

AGENDA ITEM _____
DATE _____

Regular Meeting
December 4, 2014

**MINUTES OF A REGULAR MEETING OF THE CASA GRANDE
PLANNING AND ZONING COMMISSION HELD ON THURSDAY,
DECEMBER 4, 2014 AT 6:00 P.M. IN THE COUNCIL CHAMBERS AT
CITY HALL, 510 E. FLORENCE BOULEVARD, CASA GRANDE,
ARIZONA.**

I. Call to Order/Pledge:

Chairman Lavender called the meeting to order at 6:00 p.m.

II. Roll Call:

Members Present:

Chairman Jeffrey Lavender
Vice-Chairman Mike Henderson
Member David Benedict
Member Ruth Lynch
Member Fred Tucker
Member Stephen Gentzkow

Absent:

City Staff Present:

Paul Tice, Planning and Development Director
Laura Blakeman, Planner
Melanie Podolak, Administrative Assistant
Mark Graffius, Assistant City Attorney
Duane Eitel, Traffic Engineer

III. Approval of Minutes:

November 6, 2014

Vice-Chairman Henderson moved to approve the minutes dated November 6, 2014, Member Tucker seconded, a voice call vote was called, and all were in favor.

IV. Changes to the Agenda:

There were no changes to report.

V. New Business:

A. Request by Randy Gilliam, PMG Design Group, for the following land use approval:

- 1. DSA-14-00044: Major Site Plan/Final Development Plan** for a proposed 6,972 square foot O'Reilly Auto Parts store located at 1426 E. Florence Boulevard. (Planner Laura Blakeman)

Laura Blakeman, Planner, came forward and presented a brief overview of the case as stated in the Staff Report. Ms. Blakeman corrected the spelling of the applicant's name, which is noted above. She then stated the case was tabled at the August 2014, Planning Commission meeting to give staff and the applicant additional time to work on the repositioning of the building to meet the Community Center land use form. Ms. Blakeman overviewed the review criteria for a Major Site Plan, citing the building conforms to the Community Center General Plan Land Use, and they meet and exceed the parking for the site. The applicant has also added architectural details to the building. No public comments were received by staff.

Chairman Lavender called the applicant forward.

Randy Gilliam, 1425 N. First Street, Phoenix, applicant, with PM Design Group, came forward to address the Commission. Mr. Gilliam stated if approval is obtained, they are prepared to submit their construction drawings by the end of January or the beginning of February; once approved they will start construction right away.

Chairman Lavender made a call to the public.

Terry Strain, 1412 E. Florence Boulevard, Vice-President/Manager of Western Bank, came forward to address the Commission. Mr. Strain questioned if the curbing between their lot and this proposed development will stay in place or be removed.

Ms. Blakeman noted the curbing will remain in place.

Director Tice commented that the only shared access will be the internal drive to the north of both properties.

Chairman Lavender made another call to the public, no one came forward.

Member Benedict made a motion to approve case DSA-14-00044 Major Site Plan/Final Development Plan for a proposed 6,972 square foot O'Reilly Auto Parts store located at 1426 E. Florence Boulevard. Vice-Chairman Henderson seconded the motion.

The following roll call vote was recorded:

Member Gentzkow

Aye

Member Tucker	Aye
Member Lynch	Aye
Member Benedict	Aye
Vice-Chairman Henderson	Aye
Chairman Lavender	Aye

The motion passed 6 – 0.

B. Request by Daryl Potyczka, for the following land use approval:

- 1. DSA-14-00128: Major Site Plan/Final Development Plan** for a proposed 3,100 square foot Dentistry office located at 1569 E. Florence Boulevard. (Planner Laura Blakeman)
- 2. DSA-14-00185: Final Landscape Plan** for the Dentistry office. (Planner: Laura Blakeman)

Laura Blakeman, Planner, came forward and presented a brief overview of the cases as stated in the Staff Report. Ms. Blakeman clarified that the elevations included in the packet were labeled correctly, but the 11x17, handout is not correct, it was a previous elevation and were all labeled "north". Ms. Blakeman stated the site is located north of the Fiesta Grande RV Park, adjacent to the Desert Professional Center on the west and east of the Heritage Funeral Home. She then overviewed the history of the site, noting lots 3 and 4 of the original Desert Professional Center plat were re-subdivided to create the Desert Office Center plat. In 1996 a Major Site Plan with a 4,950 square foot retail/office building was approved for this site, but never constructed. This request is for the same site but the request is for a 3,100 square foot building. Ms. Blakeman noted the applicant has received approval from the Board of Adjustment for a setback Variance allowing a minimum 10 foot front yard setback where 35 feet is required. She stated this will place the dental office building inline with the Desert Professional Center building. Ms. Blakeman then stated the parking spaces required for this request are all contained within the lot, but in order for this development to work the site needs joint cross-access because six of the existing parking spaces on the east of the building need to be accessed through the Desert Professional Site. Ms. Blakeman pointed out that the cross-access agreement dated 1996, has been included in the Commissioners' packet. Also noting a letter of opposition was received by staff from Mr. Marin. Mr. Marin is one of the condo property owners of the Desert Professional Center; who expressed his concerns with the legality of the cross-access agreement. Ms. Blakeman then overviewed the review criteria for a Major Site Plan, citing this is an infill site and will improve the property's appearance; it will cut down the dust and weeds in the area. She stated the main access point to the site is from Florence Boulevard with a secondary access off of Fiesta Boulevard. Ms. Blakeman addressed the Landscape Plan, stating typically the Commission reviews the Preliminary Landscape Plan; however the applicant has already submitted a Final Landscape Plan. She stated the landscape plan meets and exceeds our code requirements.

Vice-Chairman Henderson questioned if staff has had further discussion with Mr. Marin.

Ms. Blakeman replied "no". She also noted Mr. Marin was not able to attend tonight's meeting.

Director Tice noted that Mr. Marin also expressed these same concerns at the Variance hearing. Staff added a condition of to the Variance that the applicant had to provide the cross-access agreement which they have done, and Mr. Marin has been made aware of the agreement staff received.

Member Lynch commented that in reading the joint use agreement it is pretty cut and dry. She questioned if there is any basis for Mr. Marin's objections.

Director Tice stated in speaking this week with someone else involved with the Desert Profession Center, they raised issues with the legality of the agreement as whether or not the persons who signed the agreement had the authority to do so.

Member Lynch questioned if this is something we should be concerned about or can the Commission act upon the documents they have received.

Mark Graffius, City Attorney, stated the Commission can act upon the document received. He commented that we have to go under the assumption that back in 1996 the people who signed had authority to sign. Mr. Graffius stated the applicant is aware of these issues, so if the Professional Center wants to pursue this and prove the legality of the signatures that will be between the applicant and the Professional Center. Mr. Graffius stated from the City's standpoint the applicant needed a cross-access agreement and one has been provided.

Member Lynch asked if the document has been recorded.

Mr. Graffius replied that generally these types of documents are recorded but this document does not have a recording stamp, so he does not know if it has been recorded. He stated it is a signed agreement and the applicant has the authority to access that corridor.

Director Tice stated that in reviewing the minutes of the prior approved Major Site Plan for this site, it was found that the Planning Commission had postponed consideration of the request until the parties could resolve the cross-access issue. The case was then heard again in January 1996, and received approval. It appears that the access agreement was signed immediately following the Planning Commission approval.

Vice-Chairman Henderson questioned if there is a parking issue.

Ms. Blakeman stated the applicant meets our parking code requirements so there is no issue with the parking. The issue is accessing the parking on the southeast corner of

the site where they will have to cross the other property owner's site to get to the spaces.

Director Tice questioned if Desert Professional Center has adequate on-site parking.

Ms. Blakeman replied "yes"; the applicant did a parking analysis for the entire site.

Chairman Lavender called the applicant forward.

Ron Hecht, 1248 Hillcrest, Mesa, representative for the applicant with Valley Architecture, Inc., came forward to address the Commission.

Chairman Lavender made a call to the public, no one came forward.

Vice-Chairman Henderson made a motion to approve case DSA-14-00128 Major Site Plan/Final Development Plan for a proposed 3,100 square foot Dentistry office located at 1569 E. Florence Boulevard. Member Benedict seconded the motion.

The following roll call vote was recorded:

Member Gentzkow	Aye
Member Tucker	Aye
Member Lynch	Aye
Member Benedict	Aye
Vice-Chairman Henderson	Aye
Chairman Lavender	Aye

The motion passed 6 – 0.

Vice-Chairman Henderson made a motion to approve case DSA-14-00185 Final Landscape Plan for the Dentistry office located at 1569 E. Florence Boulevard. Member Benedict seconded the motion.

The following roll call vote was recorded:

Member Gentzkow	Aye
Member Tucker	Aye
Member Lynch	Aye
Member Benedict	Aye
Vice-Chairman Henderson	Aye
Chairman Lavender	Aye

The motion passed 6 – 0.

C. Request by David Ullrich, Reliant Land Services, for the following land use approvals located at 517 N. Colorado Street:

1. **DSA-14-00211: Conditional Use Permit** for a proposed 70' foot wireless telecommunication tower. (Planner Laura Blakeman)
2. **DSA-14-00212: Minor Amendment to a Major Site Plan** to reflect the location of the wireless communication tower. (Planner Laura Blakeman)

Laura Blakeman, Planner, came forward and presented a brief overview of the cases as stated in the Staff Report. Ms. Blakeman stated the tower is located within the Securlock Storage Facility on the northwest corner of the site. The applicant has received a Variance approval from the Board of Adjustment for the 70 foot wireless telecommunication tower to be 67.6 feet from the west property line and 36 feet from the north property line, where 70 feet is required. Ms. Blakeman noted the tower will look like a palm tree with the ground equipment located in an adjacent storage unit. She then overviewed the Conditional Use Permit review criteria stating no additional traffic will be generated by this request and circulation within the site will not be affected. Ms. Blakeman mentioned this tower will blend in with the existing palm tree tower located on Avenue A. She stated the closest residential area is 163 feet southwest of the site, and 283 feet south of the proposed tower, with the nearest home being 317 feet to the southwest and 410 feet to the southeast. Ms. Blakeman read the condition of approval into record, noting it is tied with the Variance conditional of approval; the tower in the event of structural failure is to collapse entirely on the project site. No public comments were received by staff but Mr. Saba who is the adjacent commercial property owner, expressed concerns when the project was heard by the Board of Adjustment, therefore the condition of approval was added to the Variance and this request.

Vice-Chairman Henderson questioned how it is determined if the tower will collapse instead of falling.

Ms. Blakeman stated the applicant will have to hire a structural engineer and provide the calculations to staff proving the tower will collapse within their site.

Member Lynch commented the staff report cites that the positive effect of this tower is that it will allow additional carriers to co-locate on the same tower; she questioned the existing tower and why this applicant was not able to locate their antennas on that tower.

Director Tice explained that our policy is that all towers should be designed for co-location which will allow additional wireless carriers to use the tower by adding antennas instead of constructing another tower, but when two carriers locate on the same tower their antennas generally need to be 10 to 15 feet apart in order that they do not have radio frequency (RF) interference. So in this case if another carrier was to co-locate with T-Mobile on this 70 ft. tower their antennae would be placed at the 55 ft. height level which likely would not provide them with the service area coverage that they need. He stated that co-location works when the towers are at least 140 feet tall

Member Tucker stated poles do not collapse they fall. He questioned the distance between the pole and the property line.

Ms. Blakeman stated the code is 70 feet from the property line, but the applicant received a variance from the code to be 67.6 feet from the west property line and 36 feet from the north property line.

Chairman Lavender questioned the distant from the tower to Mr. Saba's property.

Director Tice stated 36 feet to the property line, and hundreds of feet away from his building. He then explained staff understanding is that the towers will be constructed in a way that the weakest point will be in the middle, so if the tower breaks it will fall no more then 35 feet.

Chairman Lavender called the applicant forward.

David Ullrich, 7201 E. Scottsdale Road, Scottsdale, applicant with Reliant Land Services, came forward to address the Commission. Mr. Ullrich stated they have structural engineers involved and they will show staff how the tower will fold on itself if it were to fail. He stated they are in agreement with staff's condition.

Chairman Lavender made a call to the public, no one came forward.

Member Lynch made a motion to approve Resolution DSA-14-00211, Conditional Use Permit for a proposed 70' foot wireless telecommunication tower, with the conditions as stated below:

1. The applicant shall provide verification with the building permit submittal, that in the event of structural failure, the tower would fall completely within the property.

Member Gentzkow seconded the motion.

The following roll call vote was recorded:

Member Gentzkow	Aye
Member Tucker	Aye
Member Lynch	Aye
Member Benedict	Aye
Vice-Chairman Henderson	Aye
Chairman Lavender	Aye

The motion passed 6 – 0.

Member Lynch made a motion to approve case DSA-14-00212 Minor Amendment to a Major Site Plan to reflect the location of the wireless communication tower. Member Gentzkow seconded the motion.

The following roll call vote was recorded:

Member Gentzkow	Aye
Member Tucker	Aye
Member Lynch	Aye
Member Benedict	Aye
Vice-Chairman Henderson	Aye
Chairman Lavender	Aye

The motion passed 6 – 0.

VI. Call to the Public:

There were no comments received from the public.

VII. Report by Planning Director:

A. Administrative Approvals:

1. **DSA-14-00173 – Major Site Plan/Final Development Plan-Minor Amendment** – Pueblo Townhomes, 846 N. Pueblo Dr., request to build additional townhomes within the existing site.
Approved October 21, 2014. Planner: Laura Blakeman
2. **DSA-14-00160 - Major Site Plan/Final Development Plan-Minor Amendment** – Wellsprings Therapy Center, 1843 E. McMurray Blvd., request for minor site improvements.
Approved November 18, 2014. Planner: Laura Blakeman.

Ms. Blakeman updated the Commission.

B. Board of Adjustment Decisions:

1. **DSA-14-00166 – Variance Request** – Reliant Land Services, 517 N. Colorado St, from Section 17.68.120B.7a, to allow a 70 foot tall Wireless Telecommunications Tower to be:
 - a. 67.6 feet from the west property line where 70 feet is required.
 - b. 36 feet from the north property line where 70 feet is required.
Approved: November 11, 2014. Planner: Laura Blakeman
2. **DSA-14-00168 – Variance Request** – Dawson Holdings Inc., Kachina Apartments, 316 N. Avenue A, from Section 17.20.450 to allow:
 - a. The northerly apartment buildings on Parcel 1 (505-30-016A) to be 19.5 feet and 19.4 feet from the front property line and to be 17.8

feet and 17.9 feet from the rear property line where 20 foot setbacks are required.

- b. The southerly apartment buildings on Parcel 2 (505-30-035B) to be 19.3 feet and 19.0 feet from the front property line and to be 18 feet and 18.3 feet from the rear property line where 20 foot setbacks are required.

Approved: November 11, 2014. Planner: Laura Blakeman

- 3. **DSA-14-00195 - An Appeal of an Administrative Decision** regarding connection to the public wastewater system for property located at 204 E. McMurray Blvd.

Approved: November 11, 2014. Director Paul Tice

Director Tice updated the Commission on the Board of Adjustment decisions.

C. Monthly Development Center Reports:

Reports given for informational purposes only.

Chairman Lavender noted the next meeting will not be held on the first Thursday due to the holiday. The next meeting will be held Tuesday, January 6, 2015.

VIII. Adjournment:

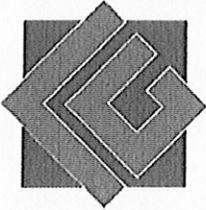
Vice-Chairman Henderson motioned for adjournment, Member Tucker seconded: a voice call vote was called and all were in favor.

Chairman Lavender called for adjournment at 6:52 p.m.

Submitted this 10th day of December 2014, by Melanie Podolak, Administrative Assistant to the Casa Grande Planning & Zoning Commission, subject to the Commission's approval.

Approved this 6th day of Feb, 2015, by the Casa Grande Planning & Zoning Commission.

for Mike Henderson, Vice Chair
Chairman Lavender

	Planning and Zoning Commission STAFF REPORT	AGENDA # _____
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TO: CASA GRANDE PLANNING AND ZONING COMMISSION

FROM: Laura Blakeman, City Planner

MEETING DATE: December 4, 2014

REQUEST

Request by Randy Pulliam, PMG Design Group, for the following land use approval:

DSA-14-00044: Major Site Plan/Final Development Plan for a proposed 6,972 square foot O'Reilly Auto Parts store located at 1426 E. Florence Boulevard.

APPLICANT/OWNER

PM Design Group
 1425 N. First Street, Suite 100
 Phoenix, AZ 85004
 P: 602-457-5757
 Email: rgilliam@pmdginc.com

O'Reilly Auto Enterprises, LLC
 233 S. Patterson
 Springfield, MO 65802

HISTORY

- April 16, 1973: The site was annexed into the City limits of Casa Grande.
- November 16, 1987: The site was given B-2 zoning with the adoption of the Zoning Ordinance.
- February 3, 2005: CGPZ-033-005: The Planning and Zoning Commission approved the Major Site Plan for the Stockmen's Bank.
- July 7, 2005: CGPZ-135-005: The Planning and Zoning Commission approved the Major Site Plan for the Lowe's.
- August 15, 2005: CGPZ-137-005: The City Council adopted Ordinance # 1178.238 approving a Zone Change from B-2 to PAD for the "Lowe's Planned Area Development."
- October 6, 2005: CGPZ-212-005: The Planning and Zoning Commission approved

the Preliminary Plat for the Lowe's PAD.

June 18, 2007: The City Council adopted Resolution # 2825.150 approving CGPZ 198-06 "Lowe's Final Plat."

Dec. 1, 2008: The City Council adopted Resolution # 2825.150.1 approving DSA-08-00111 "Lowe's Re-Subdivision Final Plat."

October 1, 2009: DSA-09-00051: The Planning and Zoning Commission approved the Major Site Plan for the Eegee's Restaurant.

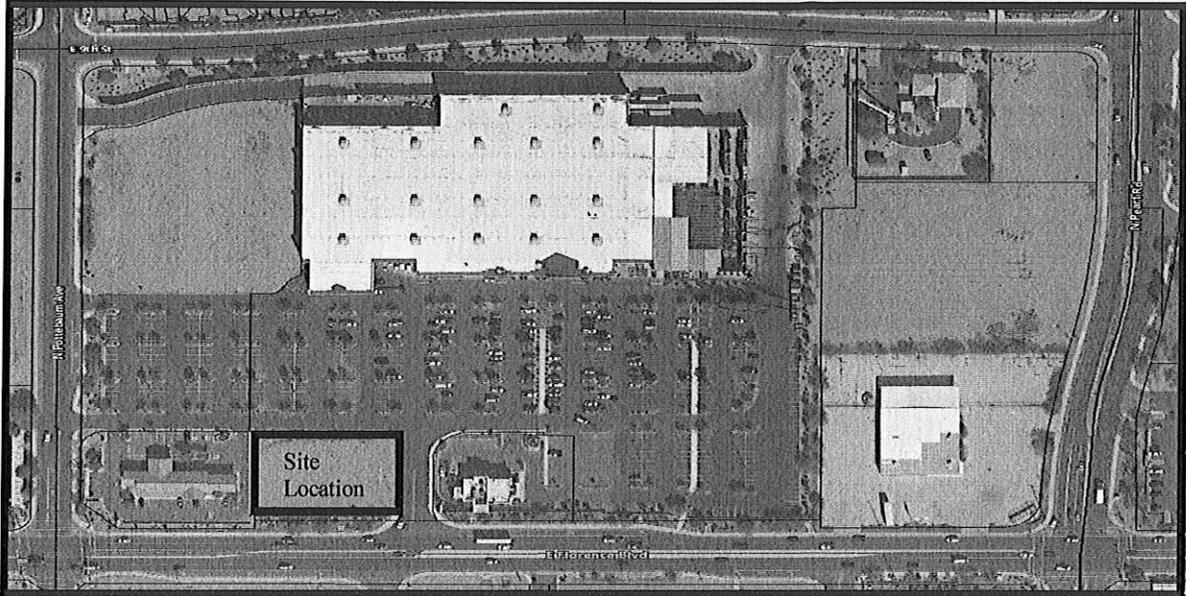
August 7, 2014: DSA-14-00044: The Planning and Zoning Commission tabled the Major Site Plan request to allow additional time for the applicant to work with City Staff to relocate their building on the site to meet the Community Center land use form.

PROJECT DESCRIPTION	
Site Area	.72 acres
Zoning	PAD (Planned Area Development)
General Plan Designation	<i>Community Center</i>

Surrounding Land Use and Zoning

Direction	General Plan Land Use Designation	Zoning/Current Uses
North	<i>Community Center</i>	PAD (Planned Area Development) Lowe's
South	<i>Community Center</i>	B-2 (General Business) Vacant land
West	<i>Community Center</i>	B-2 (General Business) Western Bank
East	<i>Community Center</i>	PAD (Planned Area Development) Eegee's Restaurant

AERIAL MAP:



Overview

The Major Site Plan request is for an O'Reilly Auto Parts store. The site (.72 acres) will consist of a one story, 6,972 square foot building located on the vacant pad site at the Lowe's shopping center (see Exhibit A).

According to O'Reilly's business operations the store will be open seven days a week with one delivery a day. The deliveries are made with small trucks and pickup trucks; however some deliveries could be made with semi-trucks. When there are large deliveries, pallet jacks are used to move plastic bins (totes) into the receiving door. With small deliveries, the totes are wheeled in with a dolly or are carried in.

CONFORMANCE WITH MAJOR SITE PLAN REVIEW/FINAL DEVELOPMENT PLAN CRITERIA 17.68.070

Section 17.68.070 of the Zoning Code sets forth various review criteria that need to be evaluated in conjunction with the consideration of a Major Site Plan application. Staff's analysis of how the proposed Major Site Plan complies with each of these criteria is as follows:

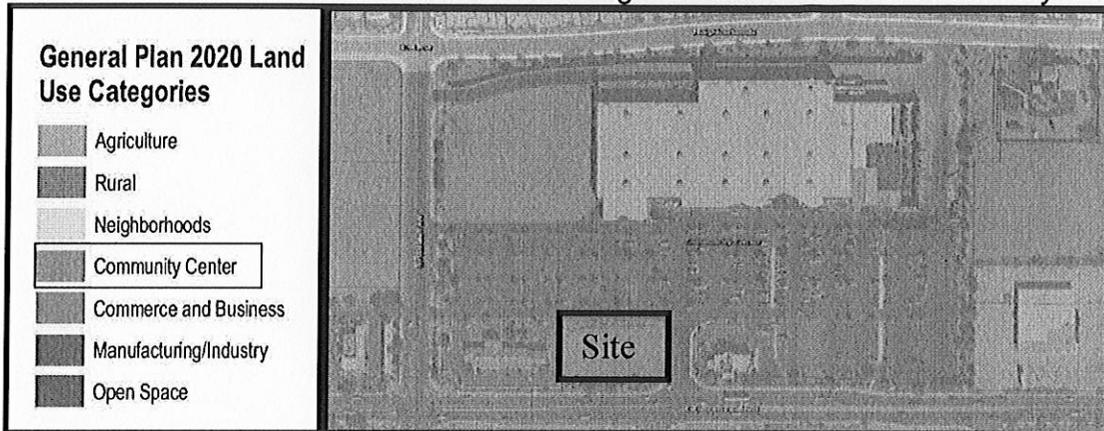
1) Relationship of the plan elements to conditions both on and off the property

The site is located within a pad site of the Lowe's Shopping Center. The .72 acre site provides sufficient area to accommodate the proposed request.

The site is located in a prime location for commercial development as it is located along a principal arterial, Florence Boulevard. The proposed auto parts store fits into the surrounding area, as a variety of commercial and retail development are located along the Florence Boulevard corridor.

2) **Conformance to the City's General Plan**

The General Plan 2020 Land Use designation for the site is *Community Center*.

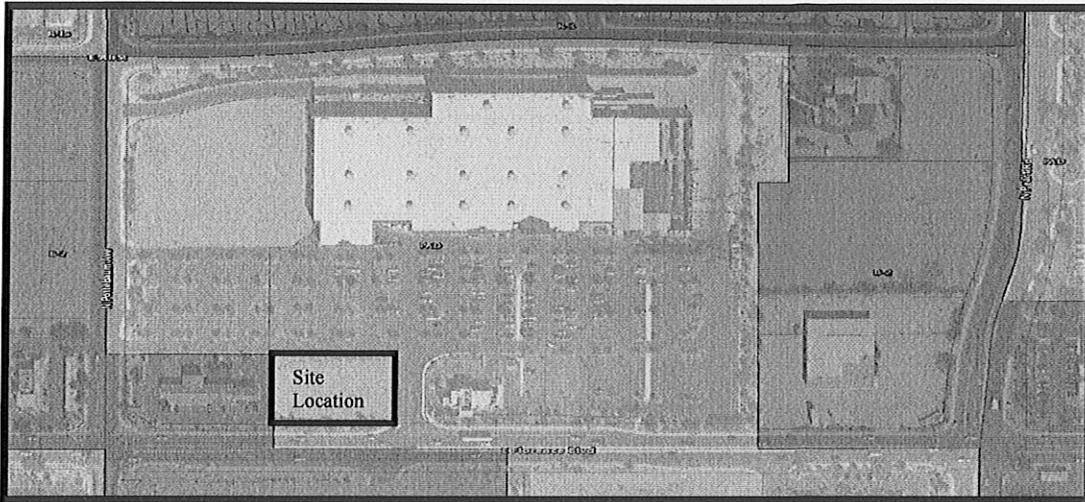


The *Community Center* land use category allows the most intense development in terms of Floor Area Ratio (FAR) and density, in Casa Grande. This land use encourages a mix of land uses and appropriate intensities that can reduce the need to travel by car. The intent of the built environment provides a variety of vertical and horizontal mixed uses with mobility geared toward pedestrian access and to create a more urban and less suburban type of development form.

The major site plan request was previously tabled by the Commission to allow additional time for the applicant to work with Staff to modify the site design to achieve the Community Center land use form. The applicant has modified the site design to bring the building closer to the street (Florence Boulevard) and closer to the east property line. Pedestrian access has been located to the southeast portion of the site to accommodate the relocation of the building and meet the community center land use form, whereas the sidewalk is adjacent to the street and provides direct pedestrian connectivity to the south. Based on the proposed location of the building and the building's architecture, Staff finds that the applicant has achieved the intent of the Community Center land use form.

3) **Conformance to the City's Zoning Ordinance**

The site was zoned PAD (Planned Area Development) in 2005. Based on the Lowe's PAD zoning guide for the site, the proposed auto parts store is a permitted land use.



4) The impact of the plan on the existing and anticipated traffic and parking conditions & pedestrian and vehicular ingress and egress

Direct access to the site is from Florence Boulevard, a principal arterial. According to the Traffic Impact Study, dated April 23, 2014, submitted by Lee Engineering, inbound and outbound site traffic from Florence Boulevard or Pottebaum Avenue during peak hour conditions can be completed in a satisfactory manner.

The proposed development is expected to generate 8 inbound trips and 7 outbound trips during the AM peak period and 20 inbound trips and 22 outbound trips during the PM peak period. The level of service for the main access intersection (driveway at Florence Boulevard) will operate at LOS B or better during peak hour conditions. No improvements to existing roadway conditions are warranted for the proposed project.

Parking requirements for the site are based on the code requirement of one space per 250 square feet of floor area. Based on this calculation the building is 6,972 square feet and the required number of parking spaces is 28 spaces. The applicant is providing 36 parking spaces which exceed the minimum requirements.

The site will have pedestrian connectivity with the proposed sidewalk extension from Florence Boulevard extending north along the east side of the site. The proposed sidewalk is six feet wide. The site will also provide a bike rack located on the south west side of the building. These design features meet the objectives of the Community Center land use category.

5) The adequacy of the plan with respect to land use;

N/A

6) Building location, height & Building Elevations:

The proposed auto parts store is located on the north east portion of the site. The building is single story, approximately 23 feet in height and 6,972 square feet in size (See Exhibit C - Elevations).

The majority of the building's exterior will be a combination of stucco finish over cmu block integrated with stone veneer and cornice molding architectural elements. Score lines are integrated into the cmu to add architectural variation to all elevations. The main entrance is located at the south side of the building and incorporates a window storefront framed by a metal canopy. The south, east and north elevations have metal canopies that breakup the building facade and add architecture to the building. The proposed architecture of the building is in conformance with the Lowe's PAD guide and Staff finds that it meets the 4-sided architecture of the Community Center land use form.

7) Landscaping:

The preliminary landscaping plan for the site (See Exhibit B – Preliminary Landscape Plan) indicates that the site is generally in compliance with the landscape code. The landscaping along the perimeter of the site was established with the Lowe's Shopping Center; therefore the remaining landscaping to be installed will be on-site. The specific breakdown of the calculations will be provided with a final landscape plan at the time of building permit submittal.

8) Lighting:

There is one street light located in the landscaped area on the southwestern edge of the site. The on-site light is proposed as a 24' foot high light pole. The proposed building will incorporate attached decorative lighting to complement the building's exterior and provide lighting for security measures.

All lighting is designed with full-cutoff fixtures and complies with the provisions of City Code section 15.48.050.

9) Provisions for utilities:

According to the water report dated April 24, 2014 and prepared by HILGARTWILSON, there is an existing 12-inch water main along Florence Boulevard. A second 12-inch water main is connected to water along Florence Boulevard and runs parallel to the eastern property boundary. The connection point between the two 12-in water mains is located near the southeast corner of the property.

According to the wastewater report dated April 24, 2104 and prepared by HILGARTWILSON, an existing sewer stub is connected to a manhole located along the northern property boundary. The manhole is connected to an existing 8-inch sewer main that provides service to the surrounding commercial site. The project is proposing a 6-inch sewer line that will connect to the 8-inch line and there is adequate sewer capacity.

In regards to Fire Protection, there are two existing fire hydrants located near the northeast and southeast corners of the property.

10) Site drainage & Grading:

According to the drainage report dated June 13, 2014, prepared by HILGARTWILSON, runoff generated by the proposed development will be captured by storm drain inlets and conveyed into a proposed 10 foot diameter underground storage pipe.

The historic flow patterns in and around the project will be maintained. The project will not be affected by any significant sources of offsite flows.

11)Open space:

See landscaping section of the Major Site Plan/Final Development Plan.

12)Loading and unloading areas:

N/A.

13)Signage:

Signage requires a separate permit and shall be subject to the sign requirements of the zoning approval in 2005.

14)Screening:

A 3 foot screen wall exists along the south side of the site (Florence Boulevard frontage) and screens the proposed parking lot from the adjacent street.

15)Setbacks:

The setbacks for the site were established with the recordation of the Lowe's final plat. Two setbacks were created for the south and west sides of the property:

- West (side) 35'
- South (front) 15'

The proposed layout of the site exceeds the required setbacks and conforms to the community center land use form. The proposed layout meets the Lowe's shopping center requirement for the number of parking spaces, as well as meeting city code parking requirements. Overall the proposed building location is a better design than what was previously submitted, which did not meet the community center land use form.

PUBLIC NOTIFICATION/COMMENTS

Public hearing notification efforts for this request meet the requirements set out by City Code. They include:

- 1) A notice of time, date, place, and purpose of the public hearing was published in the Casa Grande Dispatch on November 18, 2014.
- 2) A notice was mailed on November 13, 2014 to each owner of property situated within two hundred feet of the site. An affidavit confirming this mailing is within the project file.
- 3) A notice was posted by the applicant on the subject site on November 17, 2014. An affidavit confirming this posting was also supplied by the applicant.

Inquiries/Comments

Staff has not received any public comments on this request.

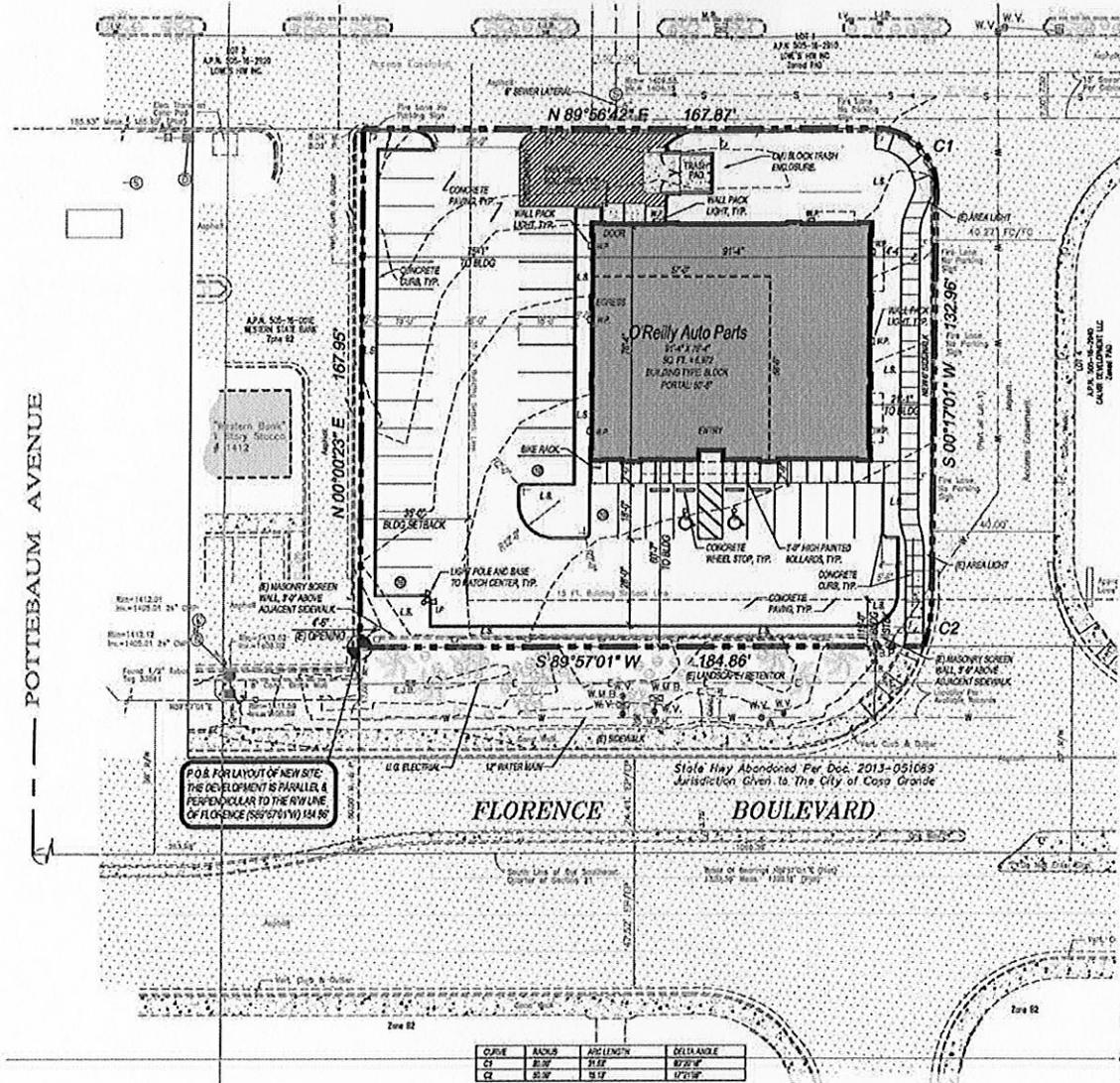
STAFF RECOMMENDATION

Staff recommends the Commission approve the Major Site Plan/Final Development Plan (DSA-14-00044) for O'Reilly Auto Parts.

Exhibits:

- Exhibit A – Site Plan
- Exhibit B – Preliminary Landscape Plan
- Exhibit C – Elevations

Exhibit A – Site Plan



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE
C1	25.0'	31.8'	72.9°
C2	25.0'	31.8'	72.9°

MAJOR SITE PLAN

LEGEND:

- EXISTING PROPERTY LINE
- STREET CENTERLINE
- BUILDING SETBACK



Exhibit B – Preliminary Landscape Plan

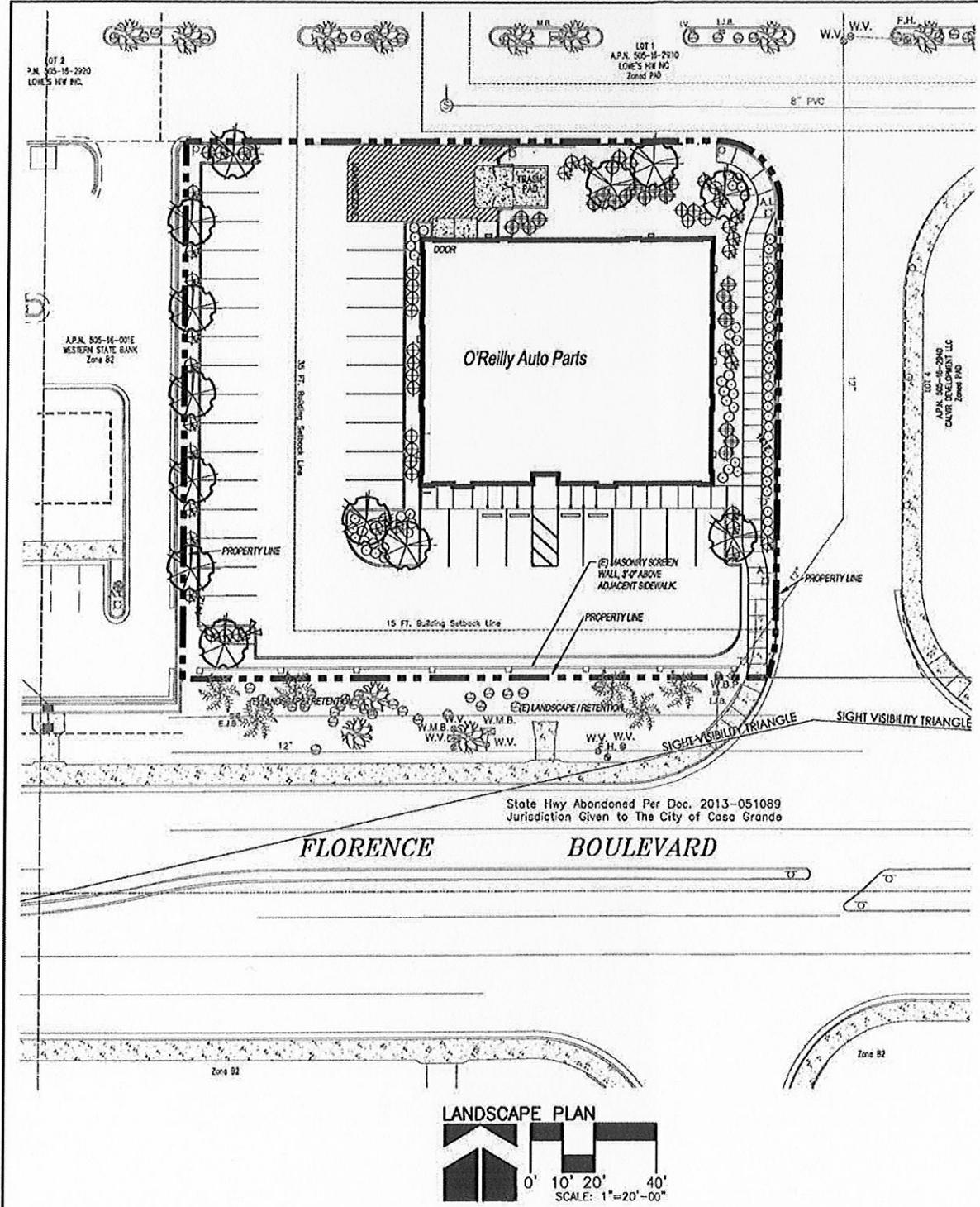
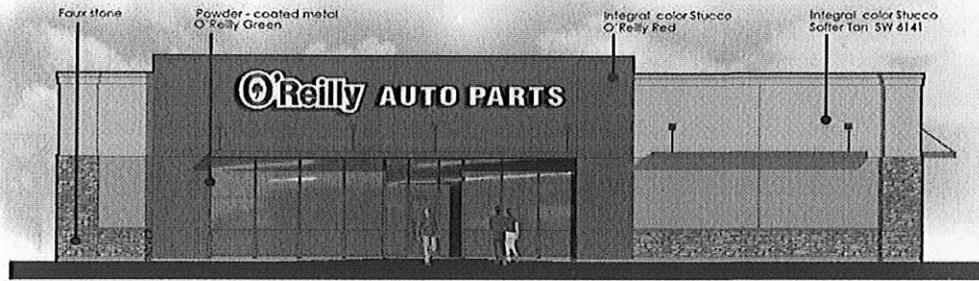
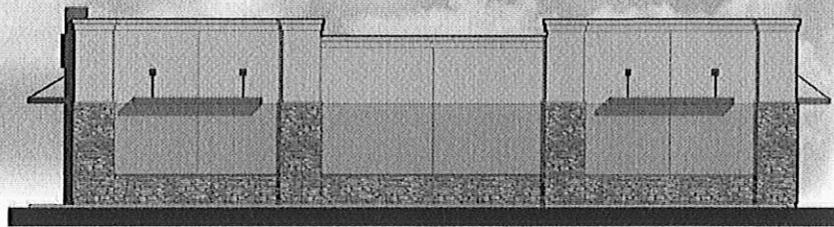


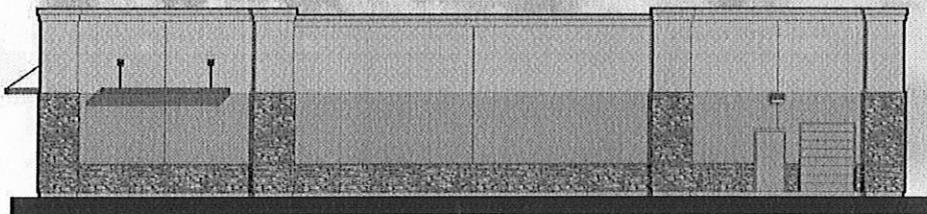
Exhibit C – Elevations



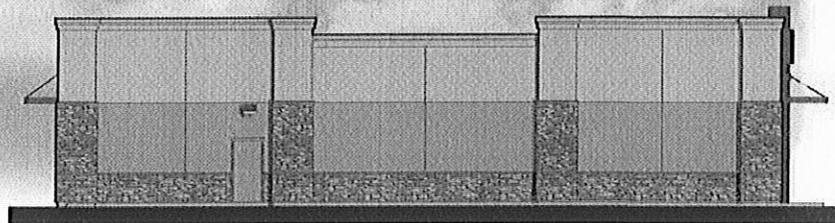
South



East



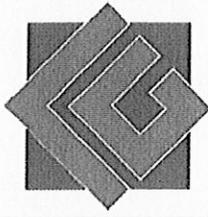
North



West



Casa Grande, AZ.
Florence Blvd.



Planning and Zoning Commission

STAFF REPORT

AGENDA

TO: CASA GRANDE PLANNING AND ZONING COMMISSION

FROM: Laura Blakeman, City Planner

MEETING DATE: December 4, 2014

REQUEST

Request by Daryl Potyczka, for the following land use approvals:

- 1. DSA-14-00128: Major Site Plan/Final Development Plan** for a proposed 3,100 square foot Dentistry office located at 1569 E. Florence Boulevard.
- 2. DSA-14-00185: Final Landscape Plan** for the Dentistry office.

APPLICANT/OWNER

Daryl Potyczka
1355 E. Florence Boulevard
Casa Grande, AZ 85122
P: 520-836-0100
Email: potyczka@hotmail.com

Same as applicant

HISTORY

January 28, 1928: The Granada Fig Farms Unit No. 2 final plat was recorded.

June 6, 1984: The Desert Professional Center final plat was recorded.

March 17, 1986: The site was annexed into the city limits.

November 16, 1987: The site received official zoning of B-2 (General Business) with the adoption of the Zoning Ordinance and map.

November 9, 1992: DSA-10-00298: The Desert Office Center plat was recorded.

January 4, 1996: CGPZ-052-095: The Major Site Plan/Final Development Plan for a retail/office building was approved by the Planning Commission (Exhibit A).

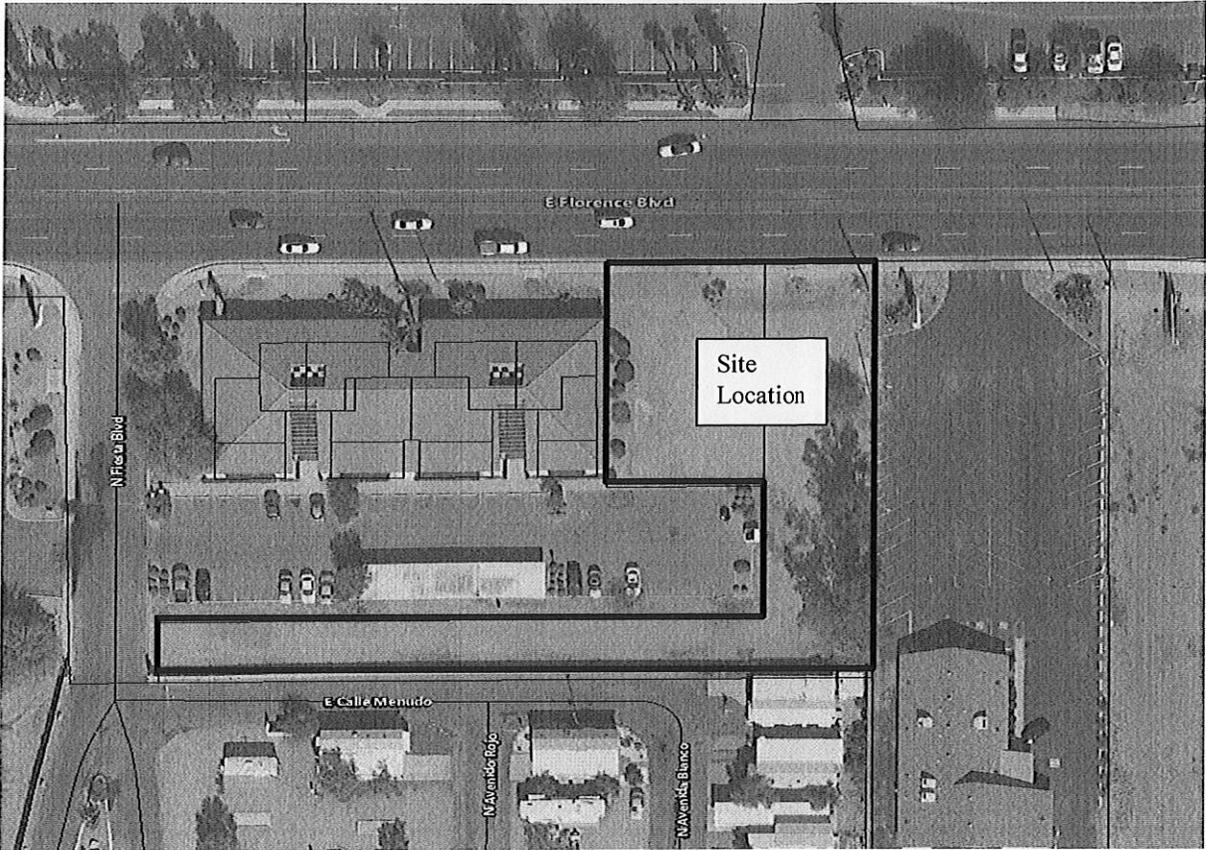
June 10, 2014: DSA-14-00030: The Board of Adjustment approved the Variance from Section 17.24.150: To have a minimum 10 foot front yard setback, whereas the minimum front yard setback in the B-2 zone district is 35 feet.

PROJECT DESCRIPTION	
Site Area	.55 acres
Zoning	B-2 (General Business)
General Plan Designation	Community Center

Surrounding Area Land Use and Zoning

Direction	General Plan Designation	Existing Zoning	Current Uses
North	Community Center	PAD (Planned Area Development)	Home Depot PAD development
South	Neighborhoods	B-2 (General Business), PAD (Planned Area Development)	Fiesta Grande RV Park
East	Community Center	B-2 (General Business)	Heritage Funeral Home
West	Community Center	B-2 (General Business)	Jiffy Lube, Desert Professional Center

Aerial of the site:



Overview

The Major Site Plan request is for a dentistry building for Casa Grande Family Dentistry. The site (.55 acres) will consist of a one story, 3,100 square foot building located on a vacant infill site located south of Florence Boulevard and east of Fiesta Boulevard. (see Exhibit A).

Currently, the Casa Grande Family Dentistry is operating within the Tri-Valley Shopping Center located at 1355 E. Florence Boulevard. The relocation of the dentistry is aimed at accommodating future growth.

CONFORMANCE WITH MAJOR SITE PLAN REVIEW/FINAL DEVELOPMENT PLAN CRITERIA 17.68.070

Section 17.68.070 of the Zoning Code sets forth various review criteria that need to be evaluated in conjunction with the consideration of a Major Site Plan application. Staff's analysis of how the proposed Major Site Plan complies with each of these criteria is as follows:

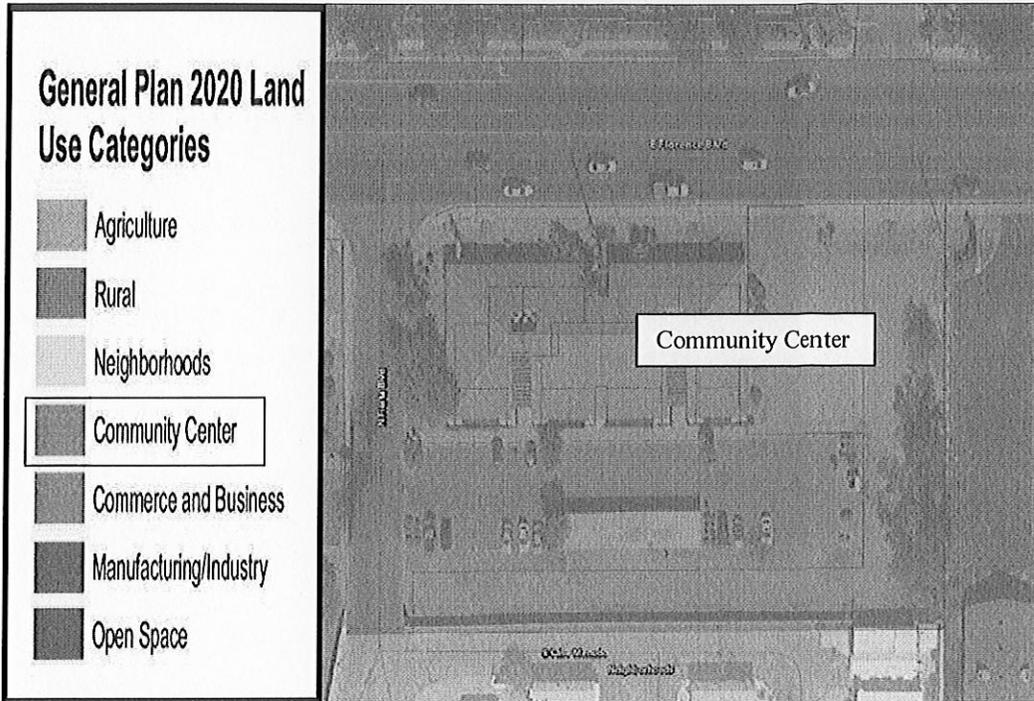
1) Relationship of the plan elements to conditions both on and off the property

The site is located on a .55 acre site that provides sufficient area to accommodate the proposed request.

The infill site is located in a prime location for commercial development as it is located along a principal arterial, Florence Boulevard. The proposed dental office, fits into the surrounding area, as a variety of commercial and retail development are located along the Florence Boulevard corridor.

2) Conformance to the City's General Plan

The General Plan 2020 Land Use designation for the site is *Community Center*.

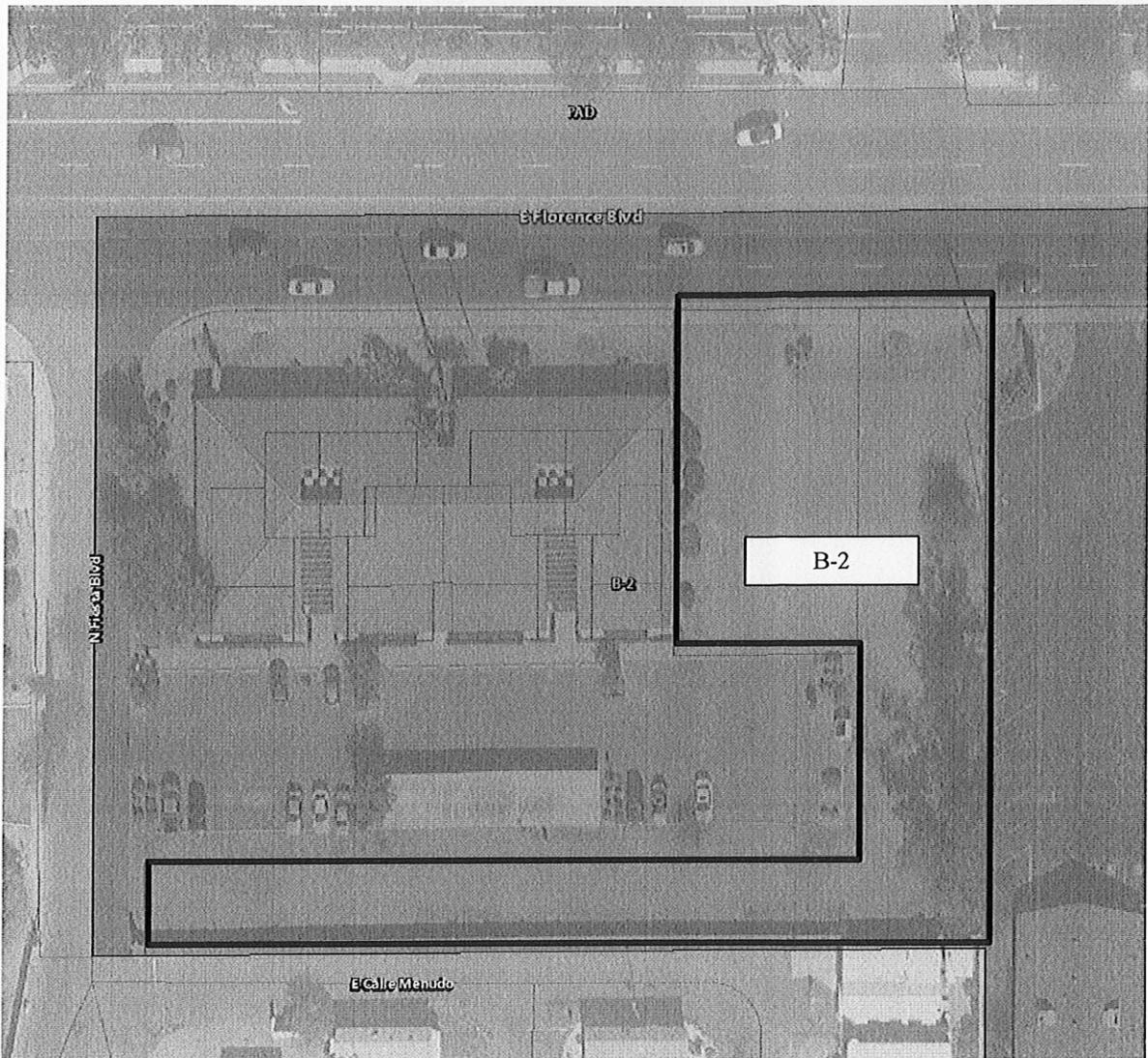


The *Community Center* land use category allows the most intense development in terms of Floor Area Ratio (FAR) and density, in Casa Grande. This land use encourages a mix of land uses and appropriate intensities that can reduce the need to travel by car. The intent of the built environment provides a variety of vertical and horizontal mixed uses with mobility geared toward pedestrian access and to create a more urban and less suburban type of development form.

The proposed building will be placed closer to the Street (Florence Boulevard), with the parking to the side and rear of the building which meets the Community Center land use form. The building will be setback 10' feet from the property line, which brings the building in line with the adjacent Desert Professional Office building to the west.

3) **Conformance to the City's Zoning Ordinance**

The site is zoned B-2 (General Business). The B-2 zoning district is primarily the retail and services zone. The uses allowed in the B-2 district are to provide goods and services on a community market scale and located in areas which are served by arterial streets. Based on the zoning for the site, a dentistry office is a permitted land use in the B-2 zoning district.



Staff has determined that the lot width does not meet the 150' foot minimum of the B-2 zoning district; however, the substandard lot width is the result of the final plat that was approved by the City in a lot reconfiguration that occurred in 1992. The unusual lot configuration is a result of a previous lot split from previous owners of the property.

4) The impact of the plan on the existing and anticipated traffic and parking conditions & pedestrian and vehicular ingress and egress

Per City Code Section 15.32.060, the site does not require a Traffic Impact Analysis as the use of the site will generate less than 100 vehicle trips per day accordingly the City Traffic Engineer has approved a waiver of the TIA submittal for this development in accordance with our standard policy.

Direct access to the site is from Florence Boulevard, a principal arterial.

Because Florence Boulevard (at this location) is considered a principal arterial according to the Small Area Transportation Study, the owner of the site is required to dedicate 40 feet of right-of-way. This dedication significantly limits the amount of developable land and the applicant's ability to meet the required 35 foot front yard setback on this irregularly shaped lot. Therefore, the owner received a variance to have the building located 10 from the north property line.

A secondary access is through Fiesta Boulevard, which serves as an entrance to the Desert Professional Center and Fiesta Grande RV Park. The site has an approved joint use/easement agreement that was previously established in 1996. This agreement allows the joint use of the parking lots for parking and ingress/egress for the Desert Professional Center and the proposed dentist office (See Exhibit D).

The site will have pedestrian connectivity with the proposed sidewalk connection from the entrance of the building extending north to Florence Boulevard and south to the parking area. The site is providing a bike rack located on the south west side of the building.

Parking requirements for the project are based on the code requirement of one space per 200 square feet of floor area. Based on this calculation, the required parking is 14 spaces for the dentistry office and the site plans shows 14 parking spaces proposed. In addition, the site plan shows the overall parking compliance for the entire site, to ensure there is no shortage of parking with the new building and associated site improvements.

5) The adequacy of the plan with respect to land use;

N/A

6) Building location, height & Building Elevations;

The proposed dentistry building is single story, approximately 21 feet in height and 3,100 square feet in size (See Exhibit C - Elevations).

The majority of the building's exterior will be a combination of stucco finish over integrated with horizontal siding, metal shade canopies and several colors to add architectural variation to all elevations. The main entrance is located at the west side of the building and incorporates a window storefront framed by a metal canopy.

7) Landscaping;

The final landscape plan for the site shows compliance with city code requirements (See Exhibit B – Landscape Plan). The proposed trees for the site will be 24" box trees, which exceeds the minimum code requirement of 15" box

trees. The majority of the landscaping will be located within the retention basin to the south of the site.

8) Lighting;

There are three 16' foot light poles located within the site to provide sufficient lighting for the site. The proposed building will incorporate attached decorative lighting to complement the building's exterior and provide lighting for security measures.

All lighting is designed with full-cutoff fixtures and complies with the provisions of City Code section 15.48.050.

9) Provisions for utilities;

According to the utility plans submitted by G-mar Consulting Engineers Inc., a new water line will be constructed to connect to the existing water line located in the Florence Boulevard right-of-way.

A new sewer service line will be constructed to the existing sewer line located in the existing parking lot to the south.

10) Site drainage & Grading;

According to the drainage plan submitted by G-mar Consulting Engineers, Inc., no offsite flows negatively affect this site. Florence Boulevard right-of-way flows west and south and is contained within the curb and gutter.

On-site retention has been provided for the 100-year, 2 -hour storm event. The total area provided for includes the southern right of way for Florence Boulevard and the east half right of way for Fiesta Boulevard.

The retention area will be upgraded and provided along the south property line in the existing landscaped area.

All on-site storm flows are controlled onsite for the 100-year storm event. Any flows and volume above and beyond the required design storm event ultimately outfall to the southwest of the site into the Fiesta Boulevard right-of-way.

11) Open space;

See landscaping section of the Major Site Plan/Final Development Plan.

12) Loading and unloading areas;

N/A.

13) Signage:

Signage requires a separate permit and shall be subject to the sign requirements of the B-2 zoning district.

14) Screening:

N/A.

15) Setbacks:

The building meets the setbacks as established by the B-2 Zoning District except for the 10 foot front yard setback which was approved with a Variance granted by the Board of Adjustment.

Building Setbacks:

Front – 10 ft. (Variance granted with DSA-14-00030)

Rear – 15 ft.

Interior side – aggregate of 15 ft.

Residential zone boundary – 45 ft.

Maximum building height – 35 ft.

STAFF RECOMMENDATION

Public hearing notification efforts for this request meet the requirements set out by City Code. They include:

- 1) A notice of time, date, place, and purpose of the public hearing was published in the Casa Grande Dispatch on November 18, 2014.
- 2) A notice was mailed on November 13, 2014 to each owner of property situated within two hundred feet of the site. An affidavit confirming this mailing is within the project file.
- 3) A notice was posted by the applicant on the subject site on November 17, 2014. An affidavit confirming this posting was also supplied by the applicant.

Inquiries/Comments

Staff received general inquiries about the project from Sarge Glenn, representing owners of the Desert Professional Center and he requested a copy of the joint use parking/easement agreement.

STAFF RECOMMENDATION

Staff recommends the Commission approve the Major Site Plan/Final Development Plan (DSA-14-00128) and the Final Landscape Plan (DSA-14-00185)

for Casa Grande Family Dentistry.

Exhibits:

Exhibit A – Site Plan

Exhibit B – Landscape Plan

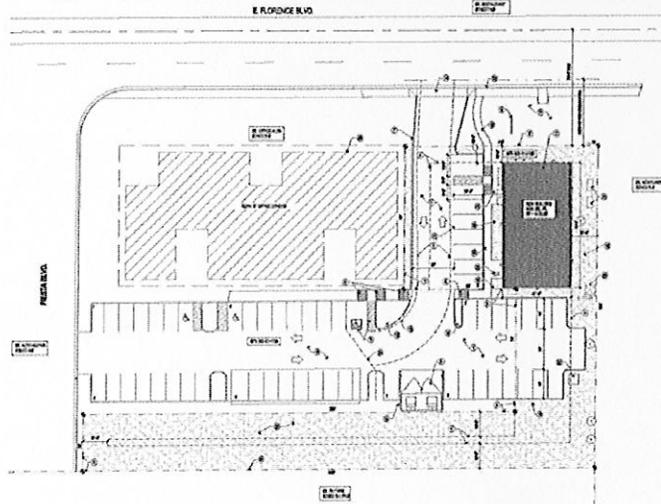
Exhibit C – Building Elevations

Exhibit D – Joint Use Agreement & Easement

Exhibit A – Site Plan

CASA GRANDE FAMILY DENTISTRY

MAJOR SITE PLAN SUBMITTAL



Project Data

PROJECT NO. 2010-001
 PROJECT NAME: CASA GRANDE FAMILY DENTISTRY
 PROJECT ADDRESS: 1000 E. RONDINE BLVD, CASA GRANDE, AZ 85925
 CLIENT: CASA GRANDE FAMILY DENTISTRY
 ARCHITECT: [Firm Name]
 ENGINEER: [Firm Name]
 DATE: [Date]

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 2.0 PAVING PLAN
 3.0 ELECTRICAL PLAN
 4.0 MECHANICAL PLAN
 5.0 PLUMBING PLAN
 6.0 LANDSCAPE PLAN
 7.0 SIGNAGE PLAN
 8.0 UTILITY PLAN
 9.0 FLOODPLAIN MAP
 10.0 TRAFFIC IMPACT STUDY

Keynotes

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 2.0 NEW BUILDING
 3.0 EXISTING DRIVEWAY
 4.0 NEW DRIVEWAY
 5.0 EXISTING PARKING
 6.0 NEW PARKING
 7.0 EXISTING LANDSCAPE
 8.0 NEW LANDSCAPE
 9.0 EXISTING UTILITIES
 10.0 NEW UTILITIES



Project Team

ARCHITECT: [Firm Name]
 ENGINEER: [Firm Name]
 LANDSCAPE ARCHITECT: [Firm Name]
 SIGNAGE ARCHITECT: [Firm Name]
 TRAFFIC ENGINEER: [Firm Name]
 UTILITY ENGINEER: [Firm Name]



SITE PLAN / PROJECT DATA

PROJECT NO. 2010-001
 PROJECT NAME: CASA GRANDE FAMILY DENTISTRY
 PROJECT ADDRESS: 1000 E. RONDINE BLVD, CASA GRANDE, AZ 85925

SITE

FILE # [Number]
 SHEET # [Number]
AS1.0

Exhibit B – Landscape Plan

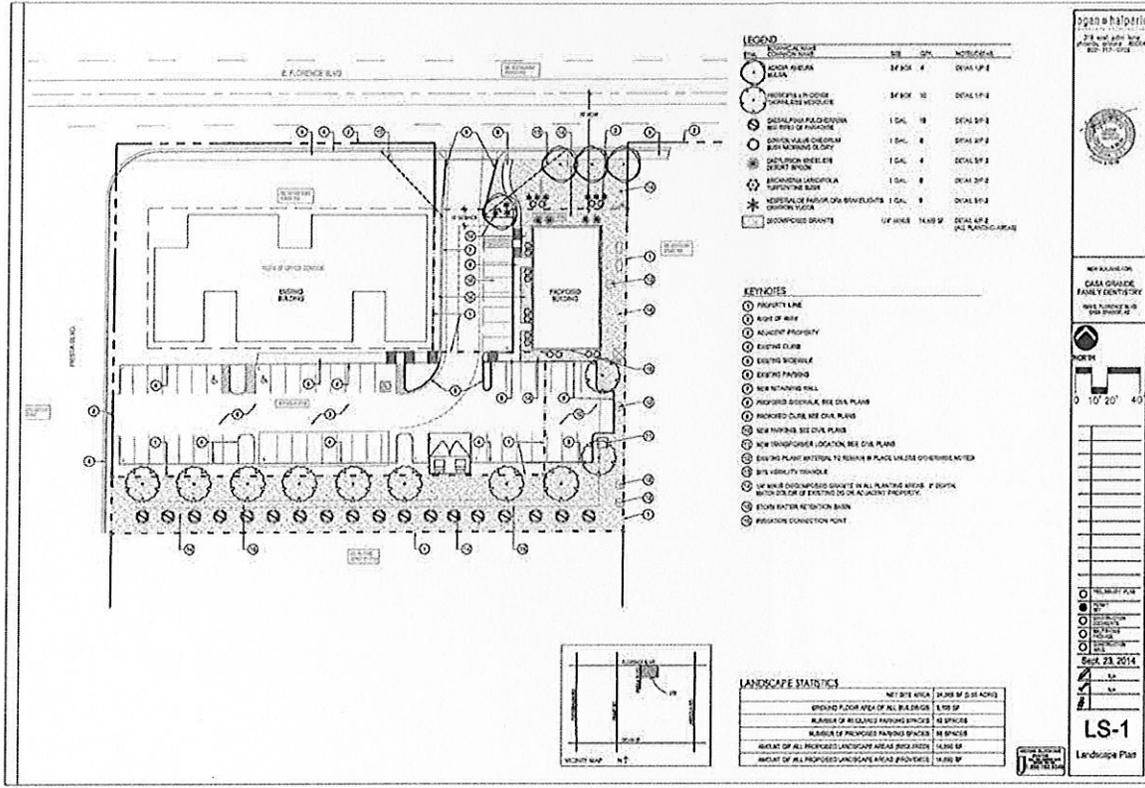
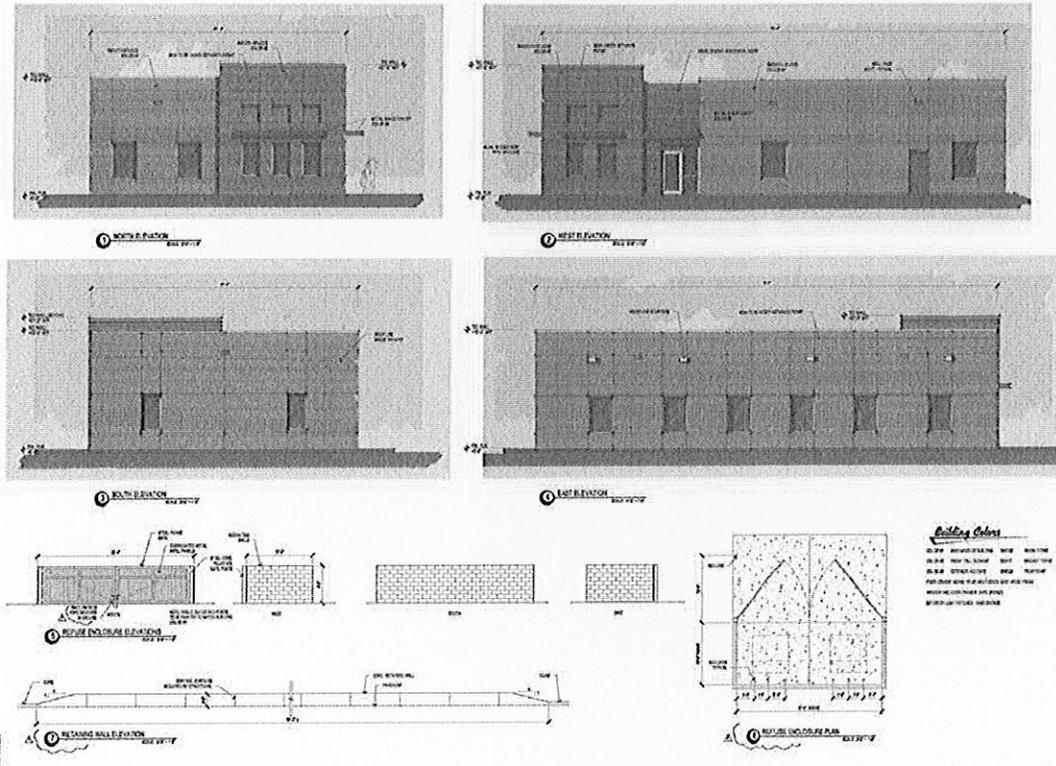


Exhibit C – Elevations



VALLEY ARCHITECTURE
 ARCHITECTS
 1000 S. 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 PHONE: 303.733.1111
 FAX: 303.733.1112
 WWW.VA-ARCHITECTS.COM

AS2.0
 SHEET 1 OF 1

Exhibit D – Joint Use Agreement & Easement

NOTICE OF SPECIAL MEETING

A special meeting of the owners of the Desert Professional Center will be held on January 26, 1996, at 9:00 p.m., in the offices of Howard and Glenn, P. C., 550 East Cottonwood Lane, Casa Grande, Arizona. The agenda shall include the following:

1. The approval of a Joint Use Agreement with Gene Lehman concerning the parking lot and other facilities at Desert Professional Center.
2. Any necessary amendment of the Declaration of Desert Professional Center or any rules or regulations published thereunder to effect the implementation of the Joint Use Agreement.
3. The designation of Brett Eisele as the spokes person for Desert Professional Center to finalize the negotiation of the Joint Use Agreement and to execute the same when it is available.
4. Any and all other actions deemed necessary and appropriate by majority vote of the owners present in connection with the above.

Dated this 10th day of January, 1996.



Joseph W. Howard



Brett Eisele

JOINT USE AGREEMENT

AND

EASEMENT

*Cross parking +
access easement.*

This agreement is made and entered into this _____ day of February, 1996, by and between Desert Professional Center, a Horizontal Property Regime, and Gene Lehman and Judy Lehman, husband and wife.

Desert Professional Center is the owner of certain real property located in Pinal County, Arizona, and more particularly described as follows:

Desert Professional Center, according to the Declaration of the Horizontal Property Regime, recorded in Cabinet 1288, page 22, and plat recorded in Cabinet A, Slide 141, records of Pinal County, Arizona and amended at Docket 1865, page 902.

Lehman is the owner of certain real property located in Pinal County, Arizona, and more particularly described as follows:

The North 126 feet of the East 68 feet of the Desert Professional Center, according to the Declaration of the Horizontal Property Regime, recorded in Cabinet 1288, page 22, and plat recorded in Cabinet A, Slide 141, records of Pinal County, Arizona and amended at Docket 1865, page 902.

The parties desire to enter into a Joint Use Agreement with regard to the parking lot existing on the Desert Professional Center and the parking lot to be constructed in the Lehman property which will allow each party to use the other's parking lot for parking and for ingress and egress.

In consideration of the various promises contained herein, Desert Professional Center hereby grants Lehman an easement on the parking lot located on the Desert Professional Center for use by Lehman and his employees, guests and customers (Lehman's Users) for parking and for ingress and egress. Further, Lehman grants to Desert Professional Center an easement on the parking lot located or to be located on the Lehman property for use by Desert Professional Center's owners, their employees, guests and customers ("Desert Professional Users") for parking and for ingress and egress.

Lehman agrees to construct his parking lot in accordance with the Plans and Plat as attached hereto as Exhibit A and to be responsible for any and all costs and expenses in obtaining City approval, constructing the parking lot, making any necessary curb cuts and all other costs associated with the fulfillment of such Plans and Plat.

Other than as stated above, each party shall remain responsible for the repairs, maintenance and improvement of the parking lot located on their respective real property. Further, each party shall remain responsible for any claims, demands, or liabilities which arise out of the use of their respective parking lot, whether by their own Users, by the other party's Users, or by any third party.

Neither party shall build any structures on their real property which would interfere with the other party's Users use of the parking lot. Neither party shall take any action which would interfere with the use of the party's parking lot by the Users of the other party. Each party shall take such measures as necessary to insure that their Users do not use more than fifty percent of the other party's parking lot at any one time and that their Users do not create any unclean or unhealthy condition on the other's parking lot. Further, each party shall take such measures as necessary to insure that their Users do not create any nuisance or unnecessary disturbance on the other's parking lot.

This Agreement is solely for the benefit of the party's to this Agreement and does not create any third party beneficiaries to this Agreement.

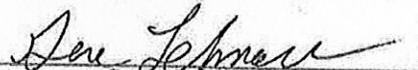
This Agreement constitutes the entire Agreement of the parties with respect hereto and any statement, agreement, or representation previous hereto is merged herein.

In the event of a breach of this Agreement by either party, the non-breaching party shall be entitled to recover its expenses and attorney's fees incurred by reason of the breach, with or without suit.

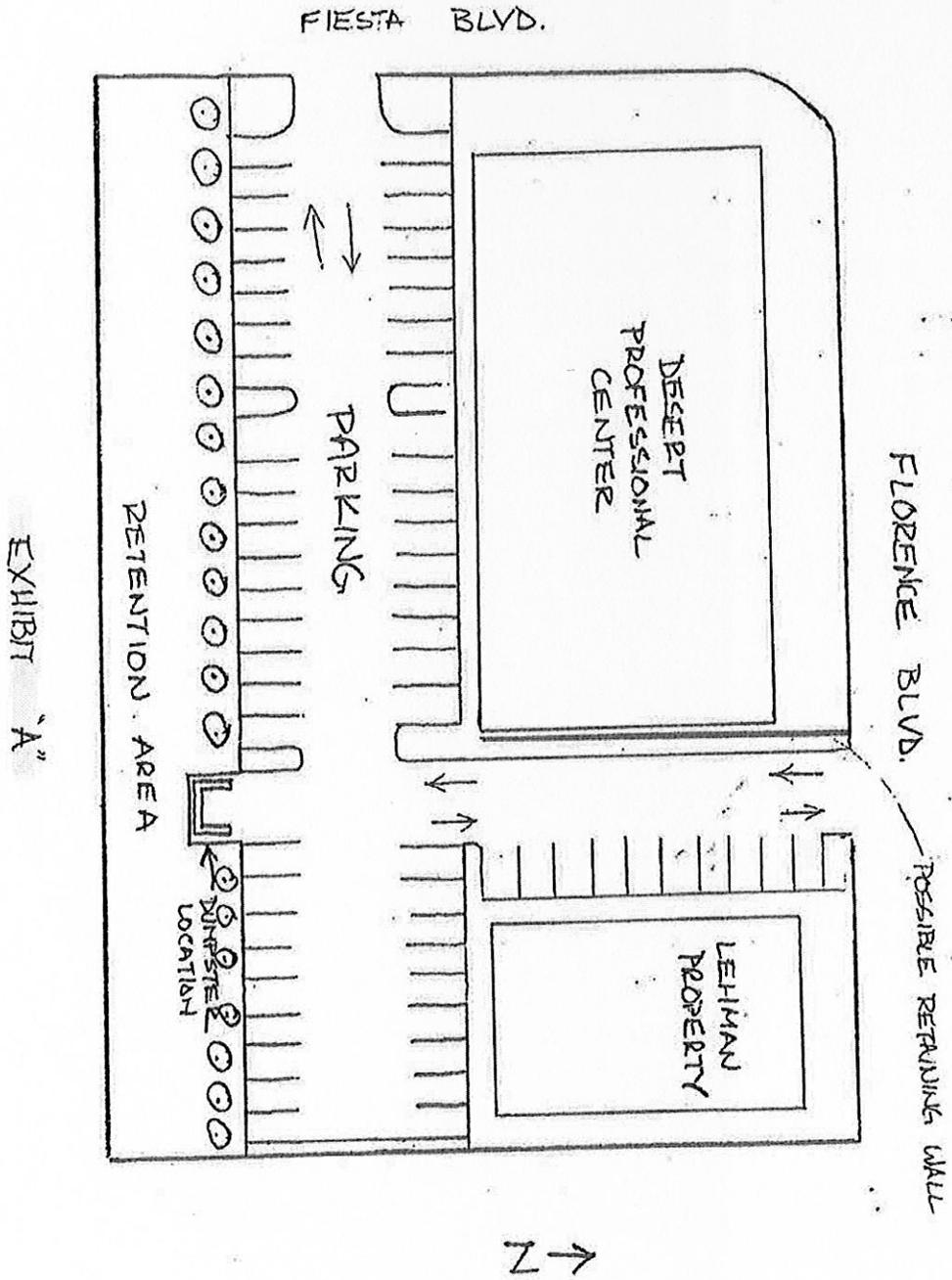
539 This Joint Use Agreement and Easement shall be perpetual and shall run with the land.

DESERT PROFESSIONAL CENTER,
A HORIZONTAL PROPERTY REGIME

By: _____


Gene Lehman


Judy Lehman





Planning & Zoning
Commission
STAFF REPORT

AGENDA

TO: CASA GRANDE PLANNING AND ZONING COMMISSION
FROM: Laura Blakeman, City Planner
MEETING DATE: December 4, 2014

REQUEST

Request by David Ullrich, Reliant Land Services, for the following land use approvals located at 517 N. Colorado Street:

- 1. DSA-14-00211: Conditional Use Permit** for a proposed 70' foot wireless telecommunication tower.
- 2. DSA-14-00212: Minor Amendment to a Major Site Plan** to reflect the location of the wireless communication tower.

APPLICANT/OWNER

David Ullrich
Reliant Land Services
7201 E. Camelback Road
Scottsdale, AZ 85251
P: 480-266-8753
Email: david.ullrich@rlsusa.com

Houghton Acquisition Co. LLC
14241 Dallas Parkway #350
Dallas, TX 75254
P: 520-350-9483

HISTORY

- April 21, 1968: DSA-10-00136: The site was annexed into the city limits by Ordinance #340.
- November 16, 1987: The site received official zoning of R-3 (Multi-family Residential) with the adoption of the Zoning Ordinance and map.
- November 20, 1995: The site received a zone change from R-3 (Multi-family Residential) to B-2 (General Business) with Ordinance 1178.59.1.
- July 15, 1996: CGPZ-19/20/21-96/Ordinance 1178.76: The site received a Zone Change from B-2 (General Business) to B-4 (Community Service),

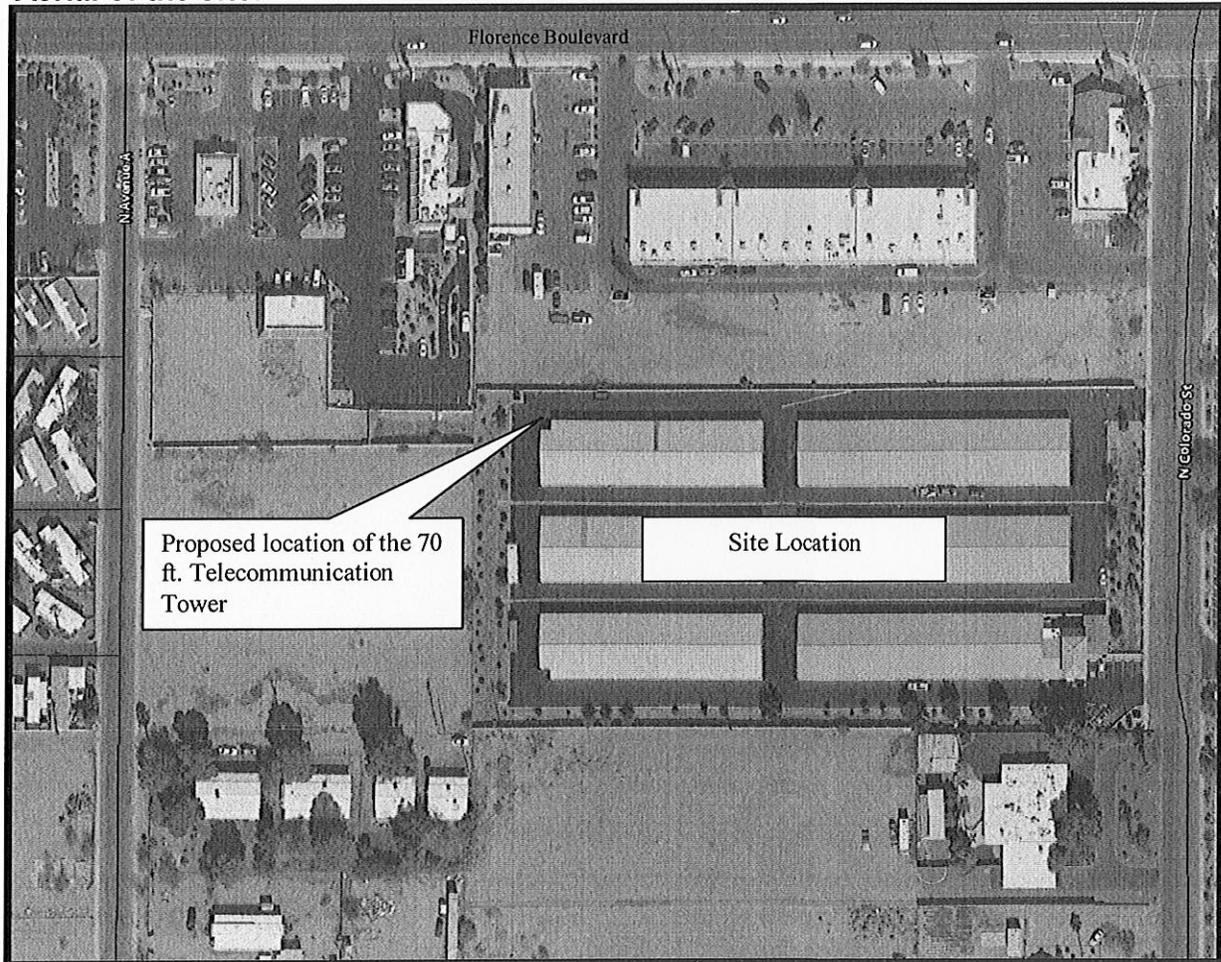
Conditional Use Permit and a Major Site Plan for a mini-warehouse facility.

November 11, 2014: DSA-14-00166: The Board of Adjustment approved the Variance requests to allow a 70 foot tall wireless telecommunications tower to be 67.6 feet from the west property line and 36 feet from the north property line, where 70 feet is required.

Surrounding Area Land Use and Zoning

Direction	General Plan Designation	Existing Zoning	Current Uses
North	Community Center	B-2 (General Business)	Manana Grande Commercial Center
South	Neighborhoods	UR (Urban Ranch)	Vacant land, Residential home
East	Community Center	B-2 (General Business)	Tri-Valley Plaza
West	Community Center	B-2 (General Business), UR (Urban Ranch)	Vacant Land

Aerial of the site:

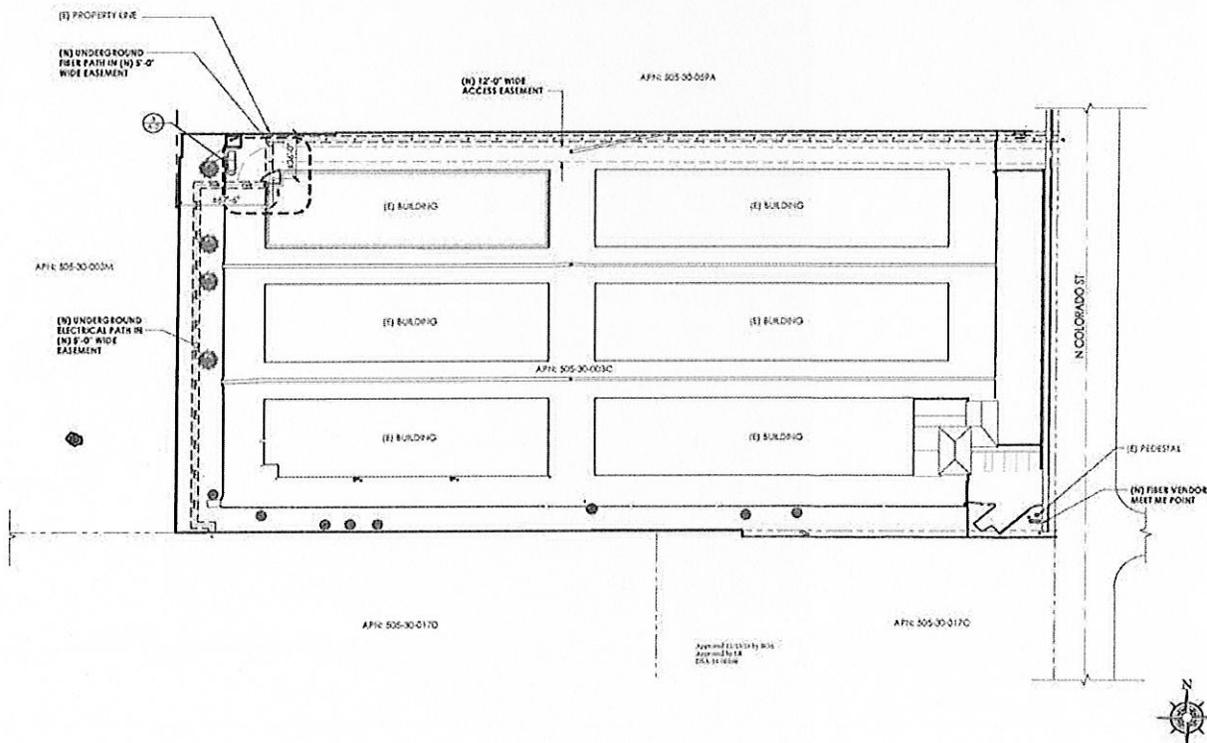


Development Standards:

	Proposed Development	City Code requirements (B-4)
Antenna Height:	70 ft.	35 ft. maximum (CUP required for heights above 35')
Lease Area:	300 sq. ft.	N/A
Gross Site Acreage:	4.63	N/A
Setbacks:	North – 36 ft, South – 283 ft. (approx.) East – 586 ft. (approx.) West – 67.6 ft.	70 ft. minimum (thirty-five feet from any property line, plus an additional one foot for every foot of height above thirty-five feet).

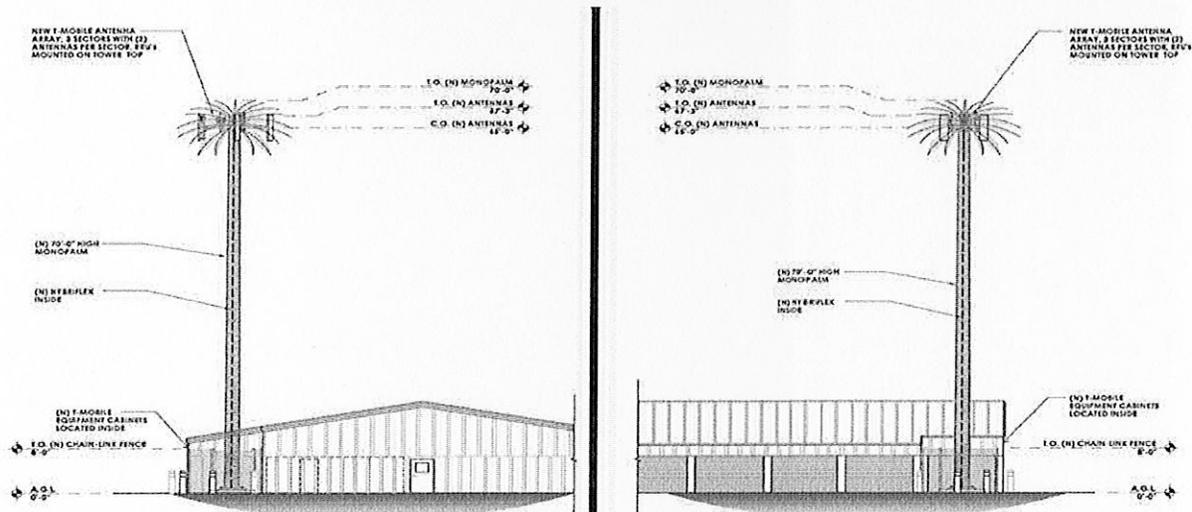
Overview

T-Mobile is requesting to construct a new Wireless Telecommunication Facility located at 517 N. Colorado Street. The site is located with the Securlock mini-storage facility. The tower is proposed to be located at the northwest corner of the storage facility. The request consists of the development of a new 70 foot tall stealth Palm Tree tower within a 10' x 30' lease area. The majority of the equipment will be located in the adjacent storage unit (See Exhibit B).

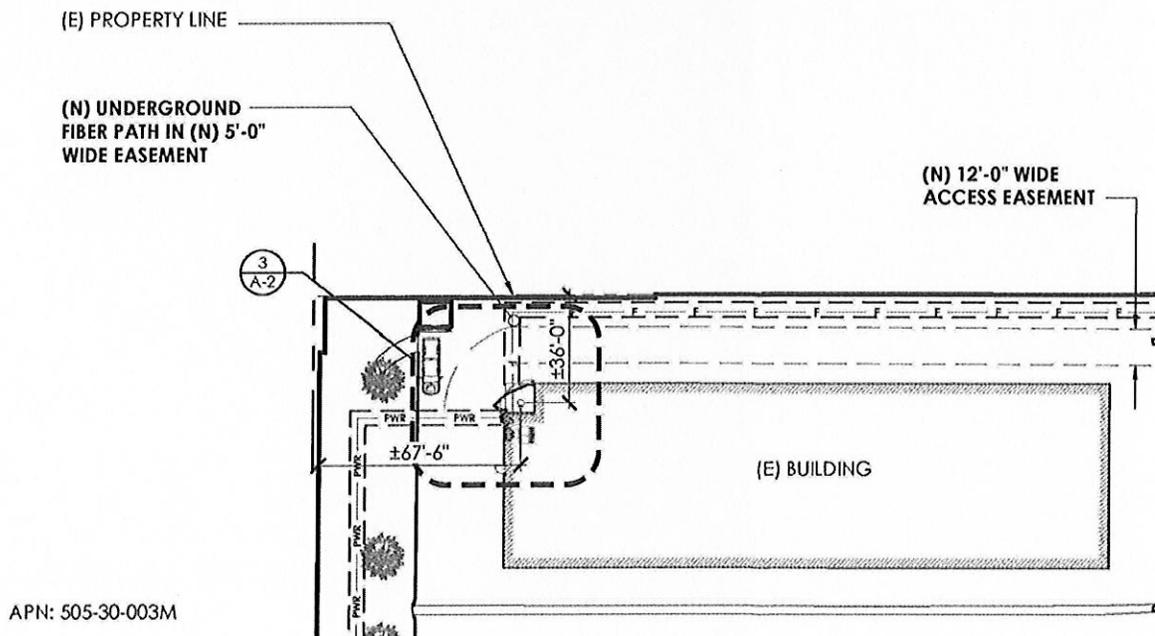


According to City Code Section 17.68.120.B.7.a (Wireless Telecommunications Facilities):

The setback requirements shall be thirty-five feet from any property line, plus an additional one foot for every foot of height above thirty-five feet.



A variance was approved by the Board of Adjustment on November 11, 2014 to allow the proposed 70 foot tall Wireless Telecommunications Tower to be 67.6 feet from the west property line where 70 feet is required, and 36 feet from the north property line where 70 feet is required.



The Site is zoned B-4 (Community Services Zone). The B-4 services typically have good accessibility to the public but are buffered from other uses and visibly buffered from arterial streets. The B-4 zoning district provides a good transitional land use from the adjacent residential property to the south to the commercial/retail land uses to the north. Because of the types of land uses allowed in the B-4 zoning district (more intense than commercial but not quite industrial), the proposal to locate a wireless telecommunication facility in this district is appropriate. However, even though wireless telecommunications facilities provide a service to the community, these towers over 35' feet in height involve a conditional use permit review process to address any potential negative effects on the adjacent residents.

Zoning:



The tower site is surrounded partially by commercial and residential land uses.

Staff finds that the proposed location of the tower is setback far enough from Florence Boulevard and Colorado Street that it has minimal impact visually. Staff finds that the proposed tower should blend into its surroundings as there are existing mature palm trees in the area, as well as a Verizon cell tower built to the same palm tree design.

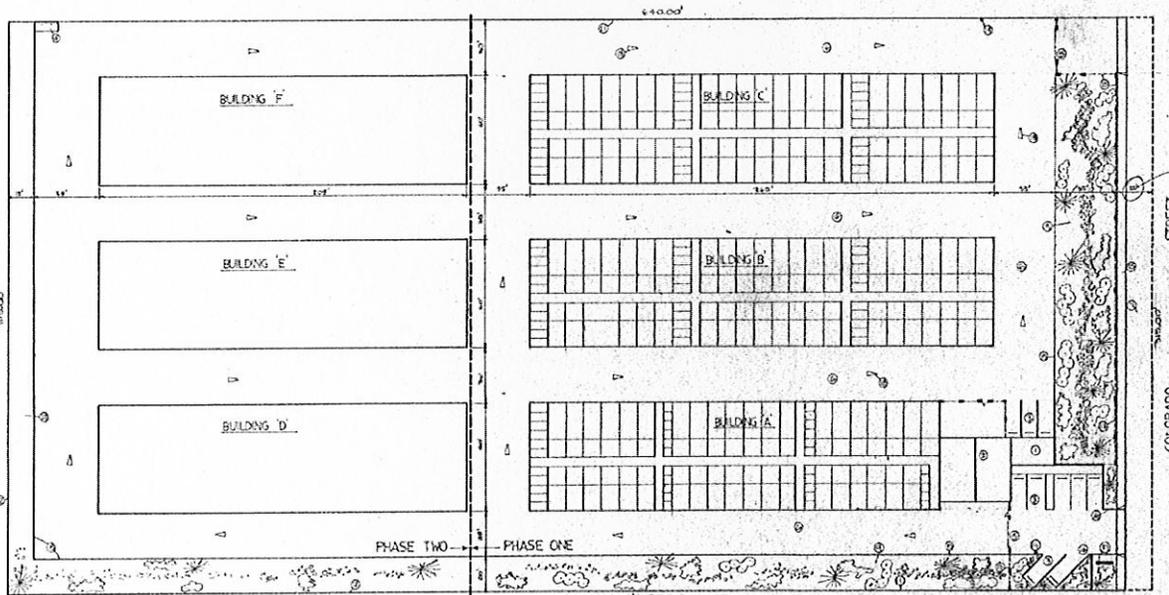
The stealth design of the tower will allow at least one additional array on the facility, which co-location will assist in limiting the number of wireless facilities in the area and

provide additional wireless coverage.

The strategy of the City of Casa Grande concerning wireless towers is to minimize the total number city-wide with co-location opportunities and to ensure that they are designed to protect and promote the aesthetic quality of the community while accomodating managed development of wireless communication infrastructure.

According to City Code Section 17.68.090C, amendments to major site plans previously approved by the planning and zoning commission may be approved by the planning director and the chairperson of the commission upon finding by the planning director and chairperson of the commission that the amended site plan is in substantial compliance with the originally approved site plan.

1996 Approved Site Plan



Typically, the request to locate a wireless telecommunication tower on an existing site, with an approved major site plan, would have been reviewed administratively according to the city code as stated above. However, since the wireless telecommunications tower requires a conditional use permit due to the proposed height, Staff decided to forward both of the applications (Minor Amendment to a Major Site Plan and Conditional Use Permit) to the Commission for their review.

Staff finds that the location of the proposed telecommunication tower within the existing Securlock storage facility site, is in substantial compliance with the required Major Site Plan review criteria as set forth in Section 17.68.070 of the Zoning Code.

CONFORMANCE WITH CONDITIONAL USE PERMIT REVIEW CRITERIA:

The Commission, in approving a Conditional Use Permit, shall find as follows:

That the site for the proposed use is adequate in size and topography to accommodate the use, and all yards, spaces, walls and fences, parking, loading and landscaping are adequate to properly relate the use with the land and uses in the vicinity;

The proposed telecommunications tower will require minimal changes to the existing site, as the site has sufficient room to accommodate the equipment. The ground equipment will be located within two existing storage units and the tower will be located within the existing building cutout at the northwest corner of Building D. In addition, the site is completely enclosed by a 6 foot fence surrounding the property. Although the location on the site does not meet the standard 70 foot set back from the north property boundary as noted earlier the Board of Adjustment has granted a variance allowing the monopole to be located 36 feet from this property boundary. Additionally, as a condition of that variance the monopole has to be designed in a manner to collapse/fall fall entirely on the subject property.

That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use;

The site will be manned by T-Mobile personnel. Per City Code Section 15.32.060, there is no increase in traffic related to the existing and continued use; therefore this request does not trigger any requirement for dedication of adjacent street right-of-way nor does it require a Traffic Impact Analysis as the continued use of the site will generate less than 100 vehicle trips per day.

The site is surrounded by a 6 foot masonry wall along three perimeters with wrought iron fencing and gated entry located along Colorado Street. In addition, an 8 foot chain link fence will be used around the base of the tower for security purposes and does not interfere with the vehicular traffic within the site.

That the proposed use will have no adverse effect upon the abutting property;

Staff finds that the location of the tower is a good location where it is setback off the primary view corridor of Florence Boulevard and Colorado Street. The tower will have limited visibility from drivers traveling along Florence Boulevard. Where the "Palm Tree Tower" will be seen it will blend in with the existing "Palm Tree Tower" that exists off of Avenue A.

The closest residential district is approximately 163 feet southwest of the site and 283 feet south of the proposed tower location. The closest residential homes are approximately 317 feet to the southwest and 410 feet to the southeast of the existing site.

Staff finds that the proposed wireless telecommunication tower location has no impact on

residential properties, as the tower location is not adjacent to residential and has no potential fall hazard impact to residential property.

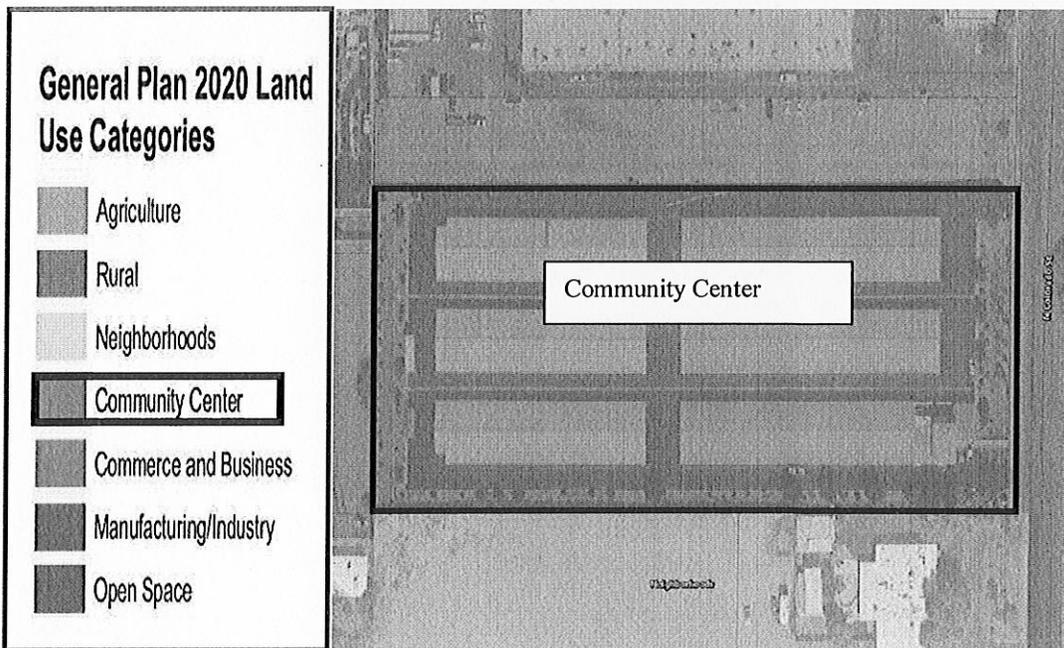
To minimizing any potential impact on adjacent commercial properties, the Board of adjustment, approved the variance request with the following condition:

1. The applicant shall provide verification with the building permit submittal, that in the event of structural failure, the tower would fall completely within the property.

This condition will ensure there is no impact on the adjacent properties in regards to the fall hazard. Staff is adding this condition of approval to the Conditional Use Permit (CUP) as it will be recorded with the CUP resolution.

That the proposed use shall be in conformance with the General Plan;

The site is located in the *Community Center* Land Use category. Based on the urban form and density of the Community Center land use, this location is an appropriate siting for telecommunications.



That the conditions stated in the approval are deemed necessary to protect the public health, safety and general welfare.

The condition placed upon the variance request by the Board of Adjustment has met this condition.

Public Notification

Public hearing notification efforts for this request exceed the requirements set out by City Code:

- A notice was published in the Casa Grande Dispatch on November 18, 2014.
- A notice was sent to all property owners within 500 ft. of the subject site on November 13, 2014.
- A public hearing sign was posted by the applicant on the subject site on November 18, 2014.

Inquiries/Comments

Staff has not received concerns on these requests.

STAFF RECOMMENDATION

Staff recommends the Planning Commission approve DSA-14-00211, the Conditional Use Permit and DSA-14-00212, the Minor Amendment to a Major Site Plan for a proposed 70' foot wireless telecommunication tower with the following condition:

1. The applicant shall provide verification with the building permit submittal, that in the event of structural failure, the tower would fall completely within the property.

Exhibits:

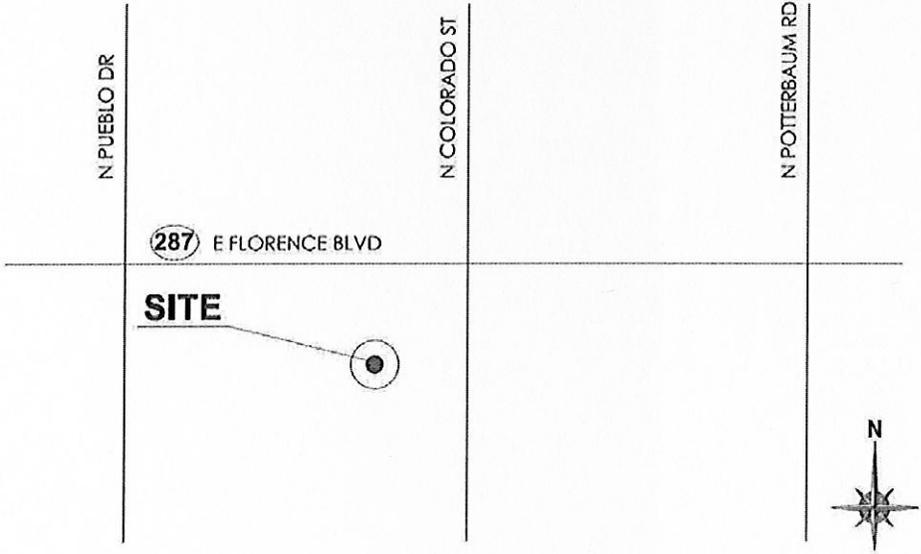
Exhibit A – Project Narrative/Applicant's Justification Statement

Exhibit B – Proposed Site Plan

PROJECT NARRATIVE – SITE PLAN

T-Mobile Wireless Communications Site – PH11202

Securlock Storage - 517 N. Colorado St., Casa Grande, AZ 85122



Applicant:

Reliant Land Services, Inc., representing T-Mobile

7201 E. Camelback Rd. #310,

Scottsdale, AZ 85251

PURPOSE OF REQUEST

T-Mobile Wireless Communications is proposing to construct a 70' tall Wireless Communications Facility within the Securlock mini-storage property. The property address is 517 N. Colorado St., Casa Grande, AZ 85122. The purpose of this application is to request a Minor Site Plan Modification approval of the new communications tower.

DESCRIPTION OF PROPOSAL

T-Mobile respectfully requests approval to install the 70' tall Wireless Communications Facility. As depicted on the Site Plan and Elevations, the proposed monopalm tower will be in the northwestern portion of the mini storage grounds. The ground equipment will be located within two existing storage units totaling approximately 10' x 20', and the monopalm located within the existing building cutout. We propose to add two additional bollards to protect the pole from vehicles turning the corner. The perimeter of the property currently has a 6' block wall. The equipment compound is interior to the site and within the existing storage building and won't be seen from the exterior. As semi-public access exists throughout the site, an 8' chain link fence will be used for tower security. The property is owned by Houghton Acquisition Company in Dallas, TX.

RELATIONSHIP TO SURROUNDING PROPERTIES

The land use and zoning Classifications surrounding the parcel are as follows:

North: B-2, Manana Grande business center South: Vacant UR

East: PAD, Tri Valley Plaza West: Vacant B-2 and UR, existing Cell tower

The subject mini storage facility has vacant residential sites immediately to the west and south, with some homes to the southeast and southwest, a commercial center to the east anchored by Fry's, and to the north is a strip of vacant commercial property immediately to the north with the Manana Grande business center facing Florence Blvd.

LOCATION AND ACCESSIBILITY

The 4.63 acre site is located at the 517 N. Colorado Street. The proposed WCF is located in the rear of the existing mini storage facility. Parcel Number 505-30-003C is approximately 201,683 sf in size. Direct access to the site is on fully developed and paved Colorado St. The interior is fully paved for access to all storage units, and therefore, no additional paving for access is required. The site has a 6' masonry wall along three perimeters, with Wrought Iron fencing and gated entry located along Colorado Street.

BACKGROUND AND LOCATION JUSTIFICATION

Several sites were explored prior to deciding to proceed with this candidate for a new tower. One site was behind the Ashley Furniture store, but unfortunately, that site was outside of the "Radio Frequency

Ring" necessary to serve the intended geographic area. The zoning also did not permit a WCF. Another site was on the school ballfields at Evergreen Elementary School. The site was toward the outside of the search ring, the equipment building and tower would be very visible, and proximity to residential was very close.

On the subject property, we have located the tower in the northwest corner of the site in general as there is a building cutout that can be used for the pole location, along with a pair of storage units to be used for the equipment compound

There is approximately 300' distance from the nearest residential property line, with about 330' to the nearest actual residence southwest from the proposed tower. The proposed monopalm would also be about 350' from Florence Avenue, thereby alleviating the sense of a tower looming over the major arterial of the City. This location will be approximately 275' from the existing Verizon monopalm to the southwest.

17.68.120B.7.a of the Casa Grande Zoning Code requires that we have a 1:1 setback for the amount of height above 35' in height. The project as stated required a Zoning Variance to be approved. We requested a Variance to allow a 70' tall Wireless Telecommunications Tower to be:

- a. 67.6 feet from the west property line where 70' is required.
- b. 36' from the north property line where 70' is required.

Approved by the Board of Adjustment on November 11, 2014 with one Stipulation:

1. The tower to be designed to be collapsible onto the Securlock property only.

During our Pre-application meeting, staff requested discussion regarding collocating on the existing tower just to the west of the subject site. The existing and recently constructed facility was designed and built as a Monopalm. Three issues arise from that subject. Number one: in order to collocate on the existing monopalm, a second carrier's antenna array would have to be placed a number of feet below (usually a minimum of 10') their already installed array. This would now look similar to photo enclosed below, and the "Stealth" idea of the palm would no longer exist. The second issue: Most times the towers designed as a monopalm are not structurally designed to accommodate a second set of antennas. And Third: The Radio Frequency required for our focus area would not function properly at the lower height.



SUMMARY

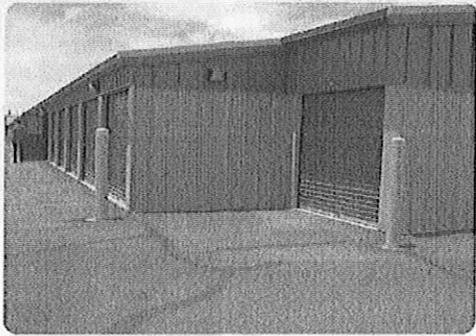
The construction of this facility will help all types of wireless communication in the region, filling a gap in service. There are very few locations with the B-4 zoning which allows towers. We have exhausted other locations in the immediate area, and have no other viable options on the subject property. We respectfully request approval of the Conditional Use Permit and Site Plan for T-Mobile.

Submitted by:

David D. Ullrich, Zoning Specialist on behalf of T-Mobile Wireless Communications
Reliant Land Services, Inc., 7201 E. Camelback Rd. #310 Scottsdale, AZ 85251
DAVID.ULLRICH@RLSUSA.COM
480-266-8753

T-Mobile

SITE NUMBER: PH11202B
SITE NAME: SECURLOCK STORAGE
CITY: CASA GRANDE
COUNTY: PINAL
STATE: ARIZONA
DESIGN TYPE: MONOPALM



SITE INFORMATION

SITE ADDRESS: 317 N COLORADO ST, CASA GRANDE, AZ 85122
PROPERTY OWNER: HOUGHTON ACQUISITION CO, LLC
SUBDIVISION PLAT: SHALAK, TR 7328
PLAT NO: 200-043

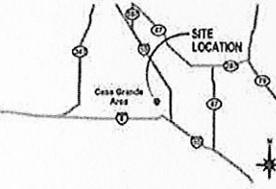
APPROXIMATE DATA: 47N, 30S-30-00N, 30E 07 40 47N, 33 07 58E
LONGITUDE (WGS84): 111° 44' 07.30" W, 33° 07' 58.00" N

ACCESSIBILITY REQUIREMENTS:
 FACILITY IS UNIMPAVED AND NOT FOR HUMAN TRAFFIC. ACCESSIBLE PARKING AND REQUIREMENTS ARE NOT REQUIRED. IN ACCORDANCE WITH ARIZONA STATE ADMINISTRATIVE CODE, PART 2, TITLE 18, SECTION 11008.1, EXCEPTION 1 & SECTION 11008.3.1, EXCEPTION A.

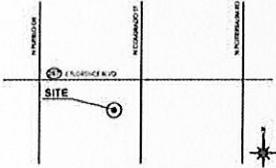
CONSULTING TEAM:
RELIANT LAND SERVICES
 7201 E. CHARLACK ROAD #310
 SCOTTSDALE, AZ 85251
 BULLINGTON, PH: 302.550.7170
 EMAIL: BULLINGTON@RELSA.COM
PH11202B-2

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 DAVID BULLINGTON - PH: 302.550.7170
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VICINITY MAP



LOCATION MAP



PROJECT DESCRIPTION

- INSTALL LIFE ANTENNAS
- INSTALL COAXIAL ANTENNAS
- INSTALL SITE REMOTE BACKHAUL (SRB)
- INSTALL COAXIAL REMOTE BACKHAUL (CRB)
- INSTALL CABLE DISTRIBUTION (CABLE) (C/D)
- INSTALL 90° W/ 90° HIGH MOUNTING
- INSTALL 4" X 4" 90° W/ 90° FENCED EQUIPMENT AREA
- INSTALL CABLE DISTRIBUTION BOX (C/D)
- INSTALL EQUIPMENT CABINETS, PILES, & STACKS
- INSTALL POWER/TELECOM CABLES (P/T)
- INSTALL FIBER DISTRIBUTION CABLES (F/D)
- INSTALL TRUCKING AREA AND CONNECTION

APPLICABLE CODES

- 2012 INTERNATIONAL BUILDING CODE
- 2012 NATIONAL ELECTRICAL CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2012 INTERNATIONAL PLUMBING CODE
- 2012 INTERNATIONAL FIRE CODE

DRIVING DIRECTIONS FROM T-MOBILE, 2625 S PLAZA DRIVE, TEMPE, AZ 85282

- TAKE I-10 EAST TOWARD TUCSON
- TAKE RIGHT RA 108 AT 26TH AVENUE BLVD
- TAKE RIGHT ONTO E FLORENCE BLVD
- TAKE FLORENCE TO COLORADO ST
- TURN LEFT ON COLORADO ST

REVISIONS

NO.	DESCRIPTION
1	ISSUED FOR PERMITTING

KEY TITLE

- T-1 A: TITLE SHEET
- T-1 B: TOPOGRAPHIC SURVEY
- T-1 C: TOPOGRAPHIC SURVEY
- A-1: OVERALL SITE PLAN
- A-2: ENLARGED SITE PLAN, ANTENNA LAYOUT & EQUIPMENT LAYOUT
- A-3: ELEVATIONS

TEL SHEET & PROJECT DATA

PROJECT NO: PH11202B-2

DATE: 10/15/13

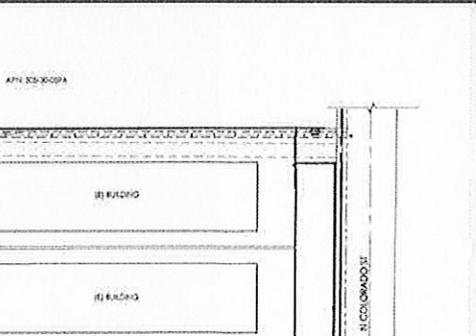
SCALE: T-1

RELIANT LAND SERVICES

7201 E. CHARLACK ROAD #310
 SCOTTSDALE, AZ 85251
 PH: 302.550.7170
 EMAIL: BULLINGTON@RELSA.COM

UNDERGROUND

- 12" FIBER IN (N) 4" WIDE EASEMENT
- 12" FIBER OUT (S) 4" WIDE EASEMENT
- 12" FIBER IN (N) 4" WIDE EASEMENT



APN: 305-30-00A

APN: 305-30-00C

APN: 305-30-01D

APN: 305-30-01C

12" FIBER IN (N) 4" WIDE EASEMENT

12" FIBER OUT (S) 4" WIDE EASEMENT

12" FIBER IN (N) 4" WIDE EASEMENT

REVISIONS

NO.	DESCRIPTION
1	ISSUED FOR PERMITTING

KEY TITLE

- T-1 A: TITLE SHEET
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- A-3: ELEVATIONS

TEL SHEET & PROJECT DATA

PROJECT NO: PH11202B-2

DATE: 10/15/13

SCALE: A-1

RELIANT LAND SERVICES

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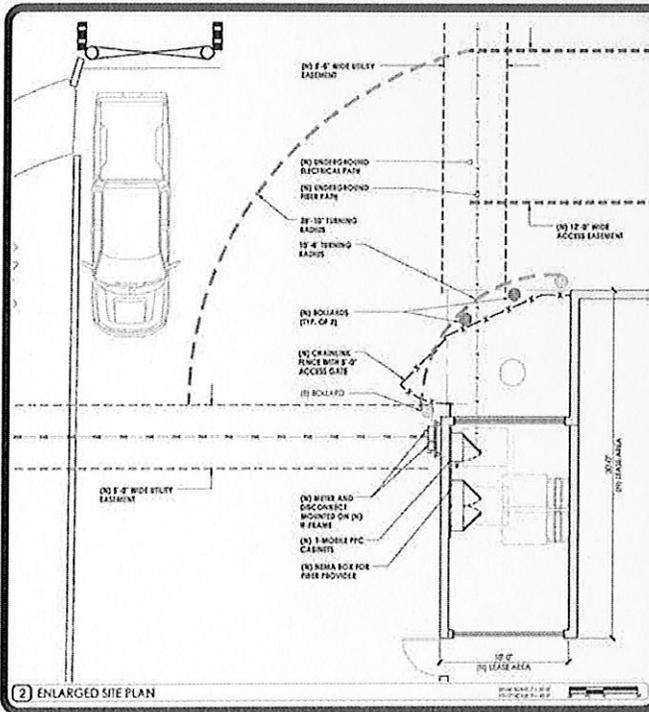
1 SITE PLAN

DATE: 10/15/13

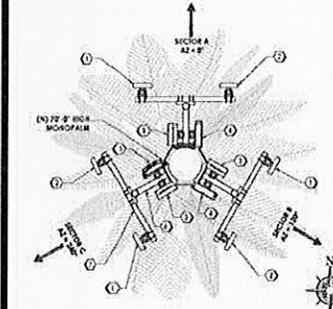
SCALE: T-1

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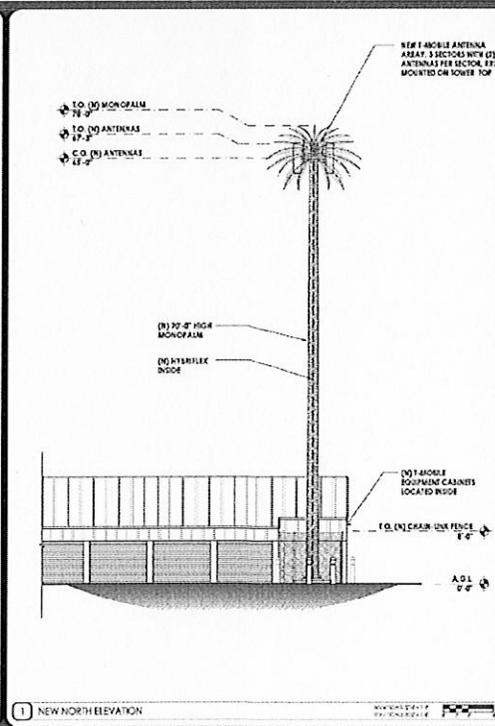
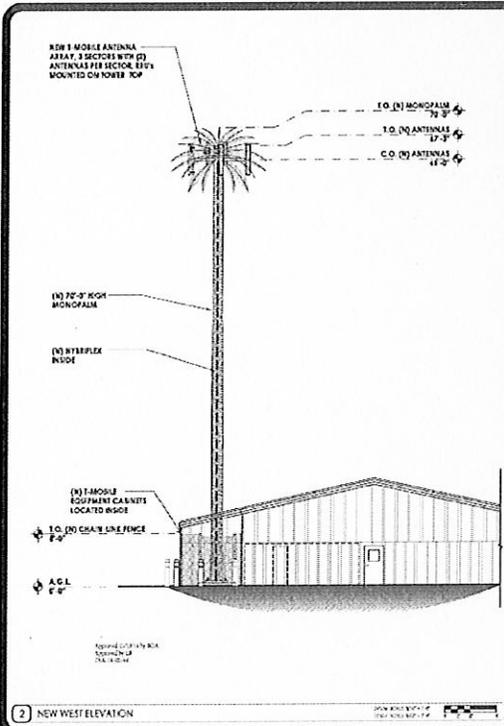
EQUIPMENT SCHEDULE					
Q. NO.	REV.	TECH.	#	MODEL #	NOTES
1	1	AMERICA	1	APRILADITY 120V/1.5E.A.20	1 PER SECTOR
2	2	AMERICA	3	ANTHONY 120V/1.5E.A.20	1 PER SECTOR
3	-	RFI	1	RFI	-
4	-	RFI	2	RFI	-
5	-	CONP	1	RFI/CONP 1775.PH.48	-
6	-	STANDOFF	3	NEHAIVE 1773-2482	2'-0"
7	-	BOOM & GATE	3	-	3'-0"



T-Mobile
 2025 PLAN OF WORK, TOWER, AND
 PHONE ENCLOSURE PLAN SHEET

RLS
 RELIANT LAND SERVICES
 10000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202

PROJECT NO. 112020.2
 SHEET NO. A-2



T-Mobile
 2025 PLAN OF WORK, TOWER, AND
 PHONE ENCLOSURE PLAN SHEET

RLS
 RELIANT LAND SERVICES
 10000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202

PROJECT NO. 112020.2
 SHEET NO. A-3