans using side-loaded garages as standard features shall be increased from the minimum required.
5. Reduce the impact of two-story homes by limiting the second story portion of the home, providing second story plane changes, providing multiple roof changes, and/or other effective means.
6. Place additional emphasis on all windows by providing a variety of window shapes, sizes, and arrangements and/or using bay windows on elevations facing streets and open space areas.
7. Provide one elevation per project or product type that uses flat roof, e.g., Sante Fe or Pueblo architectural style, and elements.
8. Applicant's choice. An opportunity for creativity and design innovation is provided here.

3.2 Open Space

While Acacia Ranch is not immediately adjacent to development, the open space areas within Acacia Ranch have been designed to tie into future links at Villago, Arroyo Grande, and McCartney Center as well as other developments. The gas line corridor and a strong linear park system provide links for the residents of Acacia Ranch and for the City at large to enjoy. Acacia Ranch will serve as an important link for the City and adjacent approved PAD residents and will provide the link to future development of regional open space connections and services. In addition to the linear greenbelt park system, a community park and school site will be developed as a major community amenity and focal point. All uses will be linked with sidewalks and/or paths and trails to provide a friendly non-vehicular transportation network. Open space and recreation is the major organizing principle at Acacia Ranch. As such, a significant portion of Acacia Ranch is planned as open space. At a minimum, **fifteen (15) percent** of the Project's gross residential acreage will be designed and developed as open space.

Open Space Amenity	Quantity / Size
15% of Gross Acreage in Open Space of Residential	Approximately 81 acres
Linear Park Systems	Approximately 30 acres
Community Park	10 Acres
Neighborhood Parks	0.50– 3.0 Acres (each)
Future Links to City Greenbelt	Multiple
Path and Trail System	Miles of Trails

3.2.a Community Open Space Amenities

The project's open space elements will include but are not limited to; a ten-acre community park, school playfields, and the linear open space system with local and regional links. The other major open space element is neighborhood parks and open space amenities. A 35-acre open space buffer along Interstate 10 and will include linear path links and retention. The buffer will be an amenity for residents of Acacia Ranch as well as the City at large and will serve as a "green" gateway to Casa Grande along Interstate 10. The neighborhood elements will include, neighborhood pocket parks, neighborhood greenbelts and subdivision entry open space and features. The two major elements are designed to complement one another and act as the major community amenity. The open space elements will all be linked with sidewalks through neighborhoods and/or paths and trails through the open space system and will serve as non-vehicular connections for all of the land uses at Acacia Ranch.

Single-family residential, commercial, and educational land uses, as well as religious and multi-family land uses will be linked via the open space and paths.

3.2.b Project Specific Open Space Amenities

Project-wide open space will be landscaped to provide inviting recreational areas and greenbelt corridors. The internal project-specific open spaces will be strategically located for high visibility and usability. Neighborhood entries, as well as many of the local roads, will terminate with views into open space areas where appropriate. In addition, the greenbelts will serve as non-vehicular connections through the site. Multi-use pathways including ten (10) foot and 5-foot wide walkways will connect all the land uses. The ten (10) foot multi-use path will meander through the linear parks that are adjacent El Paso Gas Line easement, as illustrated on the **Conceptual Open Space Path & Trails Plan Exhibit I**. This trail system serves to physically tie the various neighborhoods together while also providing regional connections. The internal ten (10) foot wide multi-use path and five (5) foot wide walkway network is designed to provide safe and convenient connections to all open spaces and land uses. All walkways and paths will be constructed of approved materials and designed to AASHTO standards and the recommendations of the City Engineer and Planning and Development Director.

3.2.b.1 Open space corridors and landscape. All open space not improved for recreational uses shall be landscaped according to an approved water-conserving landscape plan. All landscape designs and plant materials will be submitted to the Planning and Development Department for review and approval. The path and trail system mentioned above will meander through the open space corridor system that will link all uses and neighborhoods at Acacia Ranch. All elements within the project-wide and neighborhood open space system will be connected.

Multi-Use Path. The open spaces are connected by ten (10) foot wide multi-use pathways and five (5) foot wide walkways. The ten (10) foot multi-use path will meander through the linear park greenbelt corridors as illustrated on the **Conceptual Open Space Path & Trails Plan Exhibit I**, linking the communities uses and neighborhoods. Natural surface trails may also be utilized to connect neighborhoods, amenities, and non-residential uses as

seen fit by the developer, and with the approval of the Planning and Development Director. The internal path system shall be designed to provide safe and accessible links to all open space and recreation amenities including all project-wide and neighborhood open space amenities. All walkways and paths will be constructed with approved material(s) and designed to AASHTO standards and the recommendations of the City Engineer and Planning and Development Director.

3.2.b.1 - Additional Open Space Standards

- Clubhouses, indoor recreation centers, parking lots, street rights-of-way, and non-landscaped or cement built retention areas and cement drainage channels shall not count towards the open space requirement.
- At least fifty percent of the required open space must include parks, multi-use trails, bike paths, turf retention areas, tot lots, and/or other outdoor active or passive recreational improvements. Council may decrease this requirement in return for the preservation of areas with natural washes, native cacti and/or mature native trees.
- When retention areas are designed for recreational usage, at least fifteen percent of the basin needs to be elevated above a twenty-five year floodwater surface elevation. Where possible, drywells shall be used for all retention basin areas.
- All open space not considered natural preservation areas shall be landscaped according to an approved water-conserving final landscape plan.
- Landscape, landscape lighting, and open space amenity plans shall be subject to the review and approval of the Planning and Development Director.
- All open space, parks and landscaping within Acacia Ranch will maintained by the Acacia Ranch HOA with the exception of median landscaping on the perimeter arterials.

3.3.a Commercial Narrative and Introduction

The Proposed Retail Center is a unique, high-quality, mixed-use retail shopping center designed to be functionally and aesthetically integrated with the Casa Grande community. The project's location at southwest corner of the intersection of Interstate 10 and Val Vista Drive allows for outstanding access, visibility, and convenience. This development will provide the residents of Casa Grande with a variety of retailers in a pedestrian friendly shopping center.

The information and exhibits included within this document shall be the design guidelines for development in this shopping center. The design team has developed an overall design concept based on local tradition and regional environmental conditions that utilizes a desert color palette and a variety of materials and textures. Key design features will be used to maintain continuity of the aesthetic harmony outlined in this document. Flexibility of architectural character allow for design development of specific users as they become identified.

These development criteria are established to better enable the City of Casa Grande to fulfill its development objectives while facilitating the approval process of future tenants. In addition, these guidelines are intended to protect each tenant/occupant within this development against improper uses or incompatible designs. The combination of tenant mix, planning, circulation, landscape and signage integration, pedestrian amenities, and overall character will set the stage for a successful center and provide a foundation for future commercial development.

3.3.b Consistency with General Plan

The proposed P.A.D. is consistent with the overall General Plan concept for the City of Casa Grande, which is "considered the commercial and employment hub of south-central Arizona". The General Plan Land Use Map (Exhibit C) identifies this site as planned Commercial Development. As outlined in the Regional Commercial category, this site will allow for convenient access to the Interstate system. Furthermore, the maximum Floor Area Ratio shall not exceed .35 as outlined in the General Plan.

The development offers a mix of users, which will provide a variety of entertainment, service, and shopping to the existing and future residents of Casa Grande. It will also provide new jobs and tax revenue to increase economic prosperity for the City. The proposed retail center is located in the Urban Fringe of the Growth Area, which is the next phase of growth for the City.

3.3.c Conceptual Site Plan

The Conceptual Site Plan (Exhibit C-1) shows a variety of community level retail shopping, and restaurants that will include a mixture of anchors, majors, minors, shops and freestanding pads. The Conceptual Site Plan is intended to be a flexible plan that is purely illustrative and thus indicates building areas. The plan will be refined and formalized in

subsequent submittals and through the platting process.

The site configuration has been designed to allow for maximum visual exposure from Interstate 10 and along Val Vista Drive. The primary access points will be off of Val Vista Drive with secondary entries on Colorado Street. A traffic signal is proposed at the intersection of Colorado Street and Val Vista Drive and another one at the main entry on Val Vista Drive. There is a series of internal roadways designed to allow smooth traffic flow throughout the site.

The site shall provide open spaces, landscaping, and pedestrian linkages in accordance with the City of Casa Grande's Zoning Title. A system of pedestrian walkways is designed to link the retail components to public right-of-ways, parking lots, and to other retailers.

3.3.d Permitted Uses

All uses in the Permitted Principal Uses, Permitted Conditional Uses and Permitted Accessory Uses in the City of Casa Grande's Zoning Title sections B-1, B-2, and B-3 in the Business Zone (Chapter 17.24) shall be considered Permitted Principal Uses. Other permitted uses shall conform as outlined in Chapter 17.40 and incorporate Large Single Retail Uses and Large Multiple Use Shopping Centers with frontage on an arterial roadway and immediately adjacent to an Interstate Highway including:

- Automobile fueling stations
- Automobile washing establishments
- Bowling alley
- Building material sales, including sand and gravel
- Drive-through for banks, restaurants, dry cleaning, and pharmacies
- Large Single Retail Uses exceeding 100,000 square feet
- Outdoor retail sales of nursery stock, lawn furniture, and home garden supplies
- Seasonal outdoor sales within designated areas defined in site plan
- Tire sales, repair and mounting
- Video Arcade

3.3.e Development Standards

The Development Standards as outlined in the Casa Grande Zoning Title Chapter 17.40, Subsection S, and Chapter 17.52 shall apply to the property except as modified herein.

Description	Retail & other permitted uses ‡
Minimum Open Space	10%
Minimum Width	N/A
Minimum Building Front Setback	35'-0" from the right of way line along arterial streets 35'-0" from the right-of-way line along the interstate.
Minimum Interior Side Setback	15'-0" except 0'-0" along interior lot lines, except as required by Building Code. 60'-0" adjacent to residentially zoned properties.
Minimum Perimeter Landscape Setback	30'-0" except 15'-0" adjacent to the interstate. Shall include an 8' screen wall adjacent to residentially zoned properties.
Minimum Perimeter Building Setback	35'-0" except 60'-0" adjacent to residentially zoned properties, 15'-0" adjacent to the interstate.
Minimum Rear Setback	15'-0" except 60'-0" adjacent to residentially zoned properties.
Maximum Building Height	45'-0" * †
Maximum % Lot Coverage	N/A

* Parapet walls may extend no more than 4'-0" above the limiting height of the building.

† Does not include architectural elements such as, but no limited to: towers, spires, rotundas, domes, etc....

‡ Delivery access shall be permitted twenty-four (24) hours per day.

1. Site Lighting; Site lighting shall be designed in accordance with Arizona's Dark Sky Ordinance, which prohibits random up lighting on architectural elements. Indiscriminate illumination of large architectural elements or landscape areas will not be allowed. Lights mounted on the ground or on poles specifically for the purpose of illuminating the building façade shall be prohibited. Site lighting fixtures and poles shall be consistent with the design theme of the retail shopping center. Sources of light shall be limited metal halide, high-pressure sodium, or low-pressure sodium with fixtures mounted on poles placed on a 3'-0" concrete base. These fixtures shall be located to avoid conflicts with parking spaces and vehicular circulation. Light standards shall not exceed a total height of 30'-0". Direct sources of light shall be screened from view from adjacent properties.

2. Architectural Elements (subject to site plan review); The architecture shall provide visual interest through the use of geometry, material, and color. The building forms and design shall utilize these methods to create an identifiable character throughout the development.

- Building massing shall utilize simple and strong geometrical forms.
- The color pallet shall be that which is typically found in a desert environment. Predominant colors shall include a mixture of browns, tans and reds with varying highlight colors.
- Buildings shall use various architectural techniques to break up the linear aspect. Such treatments include, but are not limited to: fenestration, accent features, and material variation.
- Predominant exterior materials shall include, but are not limited to: split-face masonry block and stucco/E.I.F.S. Accent features shall include stone (or faux stone), ceramic tile, smooth-face masonry block, clay brick, architectural steel elements, concrete roof tile (or clay roof tile), and standing seam metal roofing. Chain link fencing is prohibited.

3. Screening;

- All rooftop equipment, vents, ducts, satellite dishes, etc... shall be screened from view from adjacent streets, sidewalks and neighboring properties using materials and forms that are compatible with the building architecture.
- Refuse collection, including recyclable trash collection areas, shall be visually screened from adjacent streets and neighboring properties using materials and forms that are compatible with the building architecture.
- All roof access shall be located inside the building.
- All roof drainage shall be internal roof drains.
- Ground-mounted equipment, building service entries, and delivery access shall be visually screened from adjacent streets and neighboring properties using materials and forms that are compatible with the building architecture.
- Measures shall be taken to mitigate the impact of noise on adjacent residentially zoned properties.
- While buildings may be oriented such that the rear is adjacent to residentially zoned properties, measures shall be taken to minimize the visual impact.

3.3.f Landscape Standards

A Conceptual Landscape Plan has been developed which identifies the location of all species of trees, shrubs, desert accents and groundcovers throughout the shopping center (Exhibit C.3). A carefully conceived landscape theme was developed to provide shade and other environmental considerations for users throughout this development. An array of trees have been selected which do well in our arid environment including: Sisso, Mexican Fan Palms, Palo Brea's, Acacia, Swan Hill Olive, Mexican Bird of Paradise, Live Oak and Evergreen Elms. A variety of shrubs are also identified including Red Bird of Paradise, Mexican Honeysuckle, Ruellia, Fairy Duster, Petite Salmon Oleander, Texas Ranger and Orange Jubilee. Additional accents, vines and groundcovers will be included in the plant

palette as identified on the Conceptual Landscape Plan. Landscaping along the roadways will soften the hard edges of the site and this plant material will be integrated into the parking lots and adjacent retail pad sites using compatible plant material and densities. Landscaped pedestrian connections are provided to connect the perimeter of the site and the pad sites to the internal shops and major and anchor tenants. The selected landscape palette is designed to provide a colorful variety of plant species with varying seasonal colors and textures and create a sense of arrival and place while creating adequate screening and shade within the retail shopping center. An integrated automatic underground irrigation system will be used throughout the site.

3.3.g Signage Standards

Architectural graphics and ornamentation have been given special priority throughout the retail shopping center. The design of the exterior signage should express both the retailer's unique identity and the spirit of the Arizona outdoor lifestyle. All signage shall comply with the City of Casa Grande's zoning ordinance, except as modified herein: a Comprehensive Sign Plan shall be submitted in conjunction with the site plan review process for the project. Types of signage may include, but are not limited to: entry features, monument signs, tenant directories, freeway pylon signs (maximum height of 65 feet).

3.3.h Site Plan Submittals

Design Review: To assist the tenants/occupants in organizing time schedules and planned work efforts, the following guidelines for submittals have been developed. Prior to submitting for Site Plan Review with the City of Casa Grande, tenants/occupants shall obtain design approval from the Developer's Design Review (DR). The Design Review process consists of two basic steps: 1) A **preliminary submittal** and 2) a **final submittal**. (Note: if the final submittal is unsatisfactory to the Developer's Design Review, subsequent submittals may be required.)

1. **Preliminary Design Submittal:** A preliminary design submittal enables the DR to review the conceptual plans for improvements proposed by a tenant/occupant. In evaluating a preliminary submittal, the DR shall assess whether the preliminary plans meet applicable architectural design and landscaping standards.
 - A preliminary design submittal requires the following (submit in duplicate):
 - a. A completed Development Form
 - b. Project Narrative
 - c. Site Plan
 - d. Building Floor Plan
 - e. Colored Building Elevations clearly indicating material selections. Also, indicate roofline and roof mounted mechanical equipment with dashed lines.
 - f. Landscape Plan

2. **Final Design Submittal:** After approval of the preliminary submittal, a final submittal of plans shall be made to the Planning and Development Department.
 - A final design submittal requires the following (submit in duplicate):
 - a. A completed Development Form
 - b. Site Plan (dimensioned to show setbacks, lighting, structures, parking lot layout, landscape and hardscape areas, etc...)
 - c. Building Floor Plan with finished floor elevations
 - d. Colored Building Elevations clearly indicating material selections. Also, indicate roofline and roof mounted mechanical equipment with dashed lines.
 - e. Material Sample Board (11x17 maximum size)
 - f. Landscape Plan (include plant list and irrigation)
 - g. Signage Plan (indicate location, size, material, site furniture, lighting, messages/graphics, etc...)
 - h. Photometric plan (include all site and building mounted fixtures)

Upon receiving approval from the Developer's Design Review, tenant/occupant may submit for Minor Site Plan approval with the City of Casa Grande.

**Proposed Retail Center
Development Proposal Form**

Tenant/Occupant

Tenant/Occupant: _____

Address: _____

Contact: _____

Phone: _____ Fax: _____ Email: _____

Architect/Engineer

Architect: _____

Address: _____

Contact: _____

Phone: _____ Fax: _____ Email: _____

Project Data

Parcel #: _____ Submittal Date: _____

Site Area: _____ Building Area: _____

Parking Required: _____ Parking Provided: _____

Preliminary Design Submittal

- Development Proposal Form
- Project Narrative
- Site Plan
- Building Floor Plan
- Scaled Colored Building Elevations
- Landscape Plan

Final Design Submittal

- Development Proposal Form
- Site Plan
- Building Floor Plan
- Scaled Colored Building Elevations
- Material Board
- Landscape Plan
- Photometric Plan
- Sign Plan

Submit to:

Diversified Partners
Attn: I-10 & Val Vista - Design Review
8098 E. Via de Negocio
Scottsdale, AZ 85258

4.0 City of Casa Grande General Plan Conformance

The Acacia Ranch PAD is in conformance with the Casa Grande General Plan. The project is utilizing the "Master Planned Community" designation, which allows a gross target density on a project wide basis. The Acacia Ranch PAD has been drafted to meet those requirements and is in conformance with the City of Casa Grande 2010 General Plan.

The Casa Grande General Plan indicates that the site is appropriate for low-density residential (1.0 – 4.0 dwelling units per acre) uses. Acacia Ranch's proposed density of 3.5 dwelling units per gross acre is within the allowed density and conforms to the land uses and land use policies of the Casa Grande General Plan.

CITY OF CASA GRANDE – GENERAL PLAN CONFORMANCE

- As a master planned project, Acacia Ranch will deliver a diverse product offering within one community.
- Paths, parks, and greenbelt open space will be an integral part of Acacia Ranch.
- Multi-modal transit facilities will be provide as needed to allow inter and intra-transit for Acacia Ranch and the City of Casa Grande.
- The path and trail system within Acacia Ranch will provide local and regional connections.
- Acacia Ranch has the principal arterial Val Vista Boulevard to the north, and the new major collector along the Peart Road Alignment name Camino Mercado that will bring traffic to the Val Vista to the north and McCartney to the South. A preliminary traffic analysis illustrates that said roads are sufficient to serve the project and while continuing to serve the community at large at an acceptable level.
- The water and wastewater solutions for Acacia Ranch and the City assure that proposed use will not diminish the assured water supply nor will it diminish the ability to convey and treat wastewater.
- Acacia Ranch will coordinate all facilities as part of the development to make sure that there is no negative impact on surrounding developments.
- An integrated landscape theme will be developed throughout the project. The quality and consistency of the landscape will be assured through maintenance by the HOA.
- Acacia Ranch has standards that meet the intent of the PAD Residential Design Standards of the City.
- Due to the nature of the site, natural area drainage ways are limited. Those that do exist will be preserved from mass grading.
- Though not required by the general plan, Acacia Ranch will provide an approximate ten-acre Community park and major linear greenbelt system with regional open space links.
- Acacia Ranch will provide an approximate twelve-acre elementary school site if required.

5.0 Relationship to Surrounding Properties

Located to the north side of Val Vista Road are vacant undeveloped land and an existing recreational vehicle park developed in the mid 1980s. Copper Vista PAD, located at the northwest corner of Val Vista Road and Pinal Avenue/SR 387, is under construction and sell homes; it is planned for 206 single-family homes. As well as undeveloped State Land parcels.

Vacant undeveloped land also lies to the south and west of the site and includes the Villago PAD and McCartney Center PAD (both currently under development) as well as several other ownerships. The Arroyo Grande PAD is not immediately adjacent to the site, but it is less than a quarter mile to the southwest and is comprised of single-family homes. The McCartney Center PAD includes plans for 617 single-family homes, multi-family residential and commercial land uses fronting the west side of the I-10 right-of-way and Rancho Paseo is entitled for 6,108 dwelling units as well as employment and commercial land uses.

Exhibit G - Adjacent Developments & Land Use

6.0 Access To The Site

Primary access to the site is provided from Val Vista Boulevard to the north. The major traffic to and from the site will travel along the Pinal Avenue (SR 387) from Interstate-10 and overtime along the south utilizing McCartney Road. Minor connections will also be made to collectors that will run east to west and both loop through the project and connect to Villago and south to McCartney Center. All infrastructure and circulation has been designed in accordance with sound planning and engineering principles.

7.0 Circulation System and Street Improvements

The primary entry into the project will occur from the north, Val Vista Boulevard, where the traffic will enter along the approximate Peart Road Arterial alignment on Camino Mercado, a major collector. Over time, in later phases of development, access will also occur from the south along the same alignment. Central to the site there will be a collector that is tentatively named Camino Mercado that will access residential parcels east of the Peart Road Arterial alignment. In an effort to limit the crossings of the of the El Paso Gas Line easement, the Peart Road collector alignment (Camino Mercado) parallels the alignment and bows to the east near the current Daley property in order to create logical and collector accessible parcels. There will also be a minor collector traveling to McCartney Center to handle traffic to the McCartney center services. All roads will be improved to AASHTO and/or current City of Casa Grande engineering standards and the developer will pay their pro-rata share of development based on the development agreement that governs the property. The developer is also currently working with ADOT and FHWA to accommodate an interchange at Interstate 10 and Val Vista Boulevard. The interchange will ultimately serve the northern Casa Grande region including regional employment and commercial uses.

8.0 Public Facilities

Acacia Ranch is located within both the Casa Grande Elementary School District and the Casa Grande Union High School District. An elementary school site will be provided, if required, in Acacia Ranch.

This residential development will include usable greenbelts, open space areas and other passive recreational amenities as noted previously throughout this document. Active recreational amenities are proposed within Acacia Ranch and in particular within the ten (10) acre public park. With the other approved PAD's adjacent the project there will be several other public recreational areas or parks near the site.

9.0 Phasing Plan

The project is proposed to be developed in three phases as illustrated on the **Conceptual Phasing- Exhibit H**, included within this document. The phasing plan is preliminary at this time, and is subject to modifications depending on market conditions and absorption rates. A more detailed phasing plan, meeting the approval of the City Engineer and Planning and Development Director will be established during the Preliminary Plat review process. The phasing will general be from north to south along the proposed Peart Road Alignment.

10.0 Utilities

Any utilities running through the site or any utilities that need to be relocated for development of the property will be placed underground except as approved by the City Council. Any power lines under 69KV shall be placed underground, anything larger than 69KV shall be permitted to remain above ground without approval by City Council. Information about non-City utilities will be provided with submittal of the first preliminary plat for the Project.

10.1 Sewer

The Acacia Ranch sanitary sewer facilities will ultimately provide service to approximately 2,330 homes and 124 acres of commercial property within the development. Design wastewater flows for residential areas will be based on an average household size of 2.8 persons per household and an average unit flow of 100 gallons per day per person. The design wastewater flows for commercial areas will be based upon 1,500 gal per acre per day. The Acacia Ranch wastewater facilities will be designed and constructed in accordance with Arizona Administrative Code Title 18, Chapter 5 and with approval of the City of Casa Grande.

The site generally slopes from northeast to southwest at approximately 1 percent. Interstate 10 divides the site into 2 unequal parcels. Approximately 42.9 acres of land is located northeast of the interstate. The remainder is located southwest of the interstate. It has not yet been determined how the northeast parcel will ultimately be provided service. There are

two options for collecting sewer from this parcel: run a lateral under the interstate to pick up the flows and direct them through the southern parcel; or connect to a future system on the east side of the interstate.

The southern parcel will be served by a gravity collection system. Interior pipe sizes are expected to range from 8" to 15" to be determined with final layout. There are currently plans being reviewed by the City for a 27" sewer line in McCartney Road to serve the proposed Villago Community. This proposed line will extend from Trekell Road to Thornton Road where it connects to the City's existing sewer system and ultimately, to the City's wastewater treatment facility. The existing sewer line in Thornton Road is a 27" line. The sewer in Villago runs north along Trekell and into the Villago Community. A connection will be made through Acacia Ranch to the proposed sewer in Villago. The proposed 27" line in McCartney will need to be upsized to 30" to handle the flows from both projects. The existing City sewer in Thornton currently has the capacity to handle the flows coming from the proposed 30" line. Portions of the Villago sewer will also need to be upsized to accommodate additional flows from Acacia Ranch. Pipe sizes will be determined based on final layout.

10.2 Potable Water

Most of Acacia Ranch lies within the Arizona Water Company's (AWC) CC and N, and they will serve the project. Currently, the west half of the northeast quarter of section 27 is not located within the AWC CC and N. The developer will be working with AWC to bring it into their CC&N. Multiple connection points are planned.

The parcel south of I-10 will connect to the north to the existing 12" main in Val Vista Boulevard, to the west to the proposed 12" main in Villago, and to the south to a proposed 12" main in Tucker Road through the McCartney Center community. The main extension will consist of a 12" main to connect all three points and will serve the entire site. Water mains varying in size from 6" to 12" in the interior will serve the future residential and commercial parcels. Acacia Ranch lies within one pressure zone (AWC's "upper" zone) and therefore no booster stations will be required. The southern boundary of Acacia Ranch is also the location of a zone split between the upper zone and lower zone. Because of this change in zones, a pressure regulating station will be needed at the connection to the proposed 12" main in McCartney Center.

We are designing the residential and the commercial fire flow per Uniform Fire Code standards to insure adequate fire protection.

10.3 Electric Power

Acacia Ranch has electric service along Val Vista Boulevard. Arizona Public Service (APS) will provide power.

10.4 Natural Gas and El Paso Natural Gas

- A. Natural Gas – There is currently no natural gas supplier to this site.
- B. El Paso Natural Gas – There is an existing high-pressure gas line traversing the site from approximately the East Quarter corner of the project to the South Quarter corner. Any and all proposed construction within the easement will have to be approved by El Paso Natural Gas Company. In addition, prior to any construction the line must be physically located, both horizontally and vertically with an El Paso Natural Gas Company representative on site. No connections can be made to the high-pressure gas line.

10.5 Telephone

Qwest will be providing telephone service to Acacia Ranch.

10.6 Sanitation

The City of Casa Grande will provide service and approve the design. This approval is part of the package that is sent to the State Real Estate Department after each final plat is recorded.

11.0 Grading and Drainage Concept

The grading and drainage concept for Acacia Ranch consists of providing retention basins within the proposed open space areas as required. The property will be graded to drain toward the retention basins. The streets will be designed per the City of Casa Grande criteria to convey all onsite storm water runoff to the retention basins. All drainage facilities will be designed in accordance with generally accepted engineering practices and in compliance with the City of Casa Grande requirements. Offsite storm drainage will be accommodated through adequately designed water conveyance systems. Final drainage and retention reports and plans, meeting the approval of the City Engineer, are required prior to the recording of the PAD Plat or the approval of any Final Subdivision Plats for this project. A Conceptual Grading and Drainage Design Report will be submitted to and approved by City Engineer prior to approval of the Preliminary Plat for the site. Final drainage reports and plans, meeting the approvals of the City Engineer, are required prior to the approval of any Final Subdivision Plats for this project.

The retention basins will be designed as multi-use facilities, combining retention facilities with playground equipment and recreational opportunities. Drywells may be used as recommended by the City Engineer.

12.0 Tree Preservation

The site currently has some trees along the minor wash corridors and the developer shall work with the City Planning and Development Department to develop a plan for identifying and preserving and/or relocating all large (specimen type) desert trees existing on the site. However the quality of many of the trees is poor and due to the agricultural nature of almost half of the site there are few trees that are expected to be salvages.

13.0 Residential Covenants, Conditions, & Restrictions

In order to assure residents that their investment in the project and home will endure, Acacia Ranch will be controlled by a strong set of Covenants, Conditions, and Restrictions (CC&Rs). The CC&Rs will incorporate the design principals as outlined in this document and will promote diversity in home sites, color, texture, and streetscapes, not only from neighborhood to neighborhood but also from neighbor to neighbor. The CC&Rs will be presented to the City Planning and Development Director for review and approval prior to the approval of any Final Subdivision Plats.

14.0 Homeowners Association

An HOA will be formed with the development of Acacia Ranch. The HOA will maintain all landscape tracts, perimeter walls, and open space areas including drainage ways, perimeter walls and landscaping within rights-of-ways located within the project. The HOA, however, will not be responsible for the maintenance within the Interstate 10 right-of-way.

15.0 Conclusion

Acacia Ranch is a community that is designed to address the constraints of the Val Vista area and Interstate 10, while responding to the surrounding current and proposed uses. The community is designed around open space that will allow both residents of Acacia Ranch and the community at large to enjoy recreation opportunities at Acacia Ranch. The community is designed to allow residents to reach the amenities and services utilizing non-vehicular transportation while having access to all the resources Casa Grande has to offer.

Acacia Ranch

Casa Grande, Arizona
Exhibit - A
Regional Context



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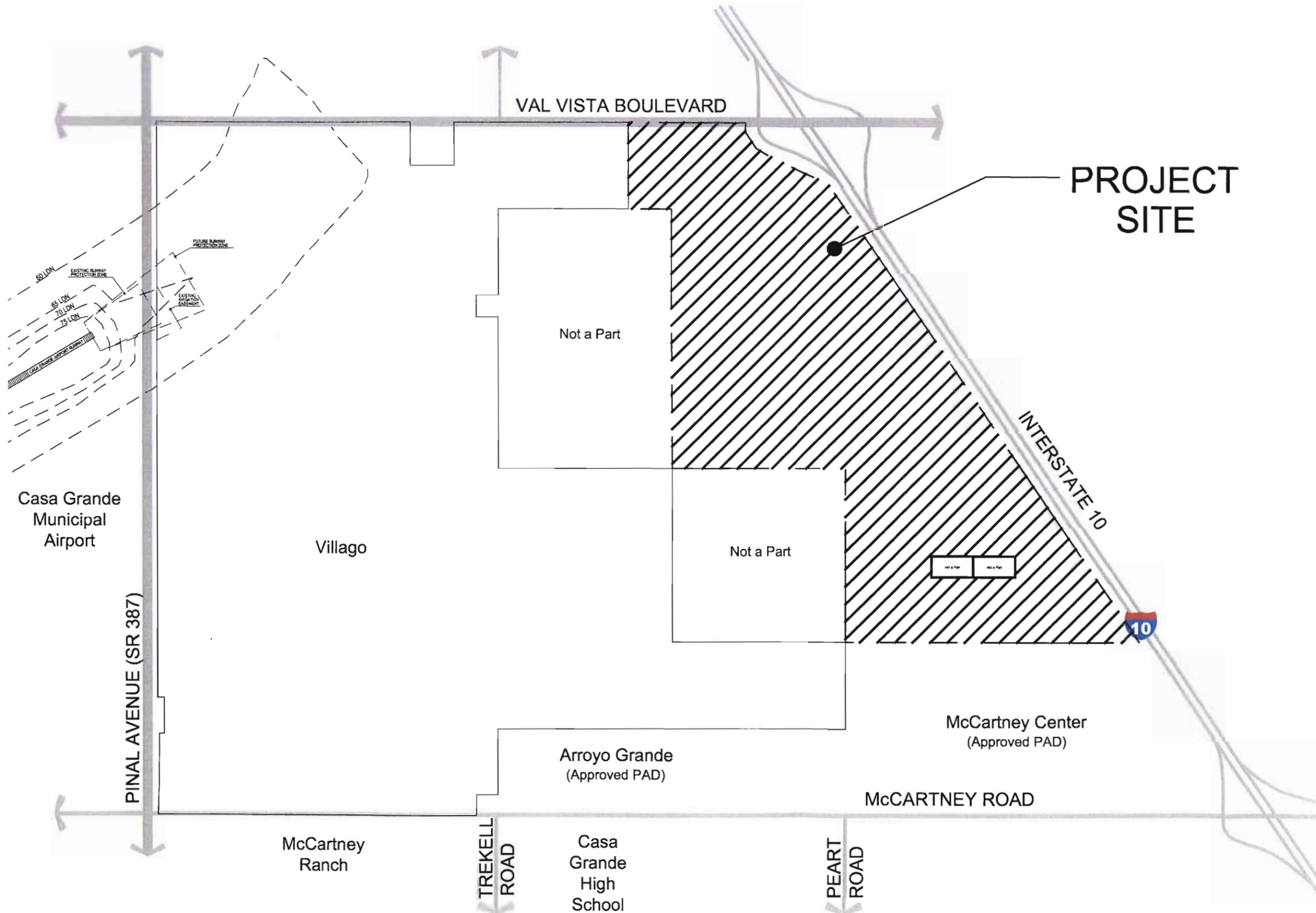
HADLEY DESIGN
GROUP
7272 E. Indian School Rd. Suite 472
Scottsdale, Arizona 85251
Tel. 480.429.0500 Fax. 480.429.0501



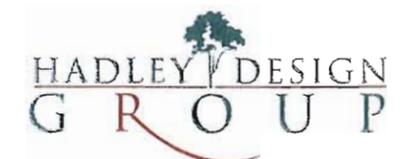
Date: 17 March 2006
Submittal Date: 22 December 2005
1st Revision: 20 February 2006
2nd Revision: 17 March 2006

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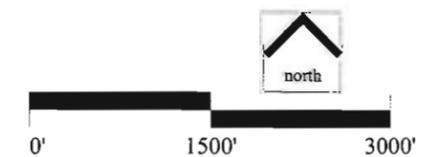
Casa Grande, Arizona
 Exhibit - B
 Vicinity



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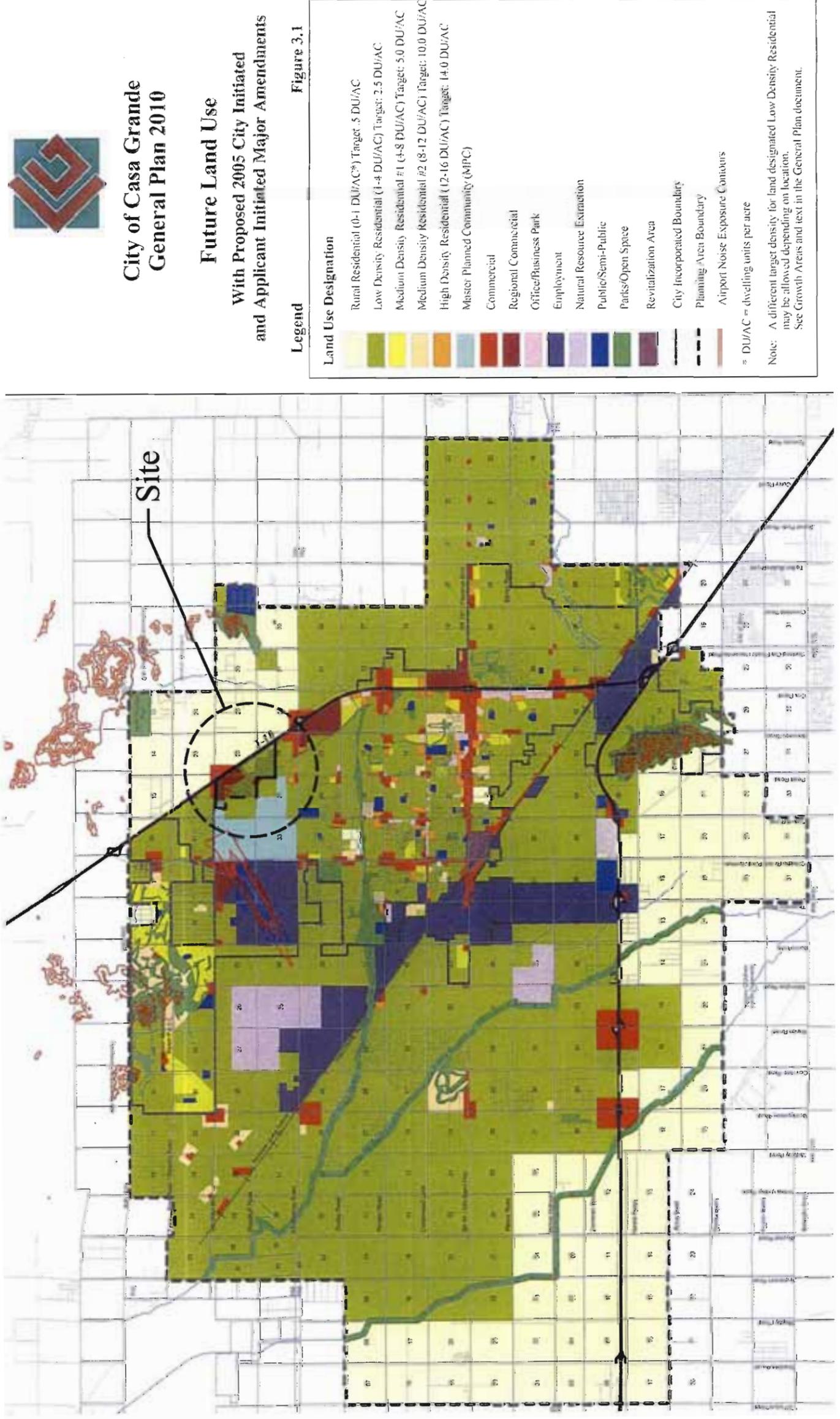
Acacia Ranch

Casa Grande, Arizona

Exhibit - C

Casa Grande

General Plan



City of Casa Grande General Plan 2010

Future Land Use With Proposed 2005 City Initiated and Applicant Initiated Major Amendments

Legend Figure 3.1

Land Use Designation	Target
Rural Residential (0-1 DU/AC*)	Target: 5 DU/AC
Low Density Residential (1-4 DU/AC)	Target: 2.5 DU/AC
Medium Density Residential #1 (4-8 DU/AC)	Target: 5.0 DU/AC
Medium Density Residential #2 (8-12 DU/AC)	Target: 10.0 DU/AC
High Density Residential (12-16 DU/AC)	Target: 14.0 DU/AC
Master Planned Community (MPC)	
Commercial	
Regional Commercial	
Office/Business Park	
Employment	
Natural Resource Extraction	
Public/Semi-Public	
Parks/Open Space	
Revitalization Area	
City Incorporated Boundary	
Planning Area Boundary	
Airport Noise Exposure Contours	

* DU/AC = dwelling units per acre

Note: A different target density for land designated Low Density Residential may be allowed depending on location. See Growth Areas and text in the General Plan document.

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0' 10,000' 20,000'

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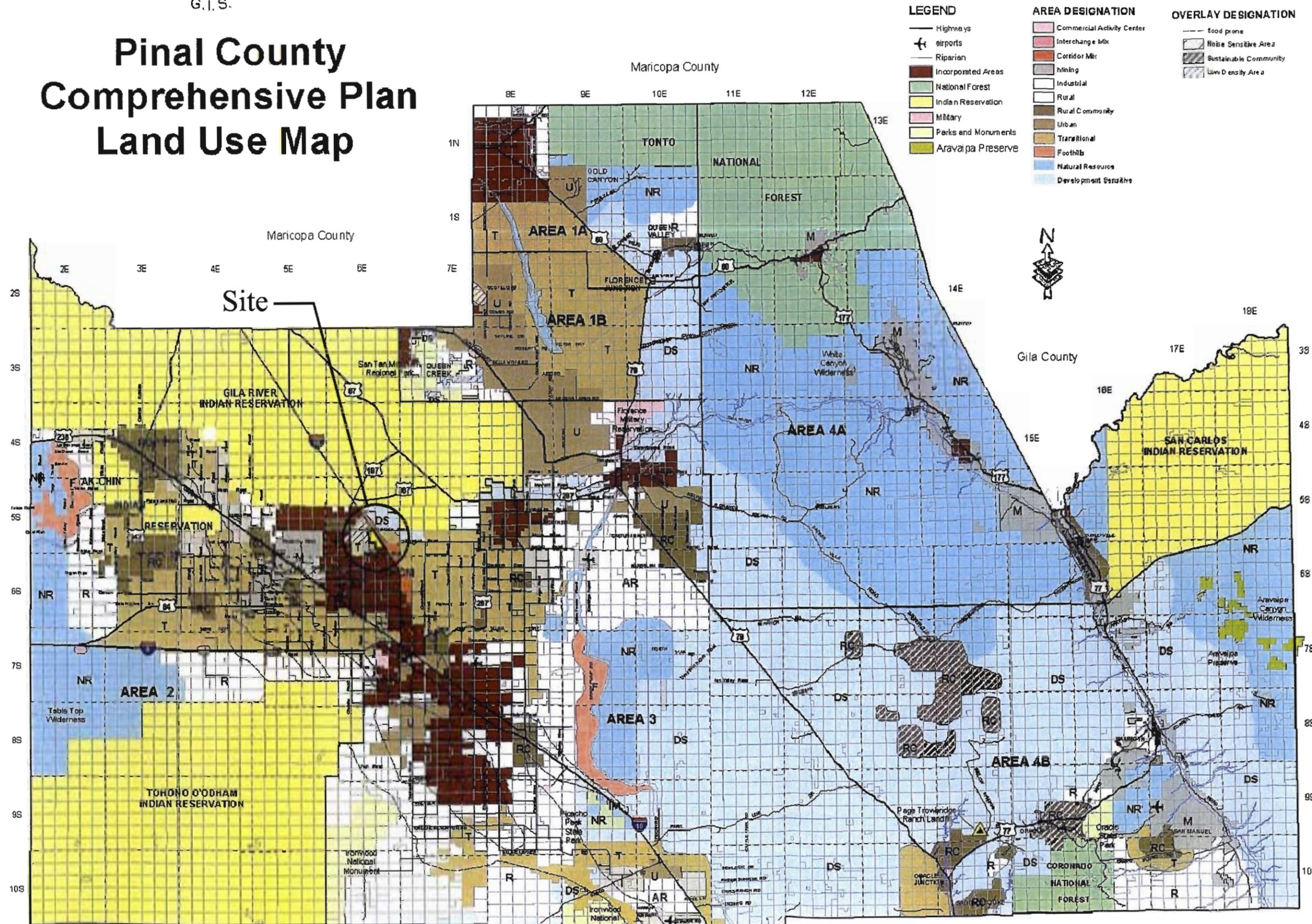


Acacia Ranch

Casa Grande, Arizona

Exhibit - D Pinal County Land Use Map

Pinal County Comprehensive Plan Land Use Map



LEGEND

- Highways
- ✈ airports
- Riparian
- Incorporated Areas
- National Forest
- Indian Reservation
- Military
- Parks and Monuments
- Aravaipa Preserve

AREA DESIGNATION

- Commercial Activity Center
- Interchange Mix
- Corridor Mix
- Mining
- Industrial
- Rural
- Rural Community
- Urban
- Transitional
- Foothills
- Natural Resources
- Development Sensitive

OVERLAY DESIGNATION

- flood prone
- ▨ Noise Sensitive Area
- ▨ Sustainable Community
- ▨ Low Density Area

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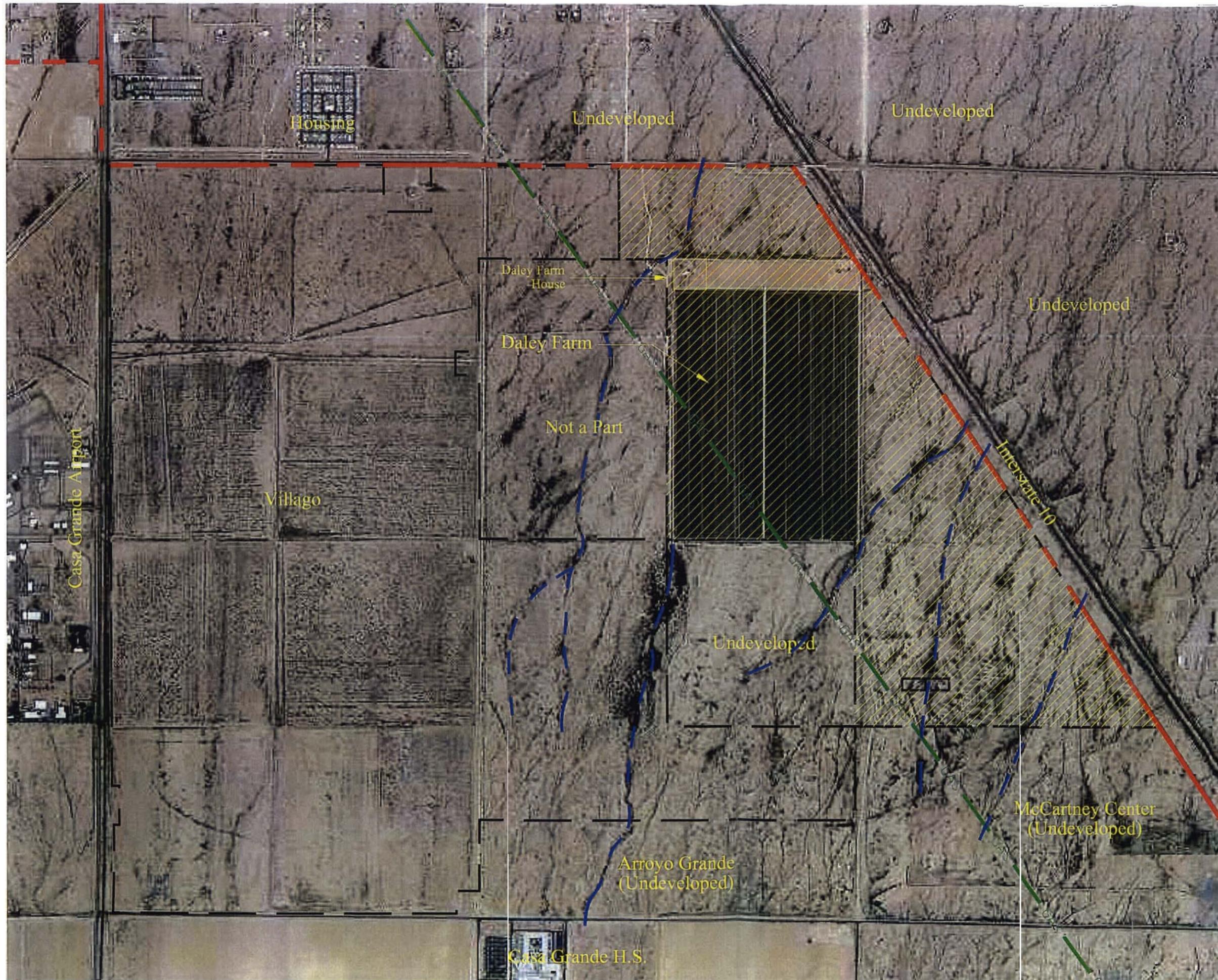
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Acacia Ranch

Casa Grande, Arizona
Exhibit - E
Existing Conditions



LEGEND

-  Site
-  Gas Line
-  Existing Washes
-  Casa Grande City Boundary

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0' 2500' 5000'

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Acacia Ranch

Casa Grande, Arizona

Exhibit - F

Land Use Plan



LAND USE SUMMARY TABLE
OVERALL

LAND USE	LAND USE DESIGNATION	DWELLINGS PER ACRE	TARGET DENSITY	GROSS ACREAGE	PROJECTED DWELLING UNITS
 LDR	Low Density Residential	1.0 - 4.0	3.5	387.36	1355
 MDR1	Medium Density Residential	4.0 - 8.0	5.0	85.89	430
 MDR2	Medium Density Residential	8.0 - 12.0	10.0	19.29	190
 HDR	High Density Residential	12.0 - 16.0	14.0	20.22	283
 C	Commercial	n/a	n/a	123.93	n/a
 OS	Linear Park	n/a	n/a	28.84	n/a
SUBTOTALS:				665.53	2,258

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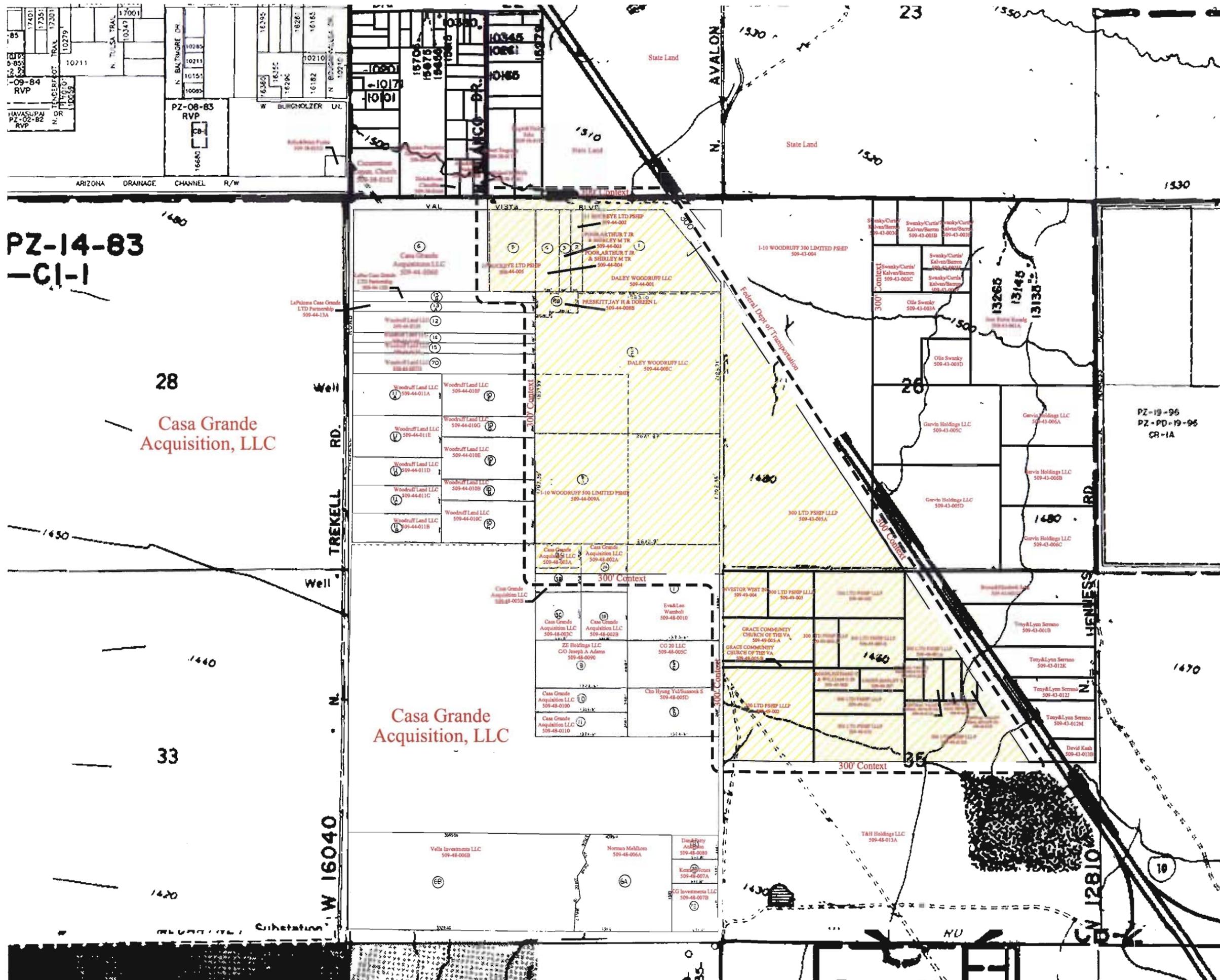
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Exhibit - G

Adjacent Ownership



PZ-14-83
-CI-1

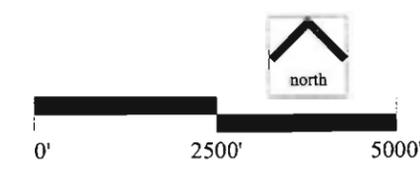
28
Casa Grande
Acquisition, LLC

Casa Grande
Acquisition, LLC

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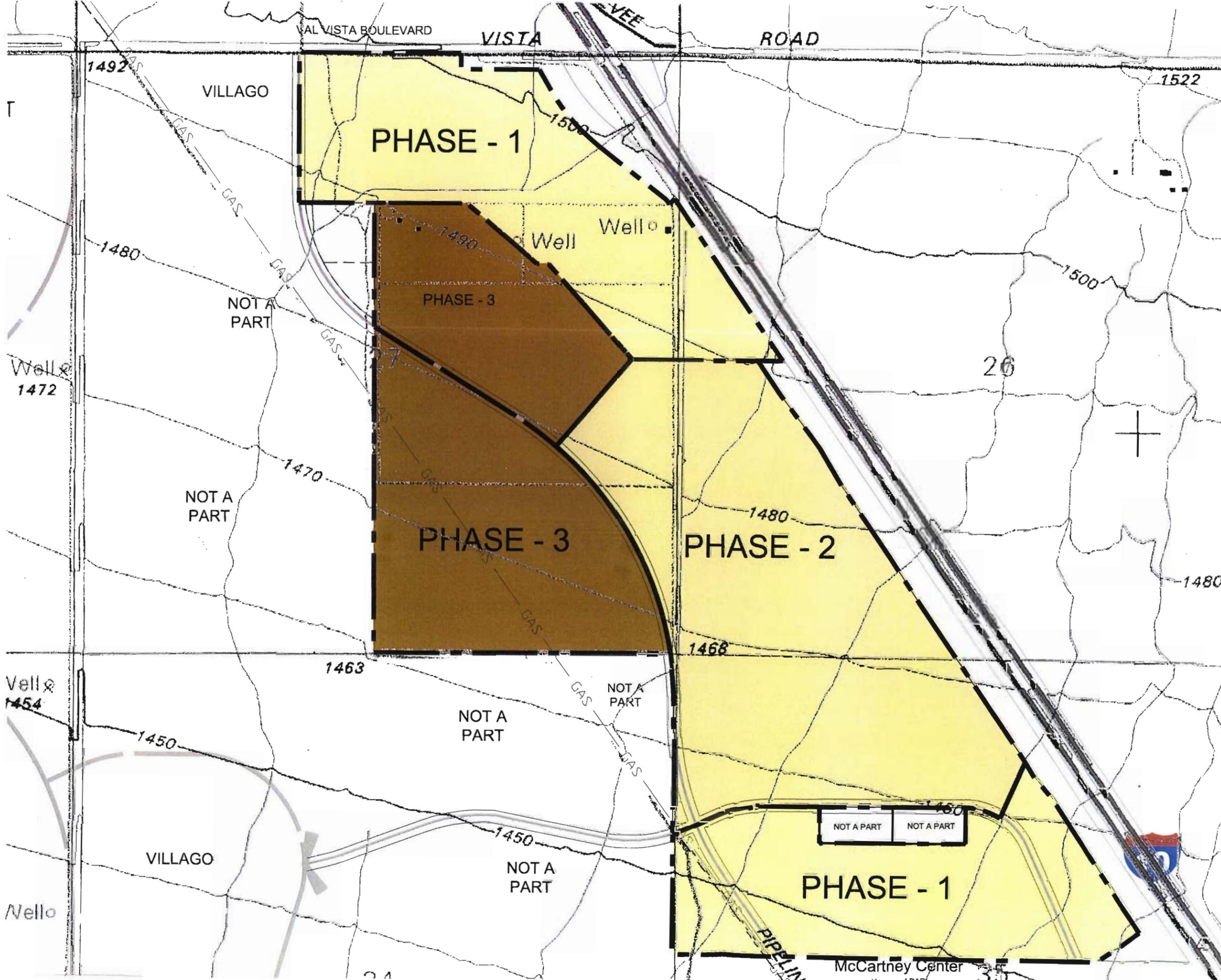


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Exhibit - H
Phasing Plan



LEGEND

-  Phase 1
-  Phase 2
-  Phase 3

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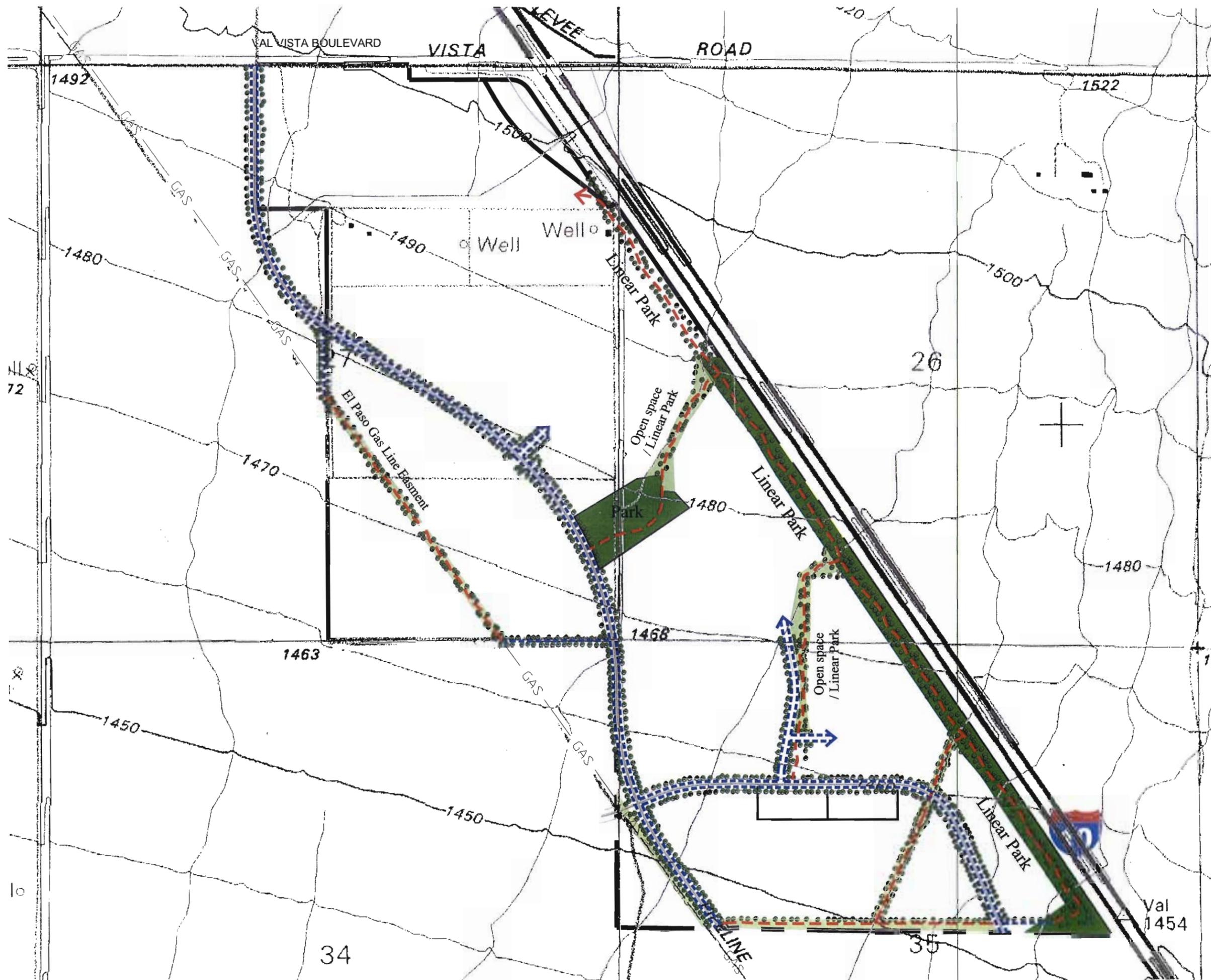


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Acacia Ranch

Casa Grande, Arizona
 Exhibit - I
 Conceptual Open Space
 /Path and Trails Plan



OPEN SPACE LEGEND

- Linear Park
- Open Space & El Paso Gas Easment
- 5' Concrete Path
- 10' Multi Use Concrete Path

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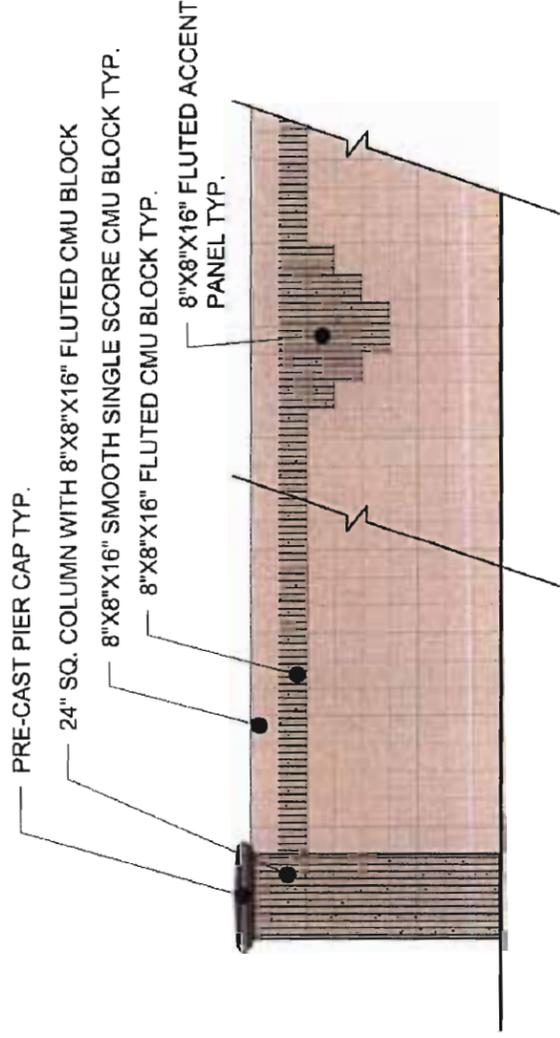
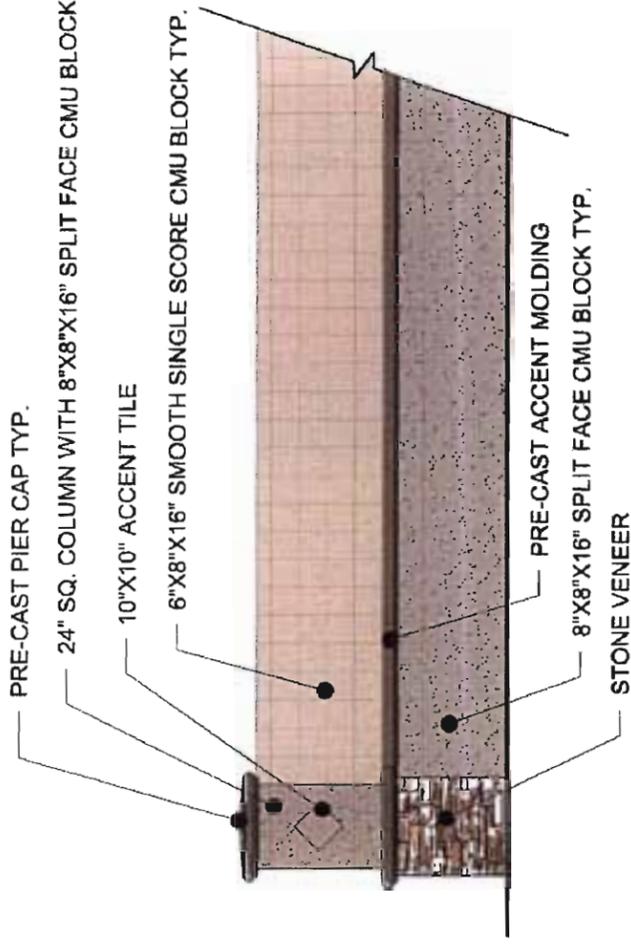
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Acacia Ranch

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Exhibit - J

Perimeter Streetscapes
Wall Concepts

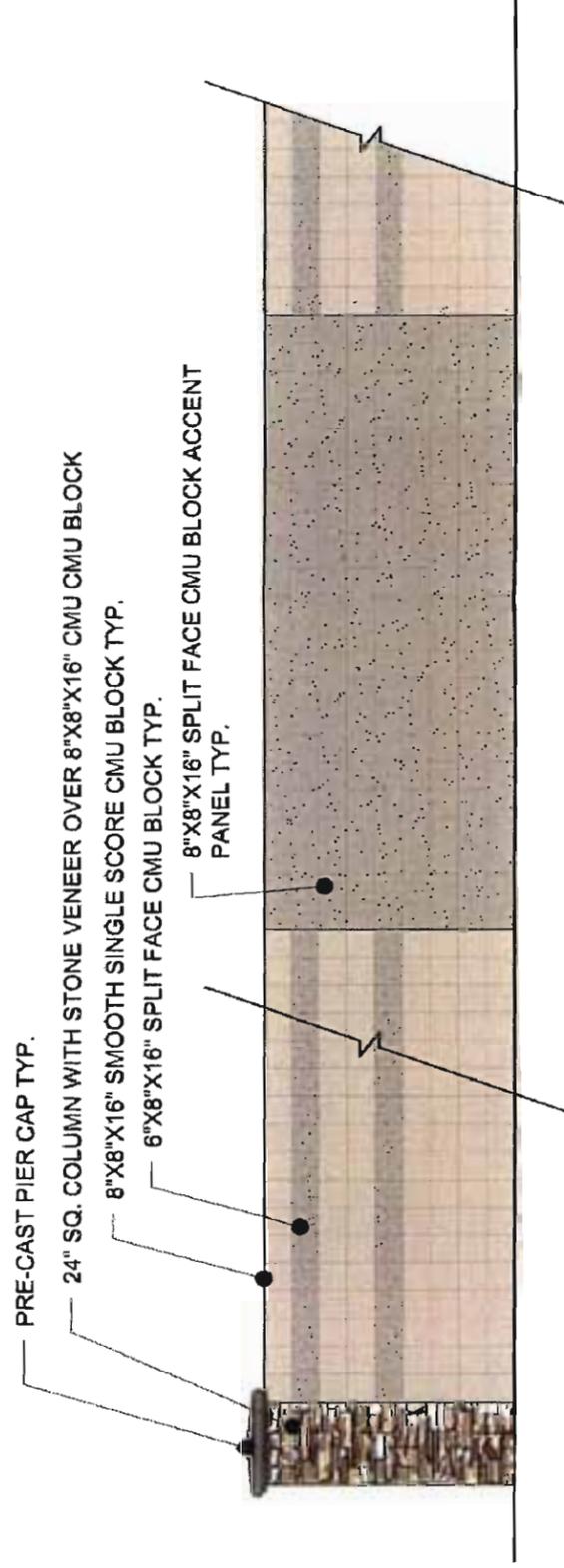


Perimeter Streetscape Wall (Option 1)

Scale: 1/4" = 1'-0"

Perimeter Streetscape Wall (Option 2)

Scale: 1/4" = 1'-0"



Perimeter Streetscape Wall (Option 3)

Scale: 1/4" = 1'-0"

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Exhibit - K

Neighborhood Park

Conceptual

Landscape Plan

5' wide attached community sidewalk

5' wide meandering sidewalk

Concrete plaza

BBQ typ.

16' x 16' Ramada typ.

18" tall seat wall

'Sand digger' typ.

'Spring rider' typ.

6' long bench with back typ.

ADA safety surface

Play Equipment

Sand

Flowering groundcover typ.

Evergreen tree typ.

Small flowering shrub typ.
(2'-3' tall and as wide)

Large flowering shrub typ.
(5'-6' tall and as wide)

Medium sized flowering shrub typ.
(3'-4' tall and as wide)

8" wide concrete header typ.

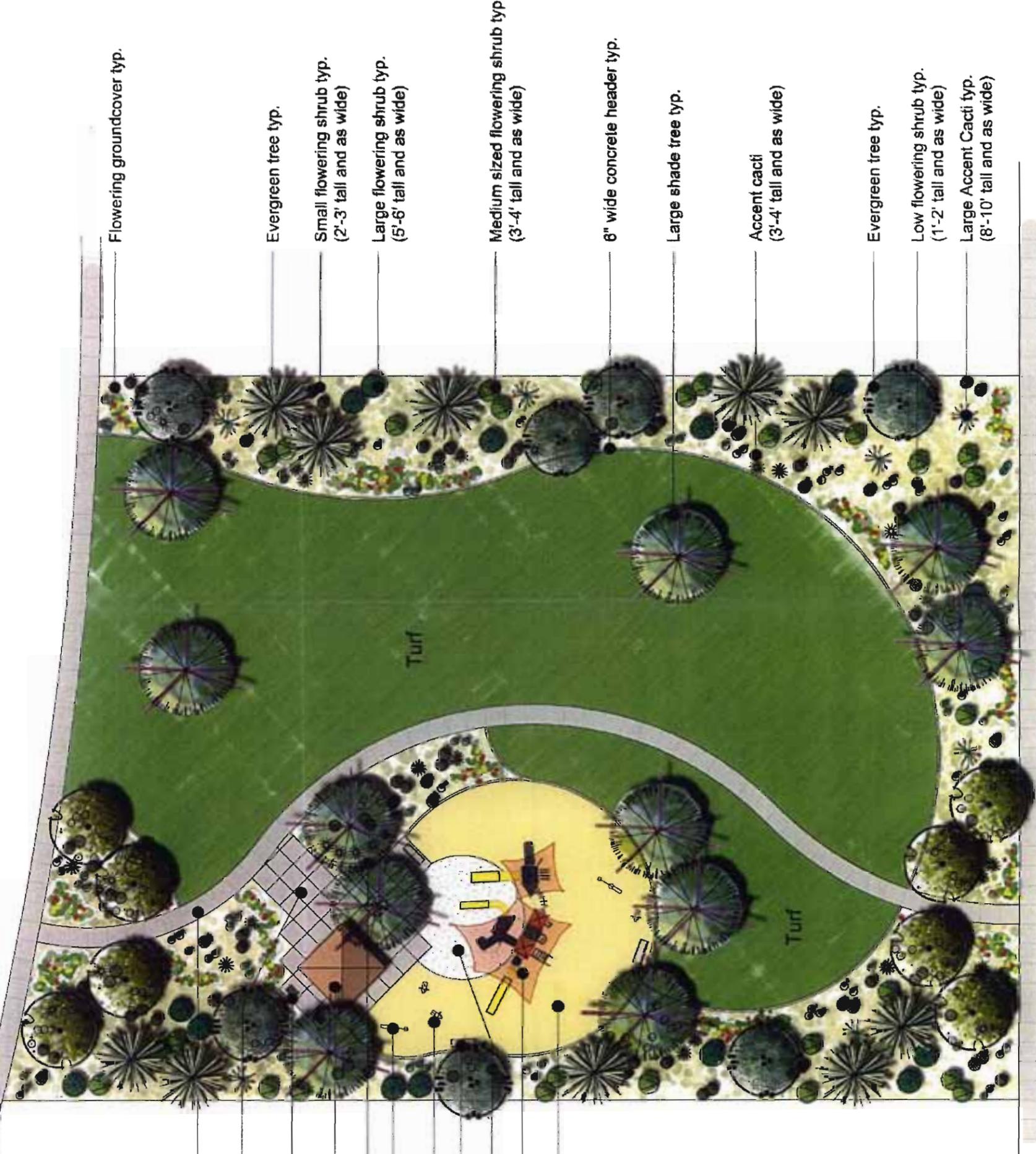
Large shade tree typ.

Accent cacti
(3'-4' tall and as wide)

Evergreen tree typ.

Low flowering shrub typ.
(1'-2' tall and as wide)

Large Accent Cacti typ.
(8'-10' tall and as wide)



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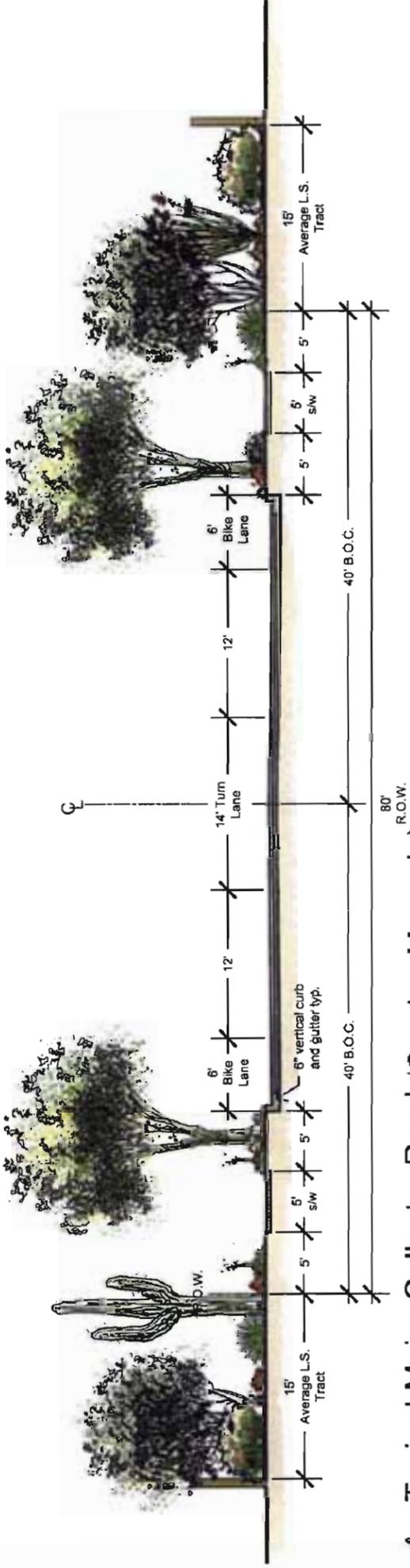
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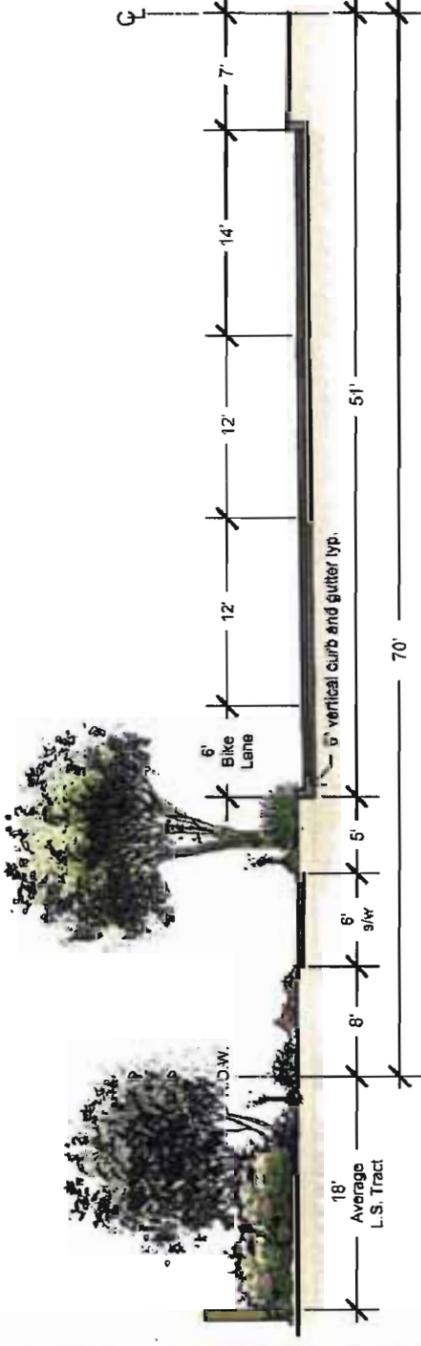
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Exhibit - L

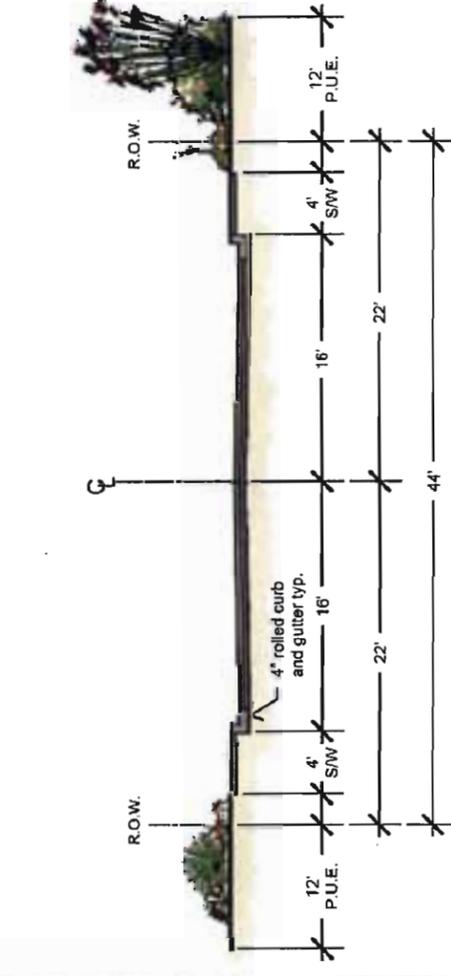
Cross Street Sections



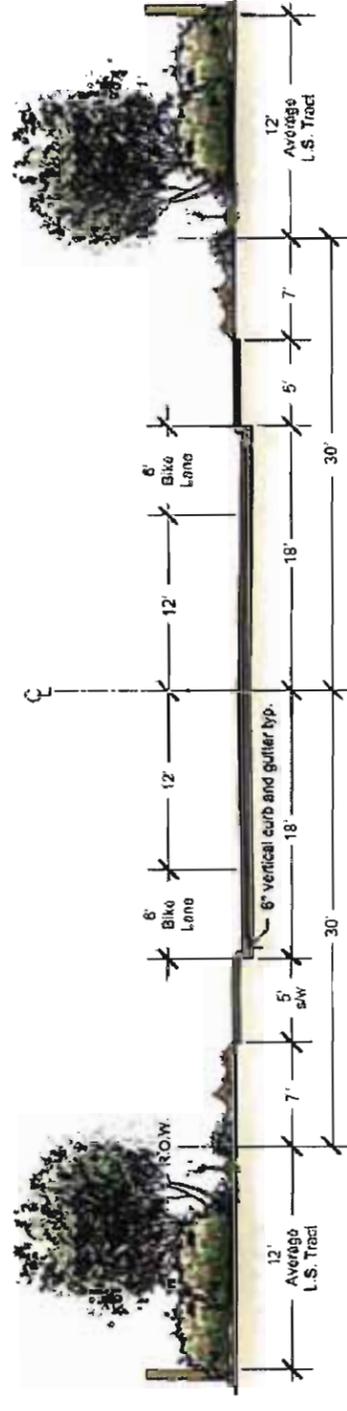
A. Typical Major Collector Road (Camino Mercado)



B. Typical Principle Arterial Half-Street (Val Vista)



C. Local Street



D. Typical Minor Collector Road

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Acacia Ranch

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Exhibit - M

Trail Plan Enlargement

Large accent cacti (heights to vary between 8'-20')

Large evergreen trees typ.

10' wide multi use trail

Perimeter wall typ.

6" wide concrete header typ.

Large canopy tree typ.

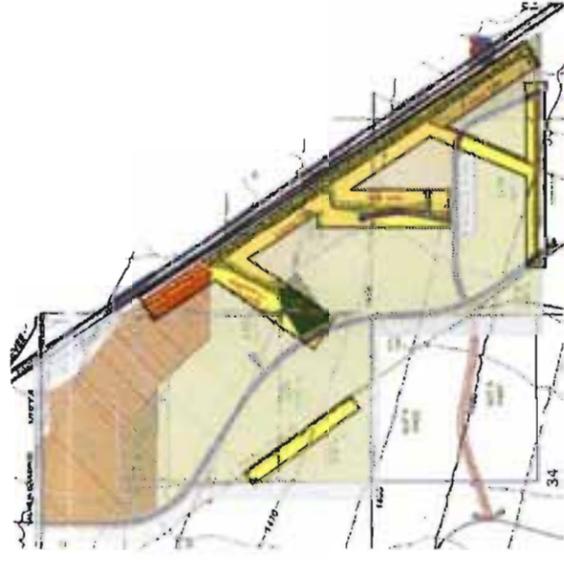
Large shade tree typ.

Decomposed granite typ.



Medium sized flowering shrub typ.
(3'-4' tall ans as wide)

Accent cacti (3'-4' tall and as wide)



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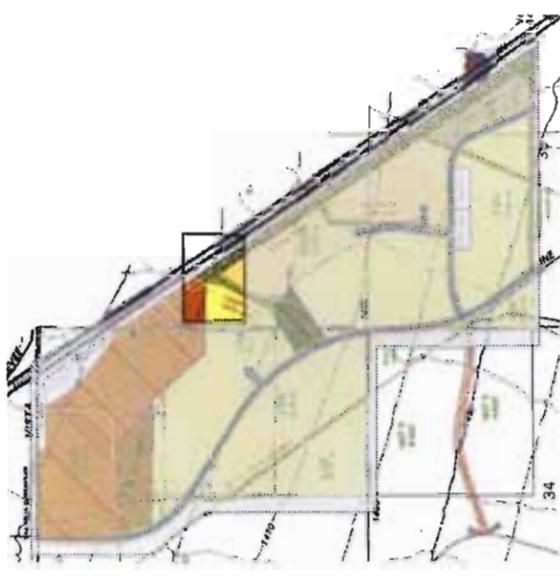
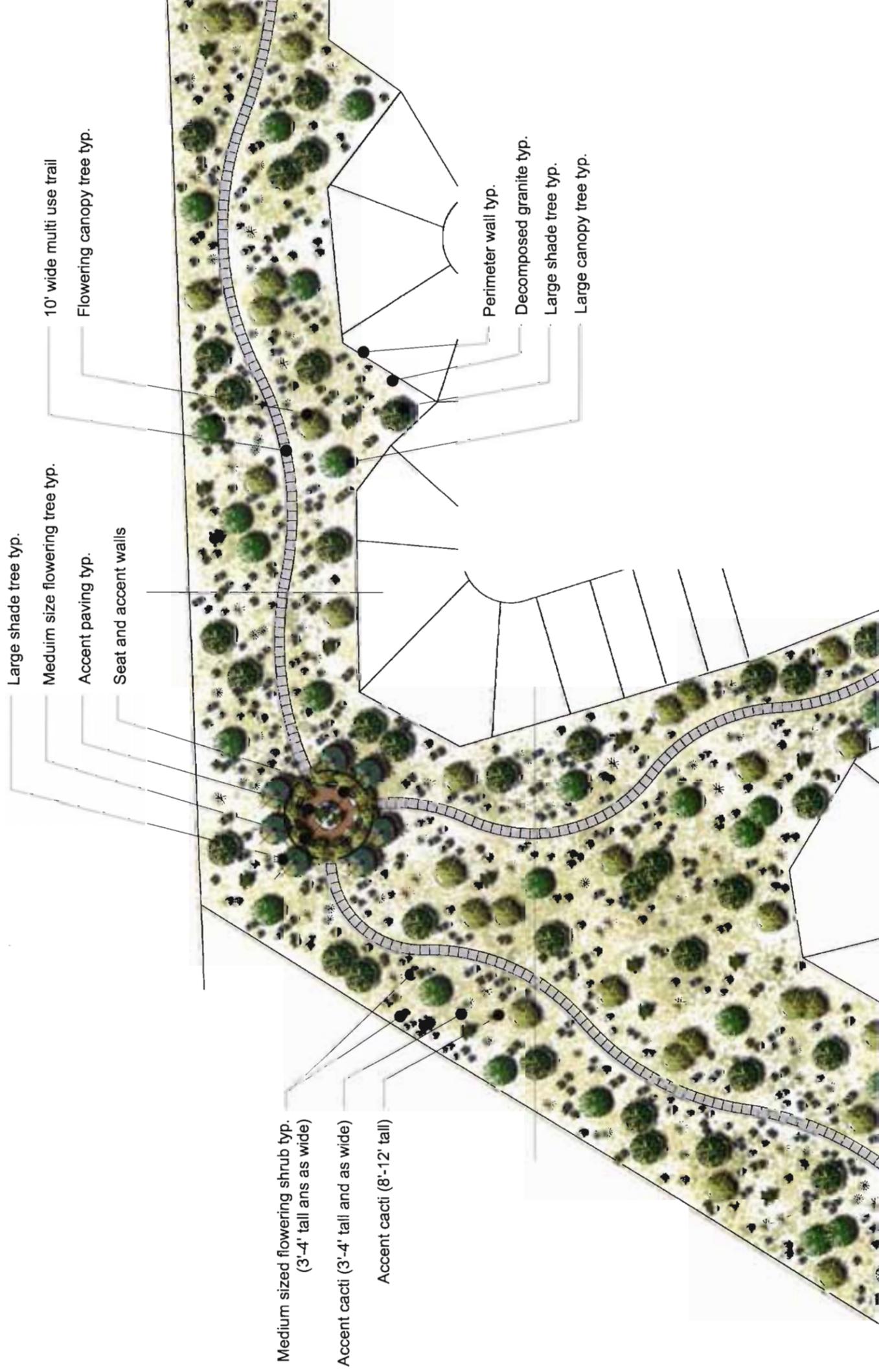
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Acacia Ranch

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Exhibit - N

Trail Head Plan Enlargement



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Exhibit - O

Trail Head Section



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Exhibit - P Trail Section



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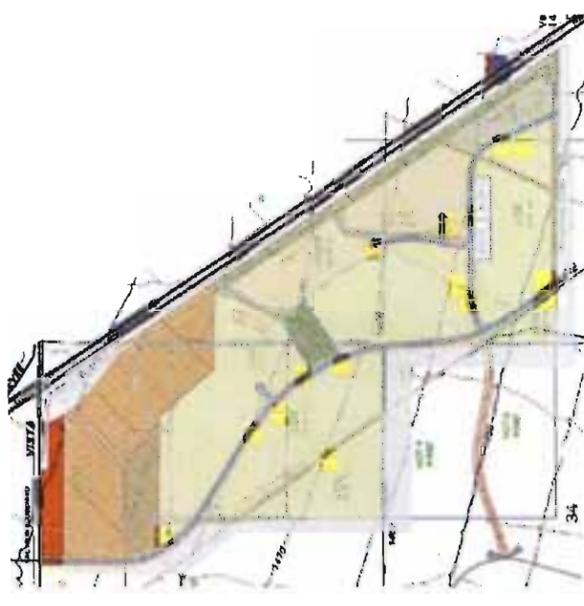
Exhibit - Q Community & Neighborhood Entry Elevations



A. Community Entry Monument Signage



B. Neighborhood Entry Monument Signage



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Exhibit -R

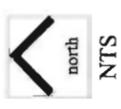
10 Acre Community Park



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Exhibit -S

Neighborhood Pocket Park



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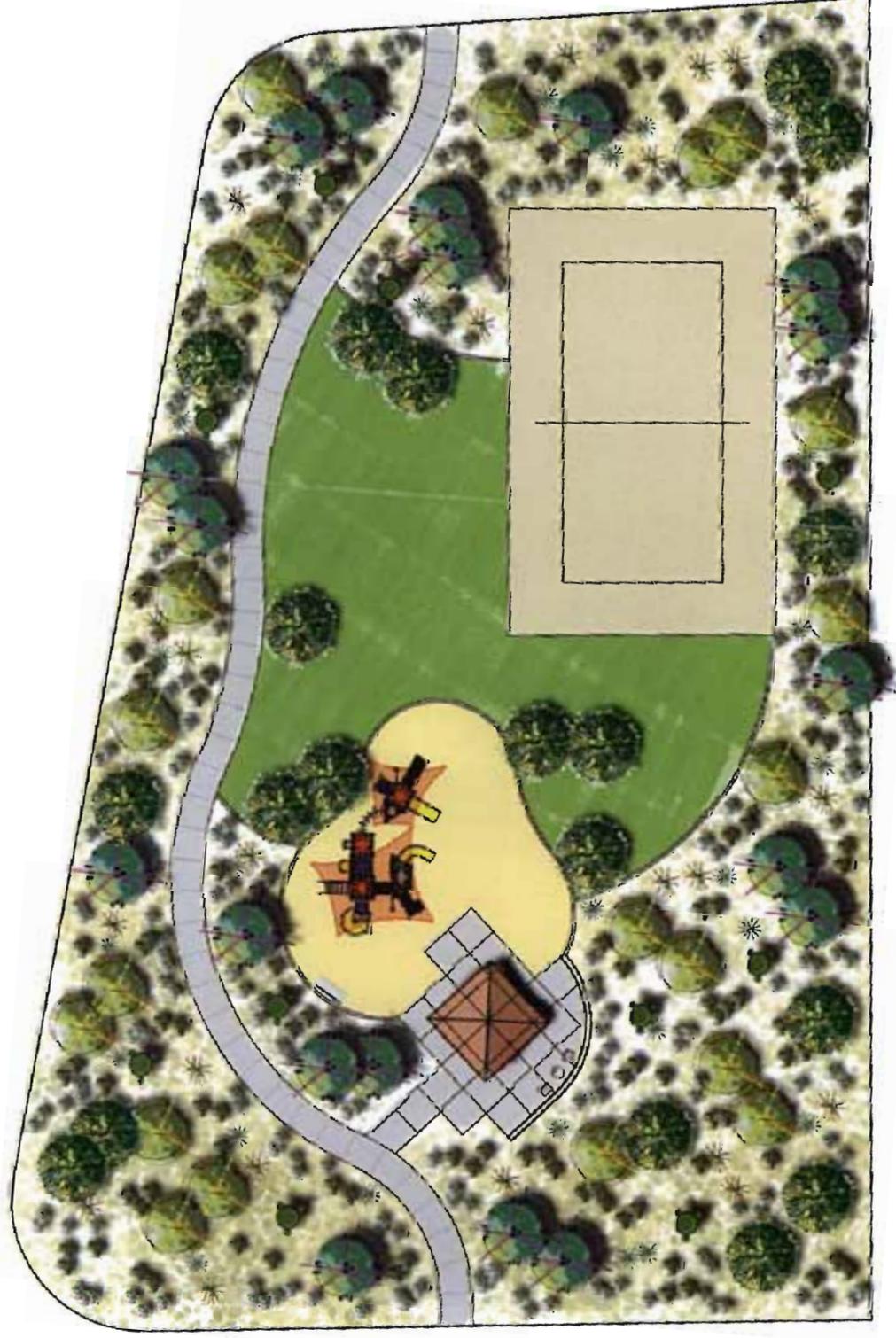
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Acacia Ranch

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Exhibit - T

Neighborhood Pocket Park



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